ADDENDUM #1

May 10, 2023

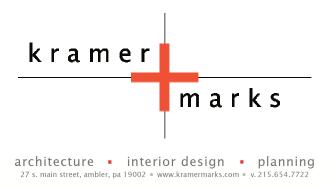
ADDENDUM to
Acts Granite Farms Estates WBC - Phase 2
Permit Set – April 21, 2023

Acts Granite Farms Estates

1343 W. Baltimore Pike Media, PA 19053

Acts Retirement-Life Communities

Mid-Atlantic Region 726 Loveville Road, Suite 300 Hockessin, DE 19707





The following clarifications, corrections, changes and additions to the Contract Documents are hereby made part of it and are incorporated in full as part of the project scope.

If there is any discrepancy between the drawings and this Addendum, this Addendum shall take precedent. The contractor shall acknowledge receipt of this Addendum on his proposal.

Addendum #1 Page 1 of 2

- A. <u>Bid Date (Note: Responses are **bold/italicized**.)</u>
 - o Bids Due Friday, May 26, 2023 at 12 p.m. noon (No change).
- B. Contractor Questions / Comment (Note: Responses are **bold/italicized**.)
 - o None
- C. <u>Additional Information / Clarifications</u>
 - All bidders to provide price for Phase 1 and 2 as defined on architectural sheet PH101 (see attached drawing set dated 05-05-2023). Use attached Bid Proposal Form Phase 1 & 2.
 - o The permits associated with Phase 1 & 2 will be obtained by ACON.
- D. Attachments
 - o Addendum #1 drawing set dated 05-05-2023
 - o 000219 Bid Proposal Form Phase 1 & 2
 - o 081113 Hollow Metal Doors and Frames (Revised 05-10-2023)
 - o **087100 Door Hardware**

END OF ADDENDUM #1 NARRATIVE

Addendum #1 Page 2 of 2

1343 WEST BALTIMORE PIKE MEDIA, PA 19063

> PREPARED FOR: Acts RETIREMENT - LIFE COMMUNITIES 420 DELAWARE DRIVE FORT WASHINGTON, PA 19034



FIRE-RESISTANCE RATING REQUIREMENTS (IBC TABLE 601)

1 HOUR

2 HOUR

1 HOUR

1 HOUR

0 HOUR

1 HOUR

1 HOUR *

0 HOUR **

1 HOUR

1 HOUR

3 HOUR

3 HOUR ***

BUILDING ELEMENTS

EXTERIOR

INTERIOR

EXTERIOR

INTERIOR

EXIT STAIRS (IBC 1019.4)

(IBC TABLE 716.1 (2))

CORRIDORS (IBC TABLE 1020.1)

SHAFT ENCLOSURES (IBC 713.4)

FIRE BARRIERS (IBC TABLE 707.3.10)

FIRE DOORS AND SHUTTERS IN FIRE WALLS

MORE ABOVE ANY FLOOR IMMEDIATELY BELOW.

CONSTRUCTED AS SMOKE PARTITONS. (IBC 407.3)

FIRE WALLS (IBC TABLE 706.4)

BEARING WALLS

PRIMARY STRUCTURAL FRAME

NONBEARING WALLS AND PARTITIONS

FLOOR CONSTRUCTION AND SECONDARY MEMBERS

ROOF CONSTRUCTION AND SECONDARY MEMBERS



kramer

design

interior

code summary

27 s. main street ambler, pa 19002 p.215.654.7722 f.215.654.5353

www.kramermarks.com

DESIGN TEAM:

CIVIL ENGINEERS

marks

PEUSTACE Eustace Engineering, Landscape

Architecture, & Land Surveying Consulting 607 Easton Road Building B - 2nd Floor Willow Grove, PA 19090 (215) 346-8757 www.eustaceeng.com

McCloskey & Faber, P.C. McCloskey & Faber, PC Landscape Architects and 831 DeKalb Pike Blue Bell, PA 19422 610-277-9200 www.mcfpc.com

Elton & Thompson, P.C.

STRUCTURAL ENGINEERS





Engineering Associates 136 Poplar Street Ambler, PA 19002 (215) 641-1158 www.mchugheng.com

www.etengr.com

FOOD SERVICE



VisionBuilders Design 1515 Shopton Rd Suite 104, Charlotte, NC 28217 (704) 405-3101 www.visionbuildersusa.com

APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE 2017 NFPA 70-2017, NATIONAL ELECTRIC CODE 2021 INTERNATIONAL BUILDING CODE, CHAPTER 11 2017 ANSI 117.1-2017 ACCESSIBILITY STANDARDS 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL PLUMBING CODE

ACT 45 PENNSYLVANIA UNIFORM CONSTRUCTION CODE

BUILDING DATA (IBC 506.2) WBC FIRST FLOOR RENOVATION AREA: 25,619 S.F.

2018 NFPA 101 LIFE SAFETY CODE

VESTIBULE & CORRIDOR: 1,171 S.F.

VESTIBULE/SITTING & PORTE COCHERE AREA: 1,449 S.F. PORCH AREA: 865 S.F. WBC TOTAL RENOVATION AREA: 29,104 S.F.

CHERRY BLOSSOM WING - ADD ALTERNATES #1, #2, & #3 AREA: 10,585 S.F.

CHERRY BLOSSOM WING TOTAL RENOVATION AREA

I-2 INSTITUTIONAL (IBC 308.3);

CONSTRUCTION TYPE

CONDITION 1 (IBC 308.3.1.1) @ WORK AREA

EXISTING BUILDING NOTES:

EXISTING MEANS OF EGRESS TO BE MODIFIED

AND CEILINGS TO BE MAINTAINED.

EXISTING RESIDENT ROOM SEPARATION WALLS

USE GROUPS

TYPE: IBC, IIA

NFPA II (111)

SPRINKLER SYSTEM IN ACCORDANCE WITH IBC 903.3.1.1. QUICK RESPONSE SPRINKLER HEADS SHALL BE USED. (IBC 903.3.2) AUTOMATIC SPRINKLER SYSTEM SHALL BE MONITORED BY AN APPROVED SUPERVISING

FIRE PROTECTION SYSTEM

STATION. (IBC 901.6.1)

ALL BUILDINGS SHALL BE EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC

FIRE- RATINGS SHALL NOT BE REQUIRED WHERE EVERY PART OF ROOF IS 20 FEET OR

CORRIDORS IN I-2 OCCUPANCIES SHALL BE CONTINIOUS TO THE EXITS AND SHALL BE

TWO DOORS, EACH WITH A FIRE PROTECTION RATING OF 1 1/2 HOURS, INSTALLED ON

EQUIVALENT IN A FIRE PROTECTION RATING TO ONE 3-HOUR FIRE DOOR. (IBC TABLE

OPPOSITE SIDES OF THE SAME OPENING IN A FIRE WALL, SHALL BE DEEMED

FIRE ALARM SYSTEM SHALL BE MONITORED BY AN APPROVED SUPERVISING STATION. (IBC

MEANS OF EGRESS

DEAD END CORRIDORS

> 44 INCHES OR 0.3 INCHES PER OCCUPANT (IBC 1011.2 & IBC 1005.3.1, & IBC 1009.3.2, EXCEPTION 1) AREA OF REFUGE NOT REQUIRED (IBC 1009.3.3 EXCEPTION 2) MINIMUM WIDTH OF CORRIDORS > 72 INCHES CLEAR OR 0.2 INCHES PER

OCCUPANT (TABLE 1020.2 & IBC 1005.3.2)

96 INCHES FOR GROUP I-2 ONLY IN AREAS

(IBC & 1010.1.1 & IBC 1005.3.2)

WHERE REQUIRED FOR BED MOVEMENT (IBC

TABLE 1020.2 & IBC 1020.2, EXCEPTION) MINIMUM WIDTH OF EGRESS DOORS • > 32 INCHES CLEAR OR 0.2 INCHES PER OCCUPANT

> > 41-1/2 INCHES CLEAR IN GROUP I-2 AREAS SERVING AS MEANS OF EGRESS WHERE USED FOR THE MOVEMENT OF BEDS (IBC 1010.1.1 WHERE 2 EXITS ARE REQUIRED FROM A SPACE, THE SEPARATION OF REQUIRED EXITS DISTANCE BETWEEN EXITS SHALL BE A MINIMUM OF

1/3 OF THE MAXIMUM OVERALL DIAGONAL OF THE SPACE (IBC 1007.1.1, EXCEPTION 2). EXIT ACCESS TRAVEL DISTANCE < 200 FEET W/ OCCUPANCY I-2 (IBC TABLE 1017.2)

< 20 FEET (IBC 1020.4)

1 HOUR (IBC 709.3)

COMMON PATH OF TRAVEL DISTANCE < 75 FEET (IBC TABLE 1006.2.1)

ADDITIONAL FIRE-RESISTANCE RATING REQUIREMENTS

LAUNDRY ROOMS IN GROUP I-2 1 HOUR (IBC TABLE 509) WASTE AND LINEN COLLECTION 1 HOUR (IBC TABLE 509) ROOMS IN GROUP I-2 MIXED USE SEPARATION BETWEEN 2 HOUR (IBC TABLE 508.4) HORIZONTAL ASSEMBLY BETWEEN 2 HOUR (IBC 711.2 .4.2 & TABLE 707.3.10)

ACCESSIBILITY REQUIREMENTS

SMOKE BARRIERS IN GROUP I-2,

CLEAR SPACE IN FRONT OF WATER CLOSET 3'-6" PRIVATE BEDROOM CLEAR FLOOR SPACE (IN ADDITION TO AREA OF CLOSETS, VESTIBULE, 100 SF WARDROBES AND TOILET ROOMS) SEMI-PRIVATE BEDROOM CLEAR FLOOR SPACE (IN ADDITION TO AREA OF CLOSETS, VESTIBULE, 80 SF WARDROBES AND TOILET ROOMS) CLEAR FLOOR SPACE ON (2) SIDES OF BED

EACH RESIDENT REQUIRES A NIGHTSTAND, WARDROBE/CLOSET, AND DRESSER.

schedule of drawings

LOGILANIO	E (DE VIOLON OVALDO) LICEV						
	E / REVISION SYMBOL KEY: ISSUED OR REVISED FOR THIS SUBMISSION						
	DED IN SUBMISSION WITHOUT REVISION	ISSI	JANC	ES/	REV	ISIO	NS
			ADDENDUM #1 05/05/2023				
		23	306				
		BID SET 04/21/2023	90				
		/21/	#				
		. 2	Ž				
		Ä					
luo.	NAME						
NO.	NAME	՝	₹				
GENERAI		_	_				
G-001 PHASING	COVER SHEET	•	•				
PH101	PHASING PLANS						
LIFE SAF		•	•				
AL101	LIFE SAFETY PLANS						
DEMOLIT		•	•				
	DEMOLITION NOTES						
AD001		•	•				
AD101	WBC PARTIAL DEMOLITION PLAN	•	•				
AD102	WBC PARTIAL DEMOLITION PLAN	•	•				
AD103	WBC PARTIAL DEMOLITION PLAN	•	•				
AD104	CHERRY BLOSSOM DEMOLITION PLAN	•	•				
AD105	WBC PARTIAL DEMOLITION RCP	•	•				
AD106	WBC PARTIAL DEMOLITION RCP	•	•				
AD107	WBC PARTIAL DEMOLITION RCP	•	•				
AD108	CHERRY BLOSSOM DEMOLITION RCP	•	•				
ARCHITE							
A-001	ABBREVIATIONS, SYMBOLS, & GENERAL NOTES	•	0				
A-002	WALL AND PARTITION ASSEMBLIES	•	•				
A-003	DETAILS AND SCHEDULES	•	•				
A-004	HORIZONTAL ASSEMBLIES	•	•				
A-101	FIRST FLOOR PLAN	•	•				
A-102	FIRST FLOOR REFLECTED CEILING PLAN	•	•				
A-103	ROOF PLAN	•	•				
A-201	VESTIBULE AND NEW LOBBY ELEVATIONS	•	•				
A-202	PORTE COCHERE, VESTIBULE/SITTING ELEVATIONS	•	•				
A-203	PORTE COCHERE ELEVATIONS	•	•				
A-204	SUNROOM ELEVATIONS	•	•				
A-301	BUILD. SECTIONS - NEW LOBBY & VESTIB./ SITTING	•	•				
A-302	BUILD. SECTIONS - PORTE COCHERE & CANOPY	•	•				
A-303	BUILDING SECTIONS - SUNROOM	•	•				
A-311	WALL SECTIONS	•	•				
A-401	VESTIBULE AND NEW LOBBY PLAN	•	•				
A-402	VESTIBULE AND NEW LOBBY ELEVATIONS	•	•				
A-403	VESTIBULE AND NEW LOBBY RCP	•	•				
A-404	LAUNDRY ENLARGED PLAN, RCP, ELEVATIONS	•	•				
A-405	SPA ENLARGED PLAN, RCP AND ELEVATIONS	•	•				
A-406	PORTE COCHERE & VESTIBULE/SITTING ENLARGED	•	•				
	PLAN						
A-407	PORTE COCHERE & VESTIBULE/SITTING ENLARGED RCP	•	•				
A-408	OFFICES, REHAB, CONFERENCE ROOM PLAN	•	•				
A-409	OFFICES, REHAB, CONFERENCE ROOM ELEVATIONS	•	•				
A-410	OFFICES, REHAB, CONFERENCE ROOM RCP	•	•				
A-411	LIVING / DINING, NURSE ST. PLAN & ADD ALT #4 PLAN	•	•				
A-412	LIVING, DINING, SERVERY, NURSE STATION ELEVAT.	•	•				
A-413	LIVING, DINING, SERVERY, NURSE STATION RCP	•	•				
A-414	SUNROOM PLAN AND RCP	•	•				
A-415	STAFF LOUNGE & EMPLOYEE ENTR. PLAN & RCP	•	•				
A-416	STAFF LOUNGE ELEVATIONS	•	•				
A-417	ENLARGED CORRIDOR PLANS	•	•				
A-418	ENLARGED CORRIDOR PLAN AND ELEVATIONS	•	•				
A-419	ENLARGED CORRIDOR RCP	•	•				
A-420	ENLARGED CORRIDOR RCP	•	•				
A-421	ENLARGED PLANS AND RCPS - UNITS	•	•				
A-422	ENLARGED PLANS AND RCPS - UNITS	•	•				
A-423	ENLARGED PLANS AND RCPS - UNITS	•	•				
A-424	UNIT INTERIOR ELEVATIONS	•	•				
A-425	UNIT INTERIOR ELEVATIONS	•	•				
	UNIT ENTRY AND STAFF ANCILLARY ELEVATIONS	•	•				
A-426			•				
A-426 A-427	ELEVATOR LOBBY AND CORRIDOR PLAN & RCP						
A-426	ELEVATOR LOBBY AND CORRIDOR PLAN & RCP ENLARGED PLANS & ELEVATIONS - BATHROOMS	•	•				
A-426 A-427		•	•				
A-426 A-427 A-430	ENLARGED PLANS & ELEVATIONS - BATHROOMS						
A-426 A-427 A-430 A-431	ENLARGED PLANS & ELEVATIONS - BATHROOMS ENLARGED PLANS & ELEVATIONS - UNIT BATHROOMS	•	•				

• NEWLY	E / REVISION SYMBOL KEY: ISSUED OR REVISED FOR THIS SUBMISSION ED IN SUBMISSION WITHOUT REVISION	ISSU	JANC	ES /	REV	ISIO	NS
NO.	NAME	BID SET 04/21/2023	ADDENDUM #1 05/05/2023				
A-504	CONSTRUCTION DETAILS	•	•				
A-505	CONSTRUCTION DETAILS	•	•				
A-506	CONSTRUCTION DETAILS - FIREPLACE						
			•				
A-506a	MILLWORK & CASEWORK DETAILS	•	•				
A-506b	MILLWORK & CASEWORK DETAILS	•	•				
A-511	STAIR #1 PLANS, RCP, SECTIONS	•	•				
A-601	DOOR & FRAME SCHEDULE & DIAGRAMS	•	•				
A-602	DOOR & FRAME SCHEDULE & DIAGRAMS	•	•				
A-612	WINDOW SCHEDULE & DIAGRAMS	•	•				
A-613	WINDOW DETAILS	•	•				
A-621	ACCESSORY SCHEDULES & DIAGRAMS	•	•				
INTERIOR		-					
I-101	FINISH PLAN	_					
		•	•				
I-102	FINISH PLAN - ADD ALTERNATE #1	•	•				
I-103	FIRST FLOOR PATTERN PLAN	•	•				
I-601	FINISH SCHEDULE	•	•				
I-602	FINISH SCHEDULE (CONT'D)	•	•				
I-603	FINISH SCHEDULE (CONT'D)	•	•				
I-604	FINISH SCHEDULE (CONT'D)	•	•				
STRUCTU	IRAL						
S1	OVERALL FOUNDATION PLAN	•	0				
S1A	FOUNDATION PLAN	•	0				
S1B	FOUNDATION PLAN AND DETAILS	•	0				
S1C	FOUNDATION PLAN	•	0				
S2	OVERALL SECOND FLOOR FRAMING PLAN	•	0				
S2A	(E) 2ND FLOOR & CANOPY ROOF FRAMING PLAN	•	0				
S2B	(E) 2ND FLOOR & ROOF FRAMING PLAN	•	0				
		_					
S2C	(E) 2ND FLOOR & ROOF FRAMING PLAN	•	0				
S3	FOUNDATION SECTIONS	•	0				
S4	FRAMING SECTIONS	•	0				
S5	NOTES	•	0				
MECHANI	CAL						
M-001	COVER SHEET - MECHANICAL	•	0				
MD-101	DEMOLITON PLAN - MECHANICAL	•	•				
MD-102	DEMOLITION UNIT PLANS - MECHANICAL	•	•				
M-101A	FIRST FLOOR PLAN - MECHANICAL	•	•				
M-101B	FIRST FLOOR PLAN - MECHANICAL	•	•				
M-301	ENLARGED UNIT PLANS - MECHANICAL	•	0				
M-400	DETAILS - MECHANICAL	•	0				
M-401	DETAILS - MECHANICAL	•	0				
M-500	SCHEDULES - MECHANICAL	•	0				
M-501	SCHEDULES - MECHANICAL	•	•				
PLUMBING		-					
P-001	COVER SHEET - PLUMBING	•	0				
P-001 PD-101	DEMOLITION PLAN - PLUMBING	-	0				
		-					
PD-102	DEMOLITION UNIT PLANS - PLUMBING	•	•				
P-101A	FIRST FLOOR PLAN - PLUMBING	•	•				
P-101B	FIRST FLOOR PLANS - PLUMBING	•	•				
P-300	ENLARGED PLANS - DRAINAGE	•	•				
P-301	ENLARGED PLANS - DRAINAGE	•	•				
P-302	ENLARGED PLANS - DRAINAGE	•	•				
P-303	ENLARGED UNIT PLANS - DRAINAGE	•	0				
P-304	ENLARGED PLANS - DOMESTIC WATER & GAS	•	•				
P-305	ENLARGED PLANS - DOMESTIC WATER & GAS	•	•				
P-306	ENLARGED UNIT PLANS - DOMESTIC WATER & GAS	•	0		7		
P-400	DETAILS - PLUMBING	•	0				
P-401	DETAILS - PLUMBING	•	0				
P-500	SCHEDULES - PLUMBING	•	•				
P-600	RISER DIAGRAMS - SANITARY/STORM	•	•				
P-601	RISER DIAGRAMS - SANITARY/STORM	•	•				
P-602	RISER DIAGRAMS - DOMESTIC WATER/GAS	•	•				
ELECTRIC							
E-001	COVER SHEET - ELECTRICAL	•	•				
ED101	DEMOLITION PLAN - ELECTRICAL	•	0				
ED101	DEMOLITION UNIT PLANS - ELECTRICAL	•	0				
v_		-					

	/ ISSUED OR REVISED FOR THIS SUBMISSION DED IN SUBMISSION WITHOUT REVISION	ISS	ISSUANCES / REVISIONS					
NO.	NAME	BID SET 04/21/2023	ADDENDUM #1 05/05/2023					
E-101A	FIRST FLOOR PLAN - LIGHTING	•	•					
E-101B	FIRST FLOOR PLAN - LIGHTING	•	•					
E-201A	FIRST FLOOR PLAN - POWER	•	0					
E-201B	FIRST FLOOR PLAN - POWER	•	0					
E-301	ENLARGED PLANS - LIGHTING	•	•					
E-302	ENLARGED PLANS - LIGHTING	•	•					
E-303	ENLARGED UNIT PLANS - LIGHTING	•	0					
E-304	ENLARGED PLANS - POWER	•	•					
E-305	ENLARGED PLANS - POWER	•	•					
E-306	ENLARGED UNIT PLANS - POWER	•	•					
E-400	SCHEDULES & DETAILS - ELECTRICAL	•	•					
E-401	SCHEDULES & DETAILS - ELECTRICAL	•	0					
E-500	SCHEDULES & DETAILS - ELECTRICAL	•	•					
E-501	DETAILS - ELECTRICAL	•	0					
FOOD SE	ERVICE							
Q100	FOOD SERVICE EQUIPMENT PLAN	•	•					
Q200	FOOD SERVICE ELECTRICAL PLAN	•	•					
Q300	FOOD SERVICE PLUMBING PLAN	•	•					
Q900	MILLWORK PLAN & ELEVATIONS	•	•					
Q901	MILLWORK DETAILS	•	•					

project location



signatures

Acts RETIREMENT - LIFE COMMUNITIES	date
KRAMER + MARKS ARCHITECTS	date
CONTRACTOR	date

ADD ALTERNATE #1:

CHERRY BLOSSOM WING - NEW INTERIOR FINISHES (FLOOR, WALL AND) PAINTING OF HARD CEILINGS) IN COMMON AREAS ADD ALTERNATE #2: CHERRY BLOSSOM WING - NEW INTERIOR FINISHES (FLOOR AND WALL) IN RESIDENT UNITS

add alternates

ADD ALTERNATE #3: CHERRY BLOSSOM WING REPLACE EXISTING LIGHTING IN EXISTING LOCATIONS IN COMMON AREAS

ADD ALTERNATE #4:
WILLOWBROOKE COURT - REPLACE EXISTING DOORS IN LIVING/ACTIVITY & DINING AREA WITH NEW STOREFRONT SYSTEM

PA TITLE 28 CHAPTER 205, LONG-TERM CARE NURSING FACILITIES

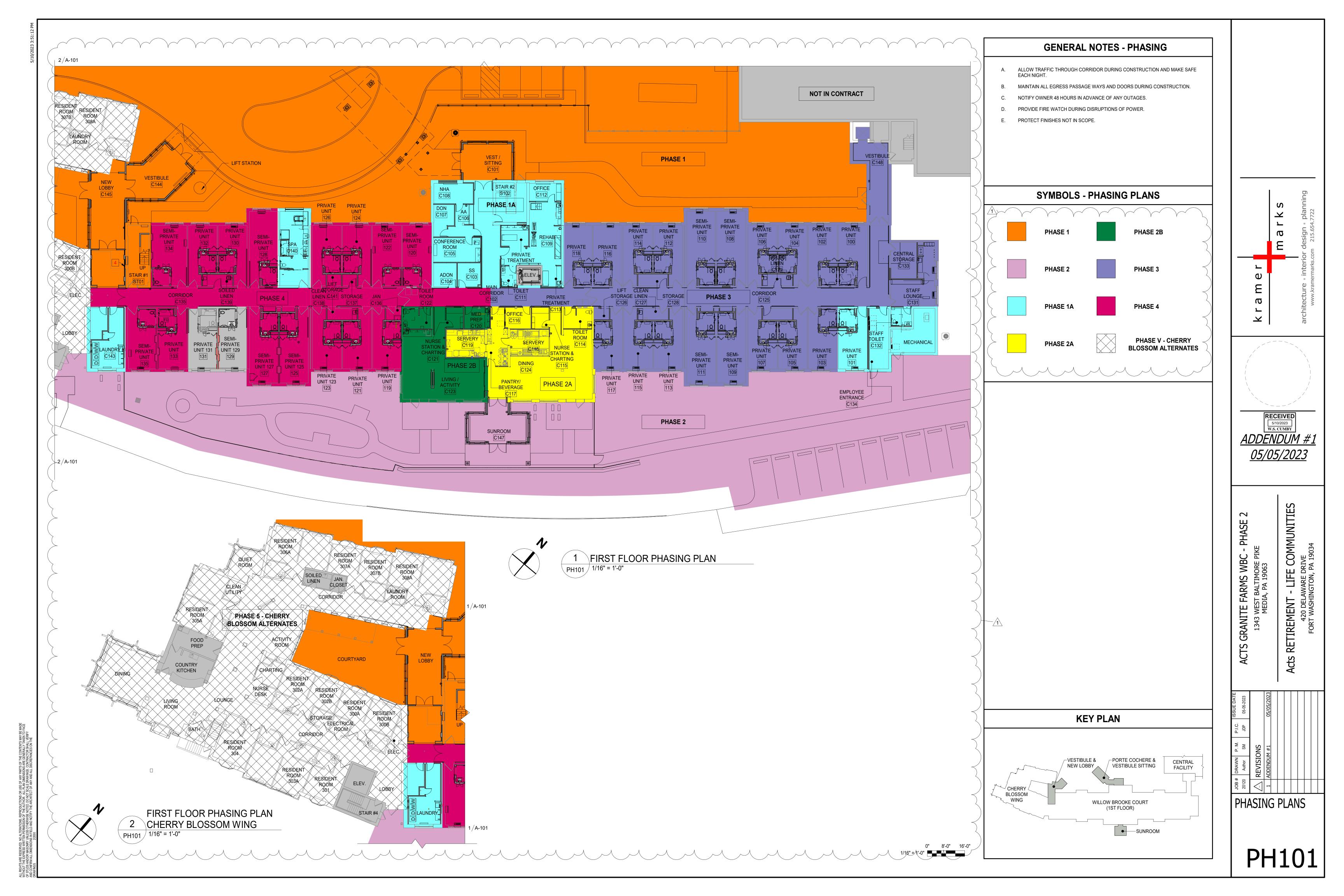
SPACE	SQUARE FOOTAGE	
(CALCULATION)	REQUIRED	PROVIDED
LOUNGE / RECREATION ROOMS (15 SF FLOOR SPACE PER BED)	WBC: 15 SF X 48 BEDS = 720 SF CHERRY BLOSSOM: 15 SF X 16 BEDS = 240 SF	WBC: 1,145 SF CHERRY BLOSSOM: 1,963 SF
DINING (15 SF FLOOR SPACE PER BED)	WBC: 15 SF X 48 BEDS = 720 SF CHERRY BLOSSOM: 15 SF X 16 BEDS = 240 SF	WBC: 963 SF CHERRY BLOSSOM: 474 SF
SINGLE BEDROOM (NOT INCLUDING: CLOSET, VESTIBULE, WARDROBES, & TOILET ROOM AREA)	100 SF	112 - 196 SF
MULTIBED BEDROOM (NOT INCLUDING: CLOSET, VESTIBULE, WARDROBES, & TOILET ROOM AREA)	80 SF EA. 160 SF TOTAL	191 - 243 SF

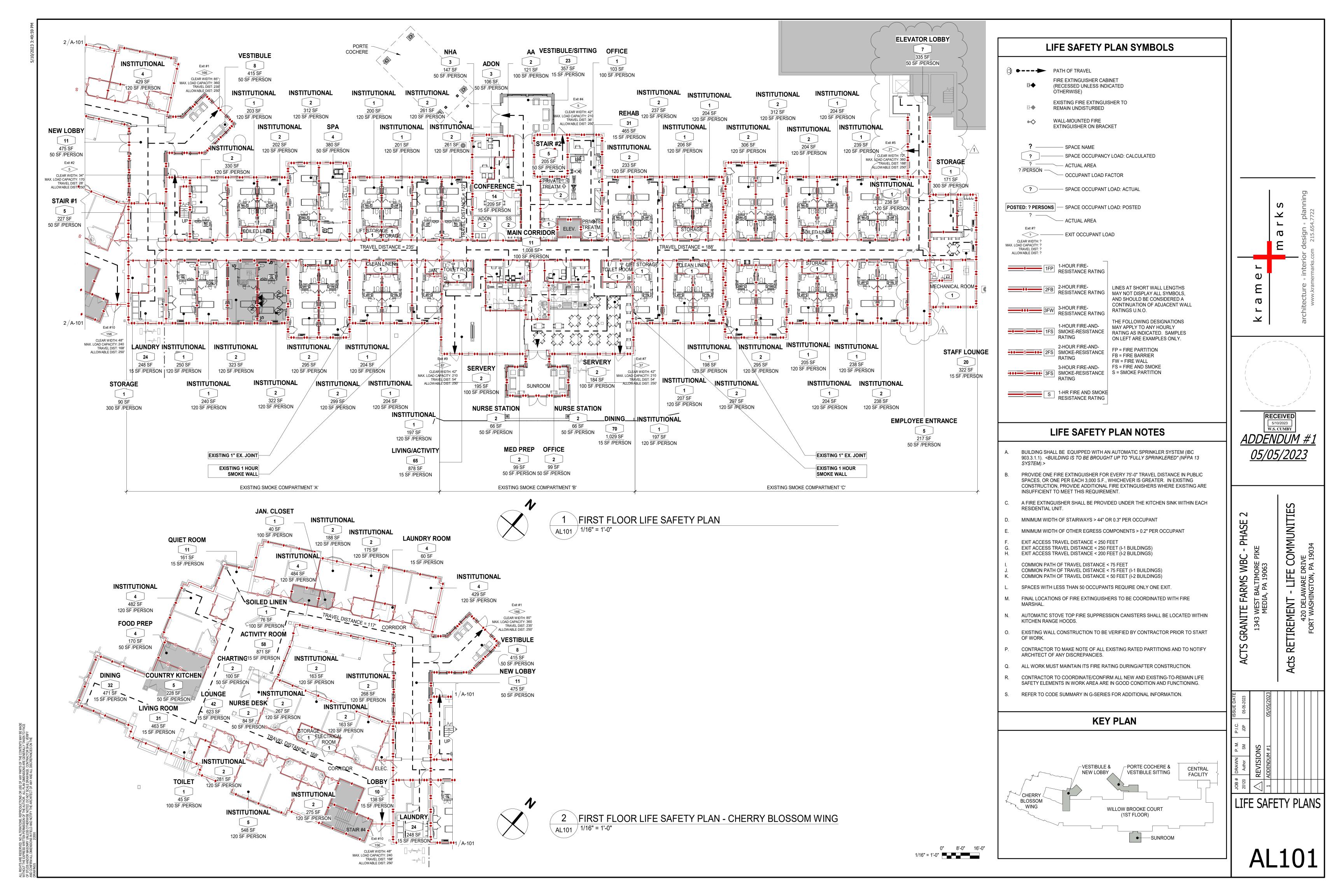


date: 05-05-2023

job number: 20120

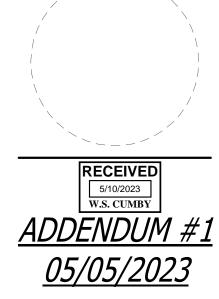
RECEIVED 5/10/2023 W.S. CUMBY





DEMOLITION LEGEND EXISTING DOOR DOOR TO BE EXIST. WALLS WALLS TO BE // REMOVED CONTRACT TO REMAIN = = REMOVED TO REMAIN **GENERAL DEMOLITION NOTES - FLOOR PLAN GENERAL DEMO NOTES - RCP** A. DEFINITIONS PROVIDE A DUST PROOF BARRIER AROUND AREAS OF CONSTRUCTION FOR SEE ELECTRICAL DRAWINGS FOR ALL LIGHT FIXTURE SPECIFICATIONS/INFORMATION. REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE DURATION OF WORK. FOREIGN OBJECTS AND ODORS ARE TO BE PREVENTED INDICATED TO BE REINSTALLED, SALVAGED OR TO REMAIN AS OWNER'S FROM ENTERING THE BUILDING VENTILATION SYSTEM. PROVIDE COORDINATE PLANS SHOWING ALL MEP/AVL ITEMS & STRUCTURE. PROPERTY. EXISTING TO REMAIN: PROTECT CONSTRUCTION, FINISHES, EQUIPMENT, PROVIDE AND MAINTAIN WEATHER PROTECTION AT EXTERIOR OPENINGS AS ALL DOWNLIGHTS TO BE CENTERED WITHIN CEILING TILE WHERE APPLICABLE. REQUIRED TO FULLY PROTECT THE INTERIOR PREMISES AGAINST DAMAGE FURNITURE AND FIXTURES INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING DEMOLITION AND NEW CONSTRUCTION. FROM THE ELEMENTS UNTIL SUCH OPENINGS ARE CLOSED BY NEW CONTRACTOR TO REPLACE ALL HVAC DIFFUSERS & LOUVERS IN RENOVATED AREAS CONSTRUCTION. AS REQ'D. WHERE DEMOLITION OF ANY KIND RESULTS IN A SURFACE THAT IS ROUGH OR DAMAGED, CONTRACTOR SHALL CLEAN, SAND, AND REPAIR SURFACE AS ALL BUILDING SYSTEMS MUST BE PROPERLY TERMINATED, REMOVED AND/OR PATCH EXISTING CEILINGS/SOFFITS AS REQ'D WHERE MECHANICAL NECESSARY SO THAT REMOVAL IS NOT APPARENT. WHERE NEW FINISHES ARE CAPPED BY DEAD ENDING PIPING AND WIRING IN A SAFE, CODE-CONFORMING SUBCONTRACTOR HAS REMOVED EXISTING GRILLS, REGISTERS, DIFFUSERS, ETC. PROPOSED CONTRACTOR SHALL PREP EXISTING SURFACES TO RECEIVE NEW AND PERMANENT MANNER. WHERE PARTITIONS OR OTHER WORK IS NOTED TO MAINTAIN EXISTING RATED CONSTRUCTION. BE REMOVED, REMOVE AND/OR TERMINATE ALL ELECTRICAL AND TELEPHONE OUTLETS, CONDUITS AND BOXES, LIGHT SWITCHES, THERMOSTATS, PATCH EXISTING CEILINGS/SOFFITS AS REQ'D FOR THE MECHANICAL DEMOLITION KEY NOTES APPLY TO THE PROJECT IN GENERAL AS WELL AS PLUMBING, DUCTWORK, MILLWORK AND ANY OTHER ATTACHED ITEMS. SUBCONTRACTOR TO CAP EXISTING DUCTWORK. WHERE INDICATED ON PLAN. CONTRACTOR TO VISIT THE EXISTING BUILDING AND SITE PRIOR TO BID TO NOTE THE DEMOLITION REQUIRED TO EXECUTE THE ALL SAFETY SYSTEMS SHALL REMAIN ACTIVE DURING DEMOLITION. THE SPACE CONTRACTOR TO RELOCATE EXISTING CEILING ELEMENTS TO ACCOMODATE NEW SHALL BE MAINTAINED AND LEFT IN A SAFE CONDITION. ALL FLOOR OPENINGS, PROPOSED DESIGN. CEILING TILE & GRID. ALL TO COMPLY W/ APPLICABLE FIRE & SAFETY CODES. HAZARDS, AND UNSAFE CONDITIONS SHALL BE IDENTIFIED AND THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND COORDINATE WITH CONTRACTOR SHALL PROVIDE PROPER NOTIFICATION AND OBSTACLES TO CONTRACTOR TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS ALL PROPOSED WORK. ALL AREAS OF DEMOLITION SHALL BE PREPPED FOR SECURE PUBLIC SAFETY. NOT SHOWN IN PLAN. INSTALLATION OF NEW FIXTURES, FLOORING, WALLS, EQUIPMENT, ETC. WHENEVER POSSIBLE, CONTRACTOR TO DIVERT CONSTRUCTION, DEMOLITION LIGHTING FIXTURES TO BE SUPPORTED FROM STRUCTURE ABOVE. CONTRACTOR TO CONTRACTOR TO COORDINATE DIMENSIONS OF PROPOSED CONSTRUCTION AND LAND-CLEARING DEBRIS FROM DISPOSAL IN LANDFILLS AND COORDINATE MOUNTING TYPE TO CEILING TYPE: DRYWALL OR LAY-IN SURFACE, WITH EXTENT OF WORK SHOWN ON DEMOLITION PLAN AND NOTIFY ARCHITECT INCINERATORS. REDIRECT RECYCLABLE RECOVERED RESOURCES BACK TO THE MANUFACTURING PROCESS. REDIRECT REUSABLE MATERIALS TO IMMEDIATELY IF THERE IS ANY DISCREPANCY WITH DIMENSIONS SHOWN ON DEMOLITION PLAN. APPROPRIATE SITES. GC TO CONFIRM ACT SPECIFICATION COMPLIES W/ LOCAL BOARD OF HEALTH REQUIREMENTS WHERE APPLICABLE. IF DOES NOT COMPLY, GC TO CONTACT ALL DEMOLITION MATERIAL, TRASH AND DEBRIS SHALL BE PLACED IN DUMPSTER PROVIDE ADEQUATE TEMPORARY FIRE PROTECTION IN ACCORDANCE WITH ARCHITECT. DAILY AND ENTIRE SITE MUST BE KEPT BROOM CLEAN AT ALL TIMES. LOCAL FIRE DEPARTMENT REQUIREMENTS FOR THE DURATION OF THE RELOCATION OF SPRINKLER HEADS SHALL BE PERFORMED BY SPRINKLER SUB-VERIFY THAT ALL EXISTING UTILITIES HAVE BEEN IDENTIFIED, LOCATED AND CONTRACTOR AND SHOULD COMPLY W/ ALL FIRE & SAFETY CODES. SECURED. FIELD VERIFY THAT ALL UTILITIES ARE PROPERLY SECURED. REFERENCE AND COORDINATE WITH MECHANICAL. ELECTRICAL AND PLUMBING. EXISTING CEILINGS TO REMAIN ARE TO BE REFINISHED. REFER TO INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION. AT LOCATIONS OF RESTORE AND MAKE GOOD ANY DAMAGE WHICH MAY BE DONE IN THE COURSE DEMOLISHED INTERIOR PARTITIONS, PATCH AND REPAIR AS REQUIRED TO RECEIVE OF THE DEMOLITION, IRRESPECTIVE OF WHETHER SUCH DAMAGE SHALL BE DUE TO NEGLIGENCE OR TO THE INHERENT CHARACTER OF THE WORK. PROVIDE TEMPORARY SUPPORTS AS REQUIRED TO EXECUTE DEMOLITION AND NEW CONSTRUCTION. COORDINATE WITH STRUCTURAL BEFORE PERFORMING WORK. DO NOT CUT OR REMOVE CONSTRUCTION WHICH MIGHT WEAKEN OR IMPAIR THE STRUCTURAL INTEGRITY OR STRENGTH OF THE STRUCTURAL FRAMING OR SUPPORT SYSTEMS WHICH ARE TO REMAIN. NOTIFY OWNER AND ARCHITECT OF ANY UNFORESEEN CONDITIONS IMMEDIATELY. WHEN REMOVING EXISTING EQUIPMENT, CONTRACTOR SHALL REMOVE ALL ASSOCIATED WORK SUCH AS HANGERS AND SUPPORTS WHICH ARE NOT REQUIRED TO REMAIN FOR THE INSTALLATION OF NEW EQUIPMENT. CONTRACTOR SHALL PROVIDE NEW OPENINGS AS REQUIRED TO INSTALL NEW MEP AND FP WORK AS WELL AS ANY OTHER EQUIPMENT. AREAS TO BE REFRAMED AS REQUIRED. REPAIR GWB WORK FROM MEP WORK. REPAIR, PATCH, CLEAN AND REFINISH ACCORDING TO FINISH SCHEDULE ANY EXISTING WALLS TO REMAIN. REMOVE ABANDONED CIRCUITS AND ALL ELECTRICAL EQUIPMENT THAT WILL NOT BE REUSED. REMOVAL SHALL INCLUDE BUT NOT BE LIMITED TO PANELS, OUTLETS, UNUSED FRAMING AND MISC. WIRING. REMOVE ALL EXISTING MECHANICAL DUCT WORK AND MECHANICAL EQUIPMENT THAT WILL NOT BE REUSED. REMOVAL SHALL INCLUDE BUT NOT BE LIMITED TO DUCT WORK, DIFFUSERS, RADIATORS, BASE BOARD UNITS, FANS AND ABANDONED EQUIPMENT. COORDINATE EQUIPMENT REMOVAL WITH MECHANICAL PLANS. REFERENCE MEP DRAWINGS AND SPECIFICATIONS FOR DEMOLITION OF FIXTURES, UTILITIES, ETC. FIELD VERIFY CONDITION OF EXISTING ELECTRICAL & PLUMBING DURING DEMOLITION AND NOTIFY OWNER AND ARCHITECT OF ANY UNFORESEEN CONDITIONS IMMEDIATELY. REFERENCE FIRE PROTECTION DRAWINGS FOR RELOCATION OF EXISTING SPRINKLER HEADS. SPRINKLER WORK IS TO BE DONE BY A QUALIFIED FIRE PROTECTION CONTRACTOR. <OLIVER SPRINKLER COMPANY, INC.> Q. MAINTAIN INTEGRITY OF ALL EXISTING RATED WALLS AND SHAFTS U.N.O. IN DEMOLITION DRAWINGS. THE OWNER WILL BE RESPONSIBLE FOR REMOVING <SALVAGE, PROTECT AND DELIVER TO OWNER> ALL EXISTING WALL MOUNTED ACCESSORIES. BULLETIN BOARDS, ARTWORK, SIGNAGE, TELEVISIONS, MOUNTING BRACKETS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING WALLS IN WHERE TILE IS INDICATED TO BE REMOVED, MORTAR BED SHALL ALSO BE REMOVED DOWN TO STRUCTURAL SUBSTRATE. ELEVATED POST-TENSIONED CONCRETE FLOORS SHALL BE X-RAYED PRIOR TO CORING HOLES AND/ OR REMOVING PORTIONS OF THE EXISTING STRUCTURE. COORDINATE ALL NEW SLAB PENETRATIONS WITH STRUCTURAL. NOTIFY OWNER AND ARCHITECT OF ANY UNFORESEEN CONDITIONS IMMEDIATELY. S DEMOLISH EXISTING FLOOR FINISHES THROUGHOUT EXTENTS OF WORK. PATCH AND REPAIR EXISTING SLAB AS REQUIRED TO PROVIDE A SMOOTH AND LEVEL SURFACE TO RECEIVE NEW FINISH. FILL AND FIRESTOP ALL OPENINGS IN FLOORS, CEILINGS AND OTHER RATED ASSEMBLIES TO MAINTAIN RATING W. CUT AND TRENCH EXISTING CONCRETE SLAB TO RECEIVE NEW PLUMBING LINES. ALL MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, RULES, REGULATIONS OF LOCAL CITY, TOWNSHIP, COUNTY, AND STATE REQUIREMENTS. WHERE PARTITIONS OR OTHER WORK IS NOTED TO BE REMOVED, ADJACENT WALLS, CEILINGS, FLOORS AND FINISHES SHALL BE PATCHED AND LEVELED, AS REQUIRED, TO BLEND TOGETHER AND MATCH EXISTING. ALL SELECTIVE DEMOLITION WORK ADJACENT TO REMAINING CONSTRUCTION MUST BE DONE IN A WORKMAN-LIKE MANNER IN PREPARATION FOR NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL IDENTIFY EQUIPMENT AND MATERIALS TO BE RELOCATED AND COORDINATE THEIR METHODS OF REMOVAL, SAFE STORAGE, INVENTORY ETC., WITH OWNERS REPRESENTATIVE PRIOR TO START OF DEMOLITION WORK.

kramermarks.com 215.654.7722



GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063
TIREMENT - LIFE COMMUNITIE

Acts RETIREMENT - LII

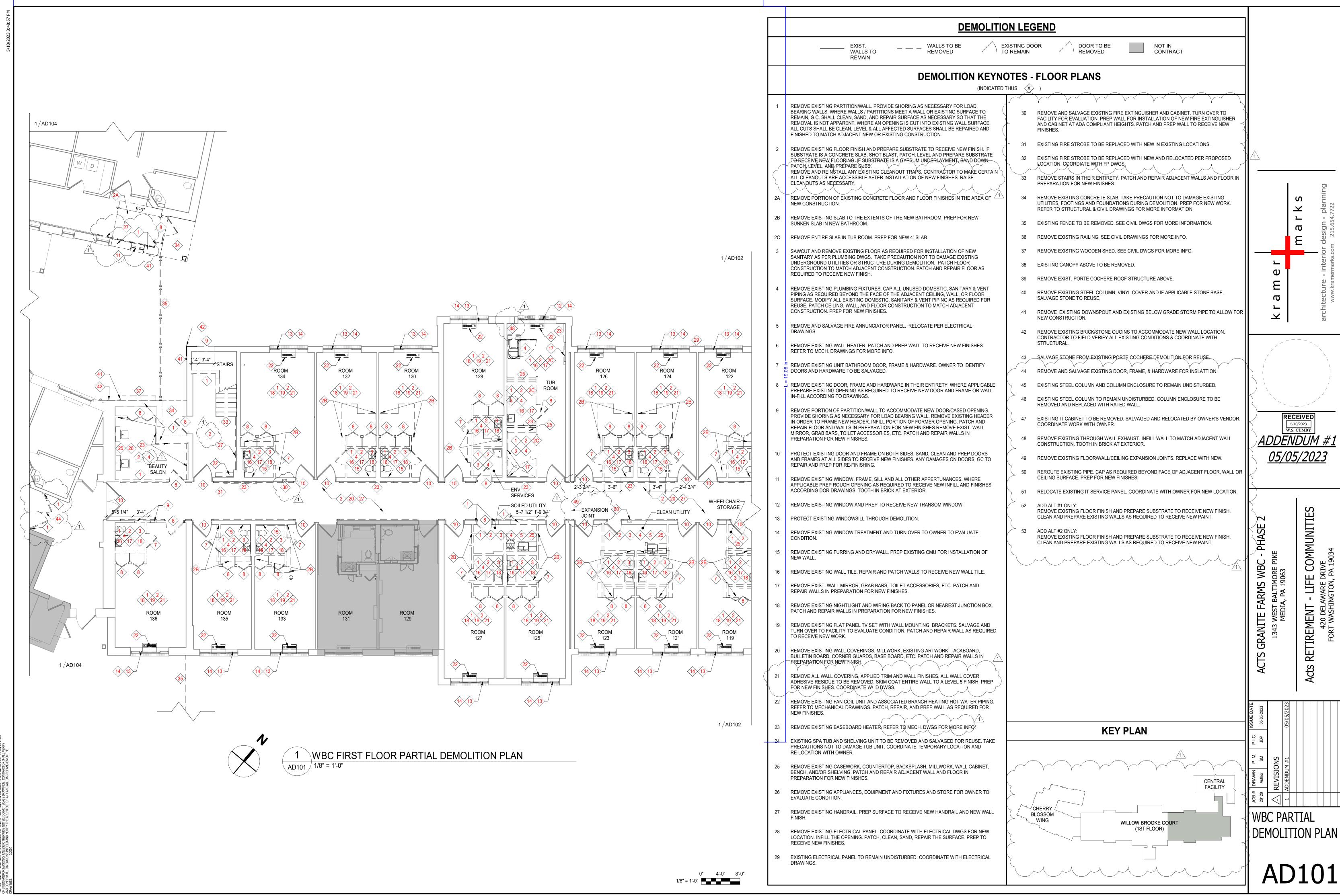
 JOB #
 DRAWN P. M.
 P. I.C.
 Concentration

 20120
 Author SM
 JDP
 05-05-2023

 1
 ADDENDUM #1
 05/05/2023

DEMOLITION NOTES

AD001



ARE RESERVED. NO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE CONTENTS MAY PERPECS WRITTEN DEPARTS ON THE ALITHOR ALL PLANDERS IN TAKEN THE ALITHOR ALL PLANDERS WRITTEN DEPARTS ON THE ALITHOR ALL PLANDERS.



REMAIN

WALLS TO

REMOVED

EXISTING DOOR TO REMAIN

REMOVED

DEMOLITION KEYNOTES - FLOOR PLANS

(INDICATED THUS: $\langle X \rangle$)

- REMOVE EXISTING PARTITION/WALL. PROVIDE SHORING AS NECESSARY FOR LOAD BEARING WALLS. WHERE WALLS / PARTITIONS MEET A WALL OR EXISTING SURFACE TO REMAIN, G.C. SHALL CLEAN, SAND, AND REPAIR SURFACE AS NECESSARY SO THAT THE REMOVAL IS NOT APPARENT. WHERE AN OPENING IS CUT INTO EXISTING WALL SURFACE, ALL CUTS SHALL BE CLEAN, LEVEL & ALL AFFECTED SURFACES SHALL BE REPAIRED AND FINISHED TO MATCH ADJACENT NEW OR EXISTING CONSTRUCTION.
- REMOVE EXISTING FLOOR FINISH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISH. IF SUBSTRATE IS A CONCRETE SLAB, SHOT BLAST, PATCH, LEVEL AND PREPARE SUBSTRATE TO RECEIVE NEW FLOORING. IF SUBSTRATE IS A GYPSUM UNDERLAYMENT, SAND DOWN, PATCH, LEVEL, AND PREPARE SUBS.
- REMOVE AND REINSTALL ANY EXISTING CLEANOUT TRAPS. CONTRACTOR TO MAKE CERTAIN ALL CLEANOUTS ARE ACCESSIBLE AFTER INSTALLATION OF NEW FINISHES. RAISE
- REMOVE PORTION OF EXISTING CONCRETE FLOOR AND FLOOR FINISHES IN THE AREA OF NEW CONSTRUCTION.
- REMOVE EXISTING SLAB TO THE EXTENTS OF THE NEW BATHROOM, PREP FOR NEW SUNKEN SLAB IN NEW BATHROOM.
- 2C REMOVE ENTIRE SLAB IN TUB ROOM. PREP FOR NEW 4" SLAB.

CLEANOUTS AS NECESSARY.

- SAWCUT AND REMOVE EXISTING FLOOR AS REQUIRED FOR INSTALLATION OF NEW SANITARY AS PER PLUMBING DWGS. TAKE PRECAUTION NOT TO DAMAGE EXISTING UNDERGROUND UTILITIES OR STRUCTURE DURING DEMOLITION. PATCH FLOOR CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION. PATCH AND REPAIR FLOOR AS REQUIRED TO RECEIVE NEW FINISH.
- REMOVE EXISTING PLUMBING FIXTURES. CAP ALL UNUSED DOMESTIC, SANITARY & VENT PIPING AS REQUIRED BEYOND THE FACE OF THE ADJACENT CEILING, WALL, OR FLOOR SURFACE. MODIFY ALL EXISTING DOMESTIC, SANITARY & VENT PIPING AS REQUIRED FOR REUSE. PATCH CEILING, WALL, AND FLOOR CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION. PREP FOR NEW FINISHES.
- REMOVE AND SALVAGE FIRE ANNUNCIATOR PANEL. RELOCATE PER ELECTRICAL
- REMOVE EXISTING WALL HEATER. PATCH AND PREP WALL TO RECEIVE NEW FINISHES. REFER TO MECH. DRAWINGS FOR MORE INFO.
- REMOVE EXISTING UNIT BATHROOM DOOR, FRAME & HARDWARE. OWNER TO IDENTIFY DOORS AND HARDWARE TO BE SALVAGED.
- REMOVE EXISTING DOOR, FRAME AND HARDWARE IN THEIR ENTIRETY. WHERE APPLICABLE PREPARE EXISTING OPENING AS REQUIRED TO RECEIVE NEW DOOR AND FRAME OR WALL IN-FILL ACCORDING TO DRAWINGS.
- REMOVE PORTION OF PARTITION/WALL TO ACCOMMODATE NEW DOOR/CASED OPENING. PROVIDE SHORING AS NECESSARY FOR LOAD BEARING WALL. REMOVE EXISTING HEADER IN ORDER TO FRAME NEW HEADER. INFILL PORTION OF FORMER OPENING. PATCH AND REPAIR FLOOR AND WALLS IN PREPARATION FOR NEW FINISHES.REMOVE EXIST. WALL MIRROR, GRAB BARS, TOILET ACCESSORIES, ETC. PATCH AND REPAIR WALLS IN PREPARATION FOR NEW FINISHES.
- PROTECT EXISTING DOOR AND FRAME ON BOTH SIDES. SAND, CLEAN AND PREP DOORS AND FRAMES AT ALL SIDES TO RECEIVE NEW FINISHES. ANY DAMAGES ON DOORS, GC TO REPAIR AND PREP FOR RE-FINISHING.
- REMOVE EXISTING WINDOW, FRAME, SILL AND ALL OTHER APPERTUNANCES, WHERE APPLICABLE PREP ROUGH OPENING AS REQUIRED TO RECEIVE NEW INFILL AND FINISHES ACCORDING DOR DRAWINGS. TOOTH IN BRICK AT EXTERIOR.
- REMOVE EXISTING WINDOW AND PREP TO RECEIVE NEW TRANSOM WINDOW.
- 13 PROTECT EXISTING WINDOWSILL THROUGH DEMOLITION.

FOR NEW FINISHES. COORDINATE W/ ID DWGS.

- REMOVE EXISTING WINDOW TREATMENT AND TURN OVER TO OWNER TO EVALUATE
- REMOVE EXISTING FURRING AND DRYWALL. PREP EXISTING CMU FOR INSTALLATION OF
- REMOVE EXISTING WALL TILE. REPAIR AND PATCH WALLS TO RECEIVE NEW WALL TILE.
- REMOVE EXIST. WALL MIRROR, GRAB BARS, TOILET ACCESSORIES, ETC. PATCH AND REPAIR WALLS IN PREPARATION FOR NEW FINISHES.

PATCH AND REPAIR WALLS IN PREPARATION FOR NEW FINISHES.

REMOVE EXISTING FLAT PANEL TV SET WITH WALL MOUNTING BRACKETS. SALVAGE AND TURN OVER TO FACILITY TO EVALUATE CONDITION. PATCH AND REPAIR WALL AS REQUIRED

BULLETIN BOARD, CORNER GUARDS, BASE BOARD, ETC. PATCH AND REPAIR WALLS IN

ADHESIVE RESIDUE TO BE REMOVED. SKIM COAT ENTIRE WALL TO A LEVEL 5 FINISH. PREP

REMOVE EXISTING NIGHTLIGHT AND WIRING BACK TO PANEL OR NEAREST JUNCTION BOX.

- REMOVE EXISTING WALL COVERINGS, MILLWORK, EXISTING ARTWORK, TACKBOARD,
- PREPARATION FOR NEW FINISH. REMOVE ALL WALL COVERING, APPLIED TRIM AND WALL FINISHES. ALL WALL COVER
- REMOVE EXISTING FAN COIL UNIT AND ASSOCIATED BRANCH HEATING HOT WATER PIPING. REFER TO MECHANICAL DRAWINGS. PATCH, REPAIR, AND PREP WALL AS REQUIRED FOR
- REMOVE EXISTING BASEBOARD HEATER. REFER TO MECH. DWGS FOR MORE INFO.
- EXISTING SPA TUB AND SHELVING UNIT TO BE REMOVED AND SALVAGED FOR REUSE. TAKE PRECAUTIONS NOT TO DAMAGE TUB UNIT. COORDINATE TEMPORARY LOCATION AND RE-LOCATION WITH OWNER.
- REMOVE EXISTING CASEWORK, COUNTERTOP, BACKSPLASH, MILLWORK, WALL CABINET, BENCH, AND/OR SHELVING. PATCH AND REPAIR ADJACENT WALL AND FLOOR IN PREPARATION FOR NEW FINISHES.
- REMOVE EXISTING APPLIANCES, EQUIPMENT AND FIXTURES AND STORE FOR OWNER TO EVALUATE CONDITION.
- REMOVE EXISTING HANDRAIL. PREP SURFACE TO RECEIVE NEW HANDRAIL AND NEW WALL
- REMOVE EXISTING ELECTRICAL PANEL. COORDINATE WITH ELECTRICAL DWGS FOR NEW LOCATION. INFILL THE OPENING. PATCH, CLEAN, SAND, REPAIR THE SURFACE. PREP TO RECEIVE NEW FINISHES.
- EXISTING ELECTRICAL PANEL TO REMAIN UNDISTURBED. COORDINATE WITH ELECTRICAL

REMOVE AND SALVAGE EXISTING FIRE EXTINGUISHER AND CABINET, TURN OVER TO FACILITY FOR EVALUATION. PREP WALL FOR INSTALLATION OF NEW FIRE EXTINGUISHER AND CABINET AT ADA COMPLIANT HEIGHTS. PATCH AND PREP WALL TO RECEIVE NEW

CONTRACT

- EXISTING FIRE STROBE TO BE REPLACED WITH NEW IN EXISTING LOCATIONS.
- 32 EXISTING FIRE STROBE TO BE REPLACED WITH NEW AND RELOCATED PER PROPOSED LOCATION. COORDIATE WITH FP DWGS.
- REMOVE STAIRS IN THEIR ENTIRETY. PATCH AND REPAIR ADJACENT WALLS AND FLOOR IN PREPARATION FOR NEW FINISHES.
- REMOVE EXISTING CONCRETE SLAB. TAKE PRECAUTION NOT TO DAMAGE EXISTING UTILITIES, FOOTINGS AND FOUNDATIONS DURING DEMOLITION. PREP FOR NEW WORK.
- REFER TO STRUCTURAL & CIVIL DRAWINGS FOR MORE INFORMATION. 35 EXISTING FENCE TO BE REMOVED. SEE CIVIL DWGS FOR MORE INFORMATION.
- 36 REMOVE EXISTING RAILING. SEE CIVIL DRAWINGS FOR MORE INFO.
- REMOVE EXISTING WOODEN SHED. SEE CIVIL DWGS FOR MORE INFO.
- 38 EXISTING CANOPY ABOVE TO BE REMOVED.
- REMOVE EXIST. PORTE COCHERE ROOF STRUCTURE ABOVE.
- 40 REMOVE EXISTING STEEL COLUMN, VINYL COVER AND IF APPLICABLE STONE BASE. SALVAGE STONE TO REUSE.
- REMOVE EXISTING DOWNSPOUT AND EXISTING BELOW GRADE STORM PIPE TO ALLOW FOR NEW CONSTRUCTION.
- REMOVE EXISTING BRICK/STONE QUOINS TO ACCOMMODATE NEW WALL LOCATION. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS & COORDINATE WITH
- 43 SALVAGE STONE FROM EXISTING PORTE COCHERE DEMOLITION FOR REUSE.
- 44 REMOVE AND SALVAGE EXISTING DOOR, FRAME, & HARDWARE FOR INSLATTION.
- 45 EXISTING STEEL COLUMN AND COLUMN ENCLOSURE TO REMAIN UNDISTURBED.
- 46 EXISTING STEEL COLUMN TO REMAIN UNDISTURBED. COLUMN ENCLOSURE TO BE REMOVED AND REPLACED WITH RATED WALL.
- 47 EXISTING IT CABINET TO BE REMOVED, SALVAGED AND RELOCATED BY OWNER'S VENDOR. COORDINATE WORK WITH OWNER.
- REMOVE EXISTING THROUGH WALL EXHAUST. INFILL WALL TO MATCH ADJACENT WALL CONSTRUCTION. TOOTH IN BRICK AT EXTERIOR.
- REMOVE EXISTING FLOOR/WALL/CEILING EXPANSION JOINTS. REPLACE WITH NEW.
- REROUTE EXISTING PIPE. CAP AS REQUIRED BEYOND FACE OF ADJACENT FLOOR, WALL C CEILING SURFACE. PREP FOR NEW FINISHES.
- RELOCATE EXISTING IT SERVICE PANEL. COORDINATE WITH OWNER FOR NEW LOCATION.

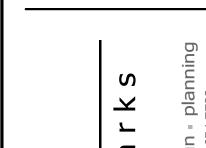
BLOSSOM

WING

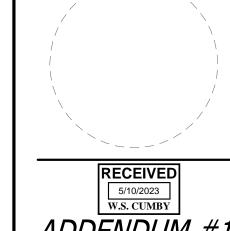
- REMOVE EXISTING FLOOR FINISH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISH. CLEAN AND PREPARE EXISTING WALLS AS REQUIRED TO RECEIVE NEW PAINT.
- REMOVE EXISTING FLOOR FINISH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISH, CLEAN AND PREPARE EXISTING WALLS AS REQUIRED TO RECEIVE NEW PAINT

KEY PLAN

WILLOW BROOKE COURT (1ST FLOOR)



 $\boldsymbol{\omega}$



COMMUNITI **FARMS**

ETIREM

CENTRAL **FACILITY**

> **WBC PARTIAL** DEMOLITION PLAN

0" 4'-0" 8'-0" 1/8" = 1'-0"

DEMOLITION LEGEND

_____ EXIST. WALLS TO REMAIN

 $\underline{} \underline{} \underline{} \underline{}$ WALLS TO BE REMOVED

EXISTING DOOR TO REMAIN

DOOR TO BE REMOVED

CONTRACT

DEMOLITION KEYNOTES - FLOOR PLANS

(INDICATED THUS: $\langle X \rangle$)

- REMOVE EXISTING PARTITION/WALL. PROVIDE SHORING AS NECESSARY FOR LOAD BEARING WALLS. WHERE WALLS / PARTITIONS MEET A WALL OR EXISTING SURFACE TO REMAIN, G.C. SHALL CLEAN, SAND, AND REPAIR SURFACE AS NECESSARY SO THAT THE REMOVAL IS NOT APPARENT. WHERE AN OPENING IS CUT INTO EXISTING WALL SURFACE, ALL CUTS SHALL BE CLEAN, LEVEL & ALL AFFECTED SURFACES SHALL BE REPAIRED AND FINISHED TO MATCH ADJACENT NEW OR EXISTING CONSTRUCTION.
- REMOVE EXISTING FLOOR FINISH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISH. IF SUBSTRATE IS A CONCRETE SLAB, SHOT BLAST, PATCH, LEVEL AND PREPARE SUBSTRATE TO RECEIVE NEW FLOORING. IF SUBSTRATE IS A GYPSUM UNDERLAYMENT, SAND DOWN, PATCH, LEVEL, AND PREPARE SUBS. REMOVE AND REINSTALL ANY EXISTING CLEANOUT TRAPS. CONTRACTOR TO MAKE CERTAIN ALL CLEANOUTS ARE ACCESSIBLE AFTER INSTALLATION OF NEW FINISHES. RAISE
- 2A REMOVE PORTION OF EXISTING CONCRETE FLOOR AND FLOOR FINISHES IN THE AREA OF
- 2B REMOVE EXISTING SLAB TO THE EXTENTS OF THE NEW BATHROOM, PREP FOR NEW SUNKEN SLAB IN NEW BATHROOM.
- 2C REMOVE ENTIRE SLAB IN TUB ROOM. PREP FOR NEW 4" SLAB.
- SAWCUT AND REMOVE EXISTING FLOOR AS REQUIRED FOR INSTALLATION OF NEW SANITARY AS PER PLUMBING DWGS. TAKE PRECAUTION NOT TO DAMAGE EXISTING UNDERGROUND UTILITIES OR STRUCTURE DURING DEMOLITION. PATCH FLOOR CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION. PATCH AND REPAIR FLOOR AS
- REMOVE EXISTING PLUMBING FIXTURES. CAP ALL UNUSED DOMESTIC. SANITARY & VENT PIPING AS REQUIRED BEYOND THE FACE OF THE ADJACENT CEILING, WALL, OR FLOOR SURFACE. MODIFY ALL EXISTING DOMESTIC, SANITARY & VENT PIPING AS REQUIRED FOR REUSE. PATCH CEILING, WALL, AND FLOOR CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION. PREP FOR NEW FINISHES.
- REMOVE AND SALVAGE FIRE ANNUNCIATOR PANEL. RELOCATE PER ELECTRICAL
- REMOVE EXISTING WALL HEATER. PATCH AND PREP WALL TO RECEIVE NEW FINISHES. REFER TO MECH. DRAWINGS FOR MORE INFO.
- REMOVE EXISTING UNIT BATHROOM DOOR, FRAME & HARDWARE. OWNER TO IDENTIFY DOORS AND HARDWARE TO BE SALVAGED.
- REMOVE EXISTING DOOR, FRAME AND HARDWARE IN THEIR ENTIRETY, WHERE APPLICABLE PREPARE EXISTING OPENING AS REQUIRED TO RECEIVE NEW DOOR AND FRAME OR WALL
- REMOVE PORTION OF PARTITION/WALL TO ACCOMMODATE NEW DOOR/CASED OPENING. PROVIDE SHORING AS NECESSARY FOR LOAD BEARING WALL. REMOVE EXISTING HEADER IN ORDER TO FRAME NEW HEADER. INFILL PORTION OF FORMER OPENING. PATCH AND REPAIR FLOOR AND WALLS IN PREPARATION FOR NEW FINISHES.REMOVE EXIST. WALL MIRROR, GRAB BARS, TOILET ACCESSORIES, ETC. PATCH AND REPAIR WALLS IN
- PROTECT EXISTING DOOR AND FRAME ON BOTH SIDES. SAND, CLEAN AND PREP DOORS AND FRAMES AT ALL SIDES TO RECEIVE NEW FINISHES. ANY DAMAGES ON DOORS, GC TO
- REMOVE EXISTING WINDOW, FRAME, SILL AND ALL OTHER APPERTUNANCES. WHERE APPLICABLE PREP ROUGH OPENING AS REQUIRED TO RECEIVE NEW INFILL AND FINISHES ACCORDING DOR DRAWINGS. TOOTH IN BRICK AT EXTERIOR.
- REMOVE EXISTING WINDOW AND PREP TO RECEIVE NEW TRANSOM WINDOW.
- 13 PROTECT EXISTING WINDOWSILL THROUGH DEMOLITION.
- 14 REMOVE EXISTING WINDOW TREATMENT AND TURN OVER TO OWNER TO EVALUATE
- 15 REMOVE EXISTING FURRING AND DRYWALL. PREP EXISTING CMU FOR INSTALLATION OF
- 16 REMOVE EXISTING WALL TILE. REPAIR AND PATCH WALLS TO RECEIVE NEW WALL TILE.
- REMOVE EXIST. WALL MIRROR, GRAB BARS, TOILET ACCESSORIES, ETC. PATCH AND REPAIR WALLS IN PREPARATION FOR NEW FINISHES.
- REMOVE EXISTING FLAT PANEL TV SET WITH WALL MOUNTING BRACKETS. SALVAGE AND
- TO RECEIVE NEW WORK. 20 REMOVE EXISTING WALL COVERINGS, MILLWORK, EXISTING ARTWORK, TACKBOARD,
- REMOVE ALL WALL COVERING, APPLIED TRIM AND WALL FINISHES. ALL WALL COVER ADHESIVE RESIDUE TO BE REMOVED. SKIM COAT ENTIRE WALL TO A LEVEL 5 FINISH. PREP
- 22 REMOVE EXISTING FAN COIL UNIT AND ASSOCIATED BRANCH HEATING HOT WATER PIPING. REFER TO MECHANICAL DRAWINGS. PATCH, REPAIR, AND PREP WALL AS REQUIRED FOR
- 23 REMOVE EXISTING BASEBOARD HEATER. REFER TO MECH. DWGS FOR MORE INFO.
- 24 EXISTING SPA TUB AND SHELVING UNIT TO BE REMOVED AND SALVAGED FOR REUSE. TAKE PRECAUTIONS NOT TO DAMAGE TUB UNIT. COORDINATE TEMPORARY LOCATION AND RE-LOCATION WITH OWNER.
- 25 REMOVE EXISTING CASEWORK, COUNTERTOP, BACKSPLASH, MILLWORK, WALL CABINET, BENCH, AND/OR SHELVING. PATCH AND REPAIR ADJACENT WALL AND FLOOR IN PREPARATION FOR NEW FINISHES.
- 26 REMOVE EXISTING APPLIANCES, EQUIPMENT AND FIXTURES AND STORE FOR OWNER TO
- 27 REMOVE EXISTING HANDRAIL. PREP SURFACE TO RECEIVE NEW HANDRAIL AND NEW WALL
- 28 REMOVE EXISTING ELECTRICAL PANEL. COORDINATE WITH ELECTRICAL DWGS FOR NEW LOCATION. INFILL THE OPENING. PATCH, CLEAN, SAND, REPAIR THE SURFACE. PREP TO RECEIVE NEW FINISHES.
- 29 EXISTING ELECTRICAL PANEL TO REMAIN UNDISTURBED. COORDINATE WITH ELECTRICAL

- REMOVE AND SALVAGE EXISTING FIRE EXTINGUISHER AND CABINET. TURN OVER TO FACILITY FOR EVALUATION. PREP WALL FOR INSTALLATION OF NEW FIRE EXTINGUISHER AND CABINET AT ADA COMPLIANT HEIGHTS. PATCH AND PREP WALL TO RECEIVE NEW
- EXISTING FIRE STROBE TO BE REPLACED WITH NEW IN EXISTING LOCATIONS.
- EXISTING FIRE STROBE TO BE REPLACED WITH NEW AND RELOCATED PER PROPOSED LOCATION. COORDIATE WITH FP DWGS.
- REMOVE STAIRS IN THEIR ENTIRETY. PATCH AND REPAIR ADJACENT WALLS AND FLOOR IN PREPARATION FOR NEW FINISHES.
- REMOVE EXISTING CONCRETE SLAB. TAKE PRECAUTION NOT TO DAMAGE EXISTING UTILITIES, FOOTINGS AND FOUNDATIONS DURING DEMOLITION. PREP FOR NEW WORK. REFER TO STRUCTURAL & CIVIL DRAWINGS FOR MORE INFORMATION.
- 35 EXISTING FENCE TO BE REMOVED. SEE CIVIL DWGS FOR MORE INFORMATION.
- 36 REMOVE EXISTING RAILING. SEE CIVIL DRAWINGS FOR MORE INFO.
- 37 REMOVE EXISTING WOODEN SHED. SEE CIVIL DWGS FOR MORE INFO.
- 38 EXISTING CANOPY ABOVE TO BE REMOVED.
- 39 REMOVE EXIST. PORTE COCHERE ROOF STRUCTURE ABOVE.
- REMOVE EXISTING STEEL COLUMN, VINYL COVER AND IF APPLICABLE STONE BASE. SALVAGE STONE TO REUSE.
- REMOVE EXISTING DOWNSPOUT AND EXISTING BELOW GRADE STORM PIPE TO ALLOW FOR NEW CONSTRUCTION.
- REMOVE EXISTING BRICK/STONE QUOINS TO ACCOMMODATE NEW WALL LOCATION. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS & COORDINATE WITH
- 43 SALVAGE STONE FROM EXISTING PORTE COCHERE DEMOLITION FOR REUSE.
- 44 REMOVE AND SALVAGE EXISTING DOOR, FRAME, & HARDWARE FOR INSLATTION.
- 45 EXISTING STEEL COLUMN AND COLUMN ENCLOSURE TO REMAIN UNDISTURBED.
- 46 EXISTING STEEL COLUMN TO REMAIN UNDISTURBED. COLUMN ENCLOSURE TO BE REMOVED AND REPLACED WITH RATED WALL.
- EXISTING IT CABINET TO BE REMOVED, SALVAGED AND RELOCATED BY OWNER'S VENDOR. COORDINATE WORK WITH OWNER.
- REMOVE EXISTING THROUGH WALL EXHAUST. INFILL WALL TO MATCH ADJACENT WALL
- CONSTRUCTION. TOOTH IN BRICK AT EXTERIOR.

49 REMOVE EXISTING FLOOR/WALL/CEILING EXPANSION JOINTS. REPLACE WITH NEW.

- REROUTE EXISTING PIPE. CAP AS REQUIRED BEYOND FACE OF ADJACENT FLOOR, WALL OR
- CEILING SURFACE. PREP FOR NEW FINISHES.

REMOVE EXISTING FLOOR FINISH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISH,

- RELOCATE EXISTING IT SERVICE PANEL. COORDINATE WITH OWNER FOR NEW LOCATION.
- REMOVE EXISTING FLOOR FINISH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISH.

CLEAN AND PREPARE EXISTING WALLS AS REQUIRED TO RECEIVE NEW PAINT

CLEAN AND PREPARE EXISTING WALLS AS REQUIRED TO RECEIVE NEW PAINT. ADD ALT #2 ONLY:

 $\boldsymbol{\sigma}$

RECEIVED W.S. CUMBY 05/05/2023

COMMUNITI **FARMS**

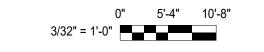
ETIREM 2

FACILITY

WBC PARTIAL DEMOLITION PLAN

KEY PLAN

BLOSSOM WING WILLOW BROOKE COURT (1ST FLOOR)





WALLS TO REMAIN

 $\underline{} \underline{} \underline{} \underline{}$ WALLS TO BE REMOVED

EXISTING DOOR TO REMAIN

DOOR TO BE REMOVED

CONTRACT

DEMOLITION KEYNOTES - FLOOR PLANS

(INDICATED THUS: $\langle X \rangle$)

- REMOVE EXISTING PARTITION/WALL. PROVIDE SHORING AS NECESSARY FOR LOAD BEARING WALLS. WHERE WALLS / PARTITIONS MEET A WALL OR EXISTING SURFACE TO REMAIN, G.C. SHALL CLEAN, SAND, AND REPAIR SURFACE AS NECESSARY SO THAT THE REMOVAL IS NOT APPARENT. WHERE AN OPENING IS CUT INTO EXISTING WALL SURFACE, ALL CUTS SHALL BE CLEAN, LEVEL & ALL AFFECTED SURFACES SHALL BE REPAIRED AND FINISHED TO MATCH ADJACENT NEW OR EXISTING CONSTRUCTION.
- REMOVE EXISTING FLOOR FINISH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISH. IF SUBSTRATE IS A CONCRETE SLAB, SHOT BLAST, PATCH, LEVEL AND PREPARE SUBSTRATE TO RECEIVE NEW FLOORING. IF SUBSTRATE IS A GYPSUM UNDERLAYMENT, SAND DOWN, PATCH, LEVEL, AND PREPARE SUBS. REMOVE AND REINSTALL ANY EXISTING CLEANOUT TRAPS. CONTRACTOR TO MAKE CERTAIN ALL CLEANOUTS ARE ACCESSIBLE AFTER INSTALLATION OF NEW FINISHES. RAISE
- REMOVE PORTION OF EXISTING CONCRETE FLOOR AND FLOOR FINISHES IN THE AREA OF
- REMOVE EXISTING SLAB TO THE EXTENTS OF THE NEW BATHROOM, PREP FOR NEW SUNKEN SLAB IN NEW BATHROOM.
- 2C REMOVE ENTIRE SLAB IN TUB ROOM. PREP FOR NEW 4" SLAB.

CLEANOUTS AS NECESSARY.

- SAWCUT AND REMOVE EXISTING FLOOR AS REQUIRED FOR INSTALLATION OF NEW SANITARY AS PER PLUMBING DWGS. TAKE PRECAUTION NOT TO DAMAGE EXISTING UNDERGROUND UTILITIES OR STRUCTURE DURING DEMOLITION. PATCH FLOOR CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION. PATCH AND REPAIR FLOOR AS REQUIRED TO RECEIVE NEW FINISH.
- REMOVE EXISTING PLUMBING FIXTURES. CAP ALL UNUSED DOMESTIC, SANITARY & VENT PIPING AS REQUIRED BEYOND THE FACE OF THE ADJACENT CEILING, WALL, OR FLOOR SURFACE. MODIFY ALL EXISTING DOMESTIC. SANITARY & VENT PIPING AS REQUIRED FOR REUSE. PATCH CEILING. WALL. AND FLOOR CONSTRUCTION TO MATCH ADJACENT CONSTRUCTION. PREP FOR NEW FINISHES.
- REMOVE AND SALVAGE FIRE ANNUNCIATOR PANEL. RELOCATE PER ELECTRICAL
- REMOVE EXISTING WALL HEATER. PATCH AND PREP WALL TO RECEIVE NEW FINISHES. REFER TO MECH. DRAWINGS FOR MORE INFO.
- REMOVE EXISTING UNIT BATHROOM DOOR, FRAME & HARDWARE. OWNER TO IDENTIFY DOORS AND HARDWARE TO BE SALVAGED.
- REMOVE EXISTING DOOR, FRAME AND HARDWARE IN THEIR ENTIRETY. WHERE APPLICABLE PREPARE EXISTING OPENING AS REQUIRED TO RECEIVE NEW DOOR AND FRAME OR WALL IN-FILL ACCORDING TO DRAWINGS.
- REMOVE PORTION OF PARTITION/WALL TO ACCOMMODATE NEW DOOR/CASED OPENING. PROVIDE SHORING AS NECESSARY FOR LOAD BEARING WALL. REMOVE EXISTING HEADER IN ORDER TO FRAME NEW HEADER. INFILL PORTION OF FORMER OPENING. PATCH AND REPAIR FLOOR AND WALLS IN PREPARATION FOR NEW FINISHES.REMOVE EXIST. WALL MIRROR, GRAB BARS, TOILET ACCESSORIES, ETC. PATCH AND REPAIR WALLS IN PREPARATION FOR NEW FINISHES.
- PROTECT EXISTING DOOR AND FRAME ON BOTH SIDES. SAND, CLEAN AND PREP DOORS AND FRAMES AT ALL SIDES TO RECEIVE NEW FINISHES. ANY DAMAGES ON DOORS, GC TO REPAIR AND PREP FOR RE-FINISHING.
- REMOVE EXISTING WINDOW, FRAME, SILL AND ALL OTHER APPERTUNANCES. WHERE APPLICABLE PREP ROUGH OPENING AS REQUIRED TO RECEIVE NEW INFILL AND FINISHES ACCORDING DOR DRAWINGS. TOOTH IN BRICK AT EXTERIOR.
- REMOVE EXISTING WINDOW AND PREP TO RECEIVE NEW TRANSOM WINDOW.
- PROTECT EXISTING WINDOWSILL THROUGH DEMOLITION.
- REMOVE EXISTING WINDOW TREATMENT AND TURN OVER TO OWNER TO EVALUATE
- REMOVE EXISTING FURRING AND DRYWALL. PREP EXISTING CMU FOR INSTALLATION OF
- REMOVE EXISTING WALL TILE. REPAIR AND PATCH WALLS TO RECEIVE NEW WALL TILE.
- REMOVE EXIST. WALL MIRROR, GRAB BARS, TOILET ACCESSORIES, ETC. PATCH AND REPAIR WALLS IN PREPARATION FOR NEW FINISHES.
- REMOVE EXISTING NIGHTLIGHT AND WIRING BACK TO PANEL OR NEAREST JUNCTION BOX. PATCH AND REPAIR WALLS IN PREPARATION FOR NEW FINISHES.
- REMOVE EXISTING FLAT PANEL TV SET WITH WALL MOUNTING BRACKETS. SALVAGE AND TURN OVER TO FACILITY TO EVALUATE CONDITION. PATCH AND REPAIR WALL AS REQUIRED
- REMOVE EXISTING WALL COVERINGS, MILLWORK, EXISTING ARTWORK, TACKBOARD, BULLETIN BOARD, CORNER GUARDS, BASE BOARD, ETC. PATCH AND REPAIR WALLS IN PREPARATION FOR NEW FINISH.
- REMOVE ALL WALL COVERING, APPLIED TRIM AND WALL FINISHES. ALL WALL COVER ADHESIVE RESIDUE TO BE REMOVED. SKIM COAT ENTIRE WALL TO A LEVEL 5 FINISH. PREP FOR NEW FINISHES. COORDINATE W/ ID DWGS.
- REMOVE EXISTING FAN COIL UNIT AND ASSOCIATED BRANCH HEATING HOT WATER PIPING. REFER TO MECHANICAL DRAWINGS. PATCH, REPAIR, AND PREP WALL AS REQUIRED FOR
- REMOVE EXISTING BASEBOARD HEATER. REFER TO MECH. DWGS FOR MORE INFO.
- EXISTING SPA TUB AND SHELVING UNIT TO BE REMOVED AND SALVAGED FOR REUSE. TAKE PRECAUTIONS NOT TO DAMAGE TUB UNIT. COORDINATE TEMPORARY LOCATION AND RE-LOCATION WITH OWNER.
- REMOVE EXISTING CASEWORK, COUNTERTOP, BACKSPLASH, MILLWORK, WALL CABINET, BENCH, AND/OR SHELVING. PATCH AND REPAIR ADJACENT WALL AND FLOOR IN PREPARATION FOR NEW FINISHES.
- REMOVE EXISTING APPLIANCES, EQUIPMENT AND FIXTURES AND STORE FOR OWNER TO EVALUATE CONDITION.
- REMOVE EXISTING HANDRAIL. PREP SURFACE TO RECEIVE NEW HANDRAIL AND NEW WALL
- REMOVE EXISTING ELECTRICAL PANEL. COORDINATE WITH ELECTRICAL DWGS FOR NEW LOCATION. INFILL THE OPENING. PATCH, CLEAN, SAND, REPAIR THE SURFACE. PREP TO RECEIVE NEW FINISHES.
- EXISTING ELECTRICAL PANEL TO REMAIN UNDISTURBED. COORDINATE WITH ELECTRICAL

- 30 REMOVE AND SALVAGE EXISTING FIRE EXTINGUISHER AND CABINET. TURN OVER TO FACILITY FOR EVALUATION. PREP WALL FOR INSTALLATION OF NEW FIRE EXTINGUISHER AND CABINET AT ADA COMPLIANT HEIGHTS. PATCH AND PREP WALL TO RECEIVE NEW
- 31 EXISTING FIRE STROBE TO BE REPLACED WITH NEW IN EXISTING LOCATIONS.
- 32 EXISTING FIRE STROBE TO BE REPLACED WITH NEW AND RELOCATED PER PROPOSED LOCATION. COORDIATE WITH FP DWGS.
- REMOVE STAIRS IN THEIR ENTIRETY. PATCH AND REPAIR ADJACENT WALLS AND FLOOR IN PREPARATION FOR NEW FINISHES.
- REMOVE EXISTING CONCRETE SLAB. TAKE PRECAUTION NOT TO DAMAGE EXISTING UTILITIES, FOOTINGS AND FOUNDATIONS DURING DEMOLITION. PREP FOR NEW WORK. REFER TO STRUCTURAL & CIVIL DRAWINGS FOR MORE INFORMATION.
- 35 EXISTING FENCE TO BE REMOVED. SEE CIVIL DWGS FOR MORE INFORMATION.
- 36 REMOVE EXISTING RAILING. SEE CIVIL DRAWINGS FOR MORE INFO.
- 37 REMOVE EXISTING WOODEN SHED. SEE CIVIL DWGS FOR MORE INFO.
- 38 EXISTING CANOPY ABOVE TO BE REMOVED.
- 39 REMOVE EXIST. PORTE COCHERE ROOF STRUCTURE ABOVE.
- 40 REMOVE EXISTING STEEL COLUMN, VINYL COVER AND IF APPLICABLE STONE BASE. SALVAGE STONE TO REUSE.

41 REMOVE EXISTING DOWNSPOUT AND EXISTING BELOW GRADE STORM PIPE TO ALLOW FOR

- 42 REMOVE EXISTING BRICK/STONE QUOINS TO ACCOMMODATE NEW WALL LOCATION. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS & COORDINATE WITH
- 43 SALVAGE STONE FROM EXISTING PORTE COCHERE DEMOLITION FOR REUSE.
- 44 REMOVE AND SALVAGE EXISTING DOOR, FRAME, & HARDWARE FOR INSLATTION.
- 45 EXISTING STEEL COLUMN AND COLUMN ENCLOSURE TO REMAIN UNDISTURBED.
- 46 EXISTING STEEL COLUMN TO REMAIN UNDISTURBED. COLUMN ENCLOSURE TO BE REMOVED AND REPLACED WITH RATED WALL.
- 47 EXISTING IT CABINET TO BE REMOVED, SALVAGED AND RELOCATED BY OWNER'S VENDOR. COORDINATE WORK WITH OWNER.
- 48 REMOVE EXISTING THROUGH WALL EXHAUST. INFILL WALL TO MATCH ADJACENT WALL CONSTRUCTION. TOOTH IN BRICK AT EXTERIOR.
- 49 REMOVE EXISTING FLOOR/WALL/CEILING EXPANSION JOINTS. REPLACE WITH NEW.
- 50 REROUTE EXISTING PIPE. CAP AS REQUIRED BEYOND FACE OF ADJACENT FLOOR, WALL OR CEILING SURFACE. PREP FOR NEW FINISHES.
- 51 RELOCATE EXISTING IT SERVICE PANEL. COORDINATE WITH OWNER FOR NEW LOCATION.
- 52 ADD ALT #1 ONLY: REMOVE EXISTING FLOOR FINISH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISH. CLEAN AND PREPARE EXISTING WALLS AS REQUIRED TO RECEIVE NEW PAINT.
- 53 ADD ALT #2 ONLY: REMOVE EXISTING FLOOR FINISH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISH, CLEAN AND PREPARE EXISTING WALLS AS REQUIRED TO RECEIVE NEW PAINT

KEY PLAN

WILLOW BROOKE COURT (1ST FLOOR)

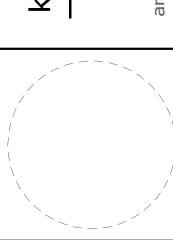
 $^{-\!/}$ CHERRY

BLOSSOM

WING



 $\boldsymbol{\omega}$



RECEIVED

FARMS

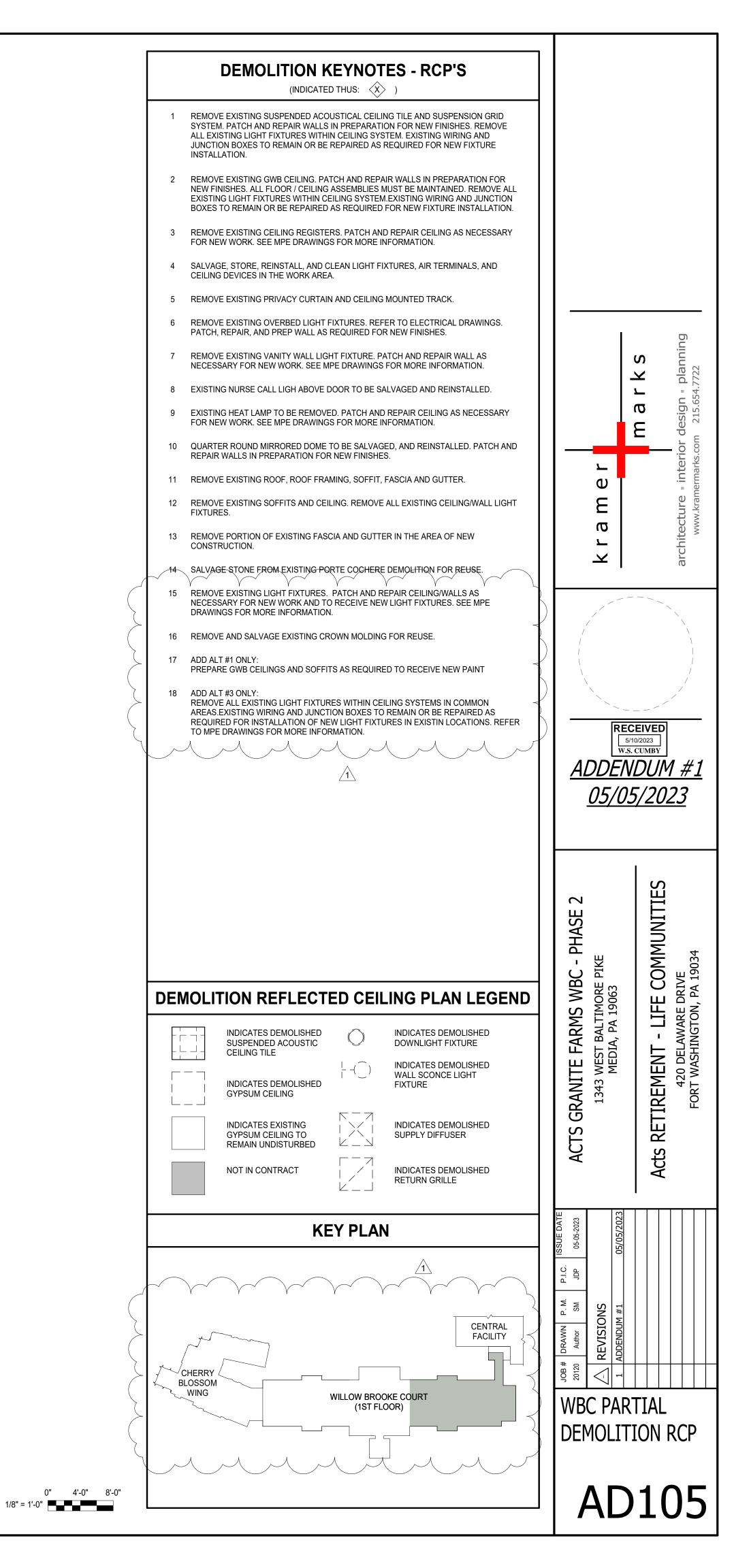
ETIREM 2

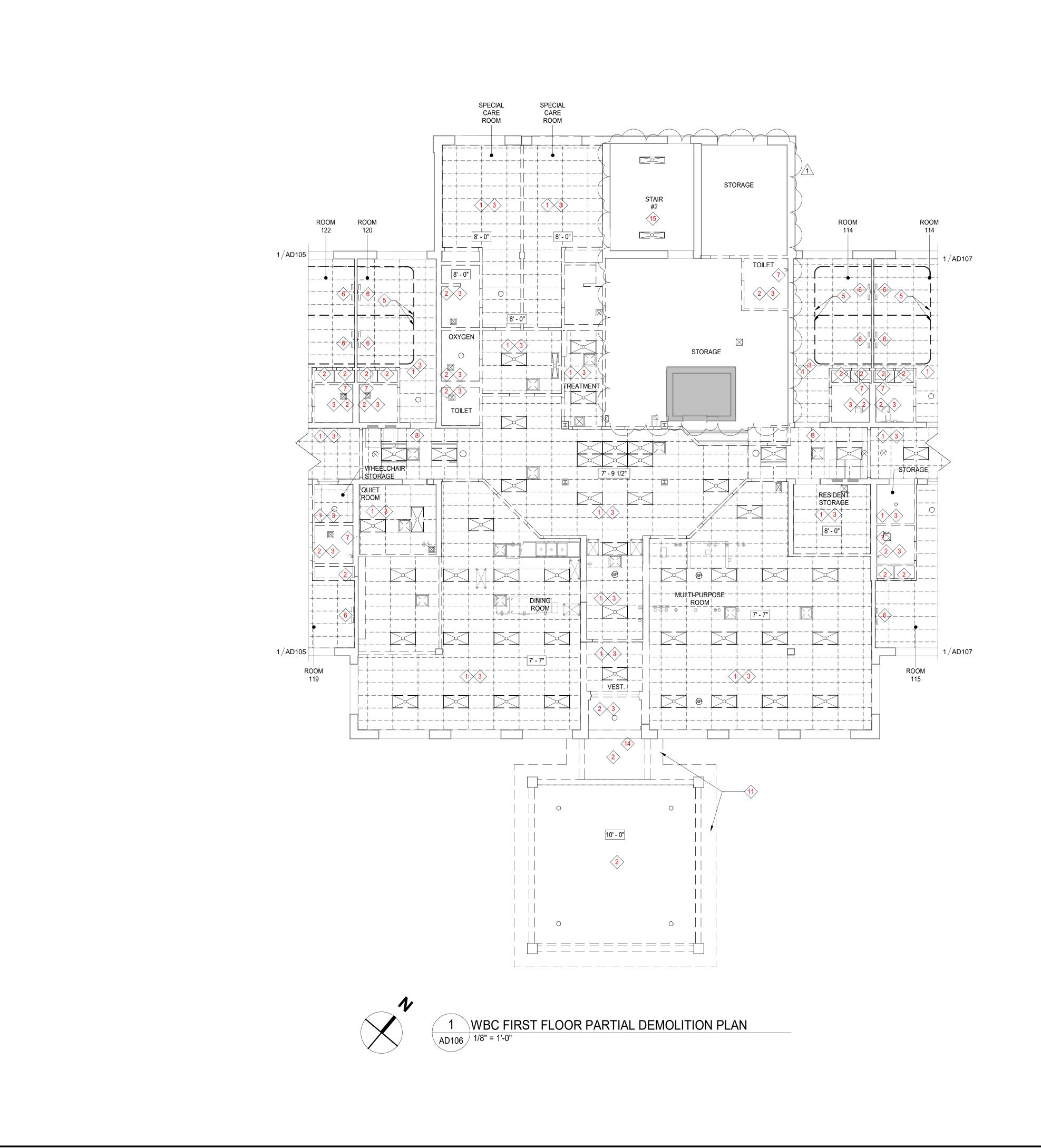
COMMUNITI

CENTRAL

FACILITY

CHERRY BLOSSOM DEMOLITION PLAN







(INDICATED THUS: $\langle X \rangle$)

- REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING TILE AND SUSPENSION GRID SYSTEM. PATCH AND REPAIR WALLS IN PREPARATION FOR NEW FINISHES. REMOVE ALL EXISTING LIGHT FIXTURES WITHIN CEILING SYSTEM. EXISTING WIRING AND JUNCTION BOXES TO REMAIN OR BE REPAIRED AS REQUIRED FOR NEW FIXTURE INSTALLATION.
- REMOVE EXISTING GWB CEILING. PATCH AND REPAIR WALLS IN PREPARATION FOR NEW FINISHES, ALL FLOOR / CEILING ASSEMBLIES MUST BE MAINTAINED. REMOVE ALL EXISTING LIGHT FIXTURES WITHIN CEILING SYSTEM.EXISTING WIRING AND JUNCTION BOXES TO REMAIN OR BE REPAIRED AS REQUIRED FOR NEW FIXTURE INSTALLATION.
- REMOVE EXISTING CEILING REGISTERS. PATCH AND REPAIR CEILING AS NECESSARY FOR NEW WORK. SEE MPE DRAWINGS FOR MORE INFORMATION.
- 4 SALVAGE, STORE, REINSTALL, AND CLEAN LIGHT FIXTURES, AIR TERMINALS, AND CEILING DEVICES IN THE WORK AREA.
- 5 REMOVE EXISTING PRIVACY CURTAIN AND CEILING MOUNTED TRACK.
- REMOVE EXISTING OVERBED LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS. PATCH, REPAIR, AND PREP WALL AS REQUIRED FOR NEW FINISHES.
- REMOVE EXISTING VANITY WALL LIGHT FIXTURE. PATCH AND REPAIR WALL AS NECESSARY FOR NEW WORK. SEE MPE DRAWINGS FOR MORE INFORMATION.
- 8 EXISTING NURSE CALL LIGH ABOVE DOOR TO BE SALVAGED AND REINSTALLED.
- EXISTING HEAT LAMP TO BE REMOVED. PATCH AND REPAIR CEILING AS NECESSARY FOR NEW WORK. SEE MPE DRAWINGS FOR MORE INFORMATION.
- 10 QUARTER ROUND MIRRORED DOME TO BE SALVAGED, AND REINSTALLED. PATCH AND REPAIR WALLS IN PREPARATION FOR NEW FINISHES.
- 11 REMOVE EXISTING ROOF, ROOF FRAMING, SOFFIT, FASCIA AND GUTTER.
- 12 REMOVE EXISTING SOFFITS AND CEILING. REMOVE ALL EXISTING CEILING/WALL LIGHT
- 13 REMOVE PORTION OF EXISTING FASCIA AND GUTTER IN THE AREA OF NEW CONSTRUCTION.
- 14 SALVAGE STONE FROM EXISTING PORTE COCHERE DEMOLITION FOR REUSE.
- REMOVE EXISTING LIGHT FIXTURES. PAYCH AND REPAIR CEILING/WALLS AS Y NECESSARY FOR NEW WORK AND TO RECEIVE NEW LIGHT FIXTURES. SEE MPE DRAWINGS FOR MORE INFORMATION.
- 16 REMOVE AND SALVAGE EXISTING CROWN MOLDING FOR REUSE.
- PREPARE GWB CEILINGS AND SOFFITS AS REQUIRED TO RECEIVE NEW PAINT

INDICATES DEMOLISHED SUSPENDED ACOUSTIC

INDICATES DEMOLISHED

CEILING TILE

GYPSUM CEILING

INDICATES EXISTING

GYPSUM CEILING TO

NOT IN CONTRACT

BLOSSOM

REMAIN UNDISTURBED

18 ADD ALT #3 ONLY: REMOVE ALL EXISTING LIGHT FIXTURES WITHIN CEILING SYSTEMS IN COMMON AREAS.EXISTING WIRING AND JUNCTION BOXES TO REMAIN OR BE REPAIRED AS REQUIRED FOR INSTALLATION OF NEW LIGHT FIXTURES IN EXISTIN LOCATIONS. REFER TO MPE DRAWINGS FOR MORE INFORMATION.

RECEIVED W.S. CUMBY

(I)

 $\boldsymbol{\sigma}$

COMMUNITIES

DEMOLITION REFLECTED CEILING PLAN LEGEND

INDICATES DEMOLISHED DOWNLIGHT FIXTURE

INDICATES DEMOLISHED WALL SCONCE LIGHT

INDICATES DEMOLISHED

INDICATES DEMOLISHED

CENTRAL **FACILITY**

SUPPLY DIFFUSER

RETURN GRILLE

KEY PLAN

WILLOW BROOKE COURT

(1ST FLOOR)

FIXTURE

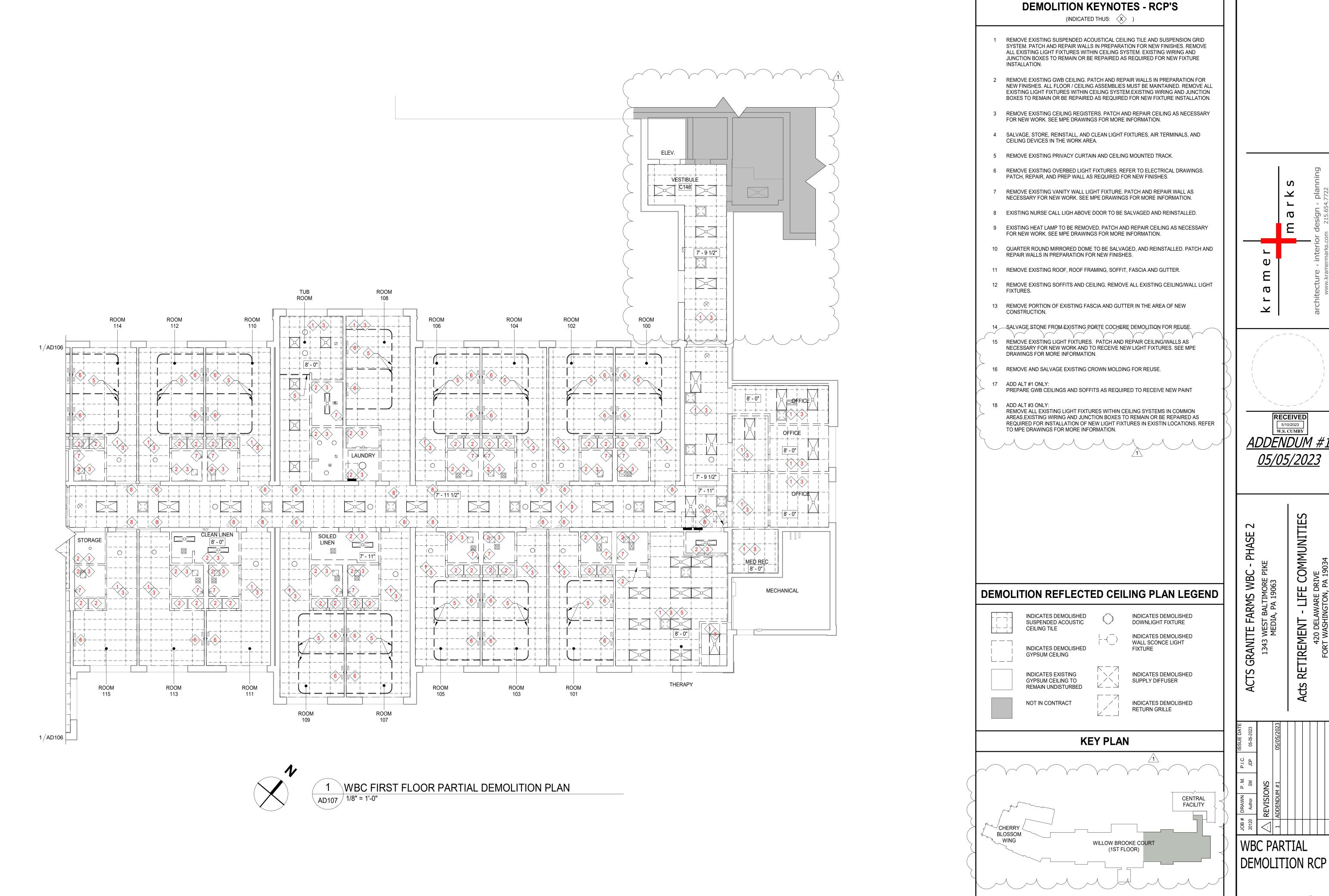
GRANITE FARMS WBC 1343 WEST BALTIMORE PI

ETIREMENT $\overline{\mathbf{Z}}$

WBC PARTIAL

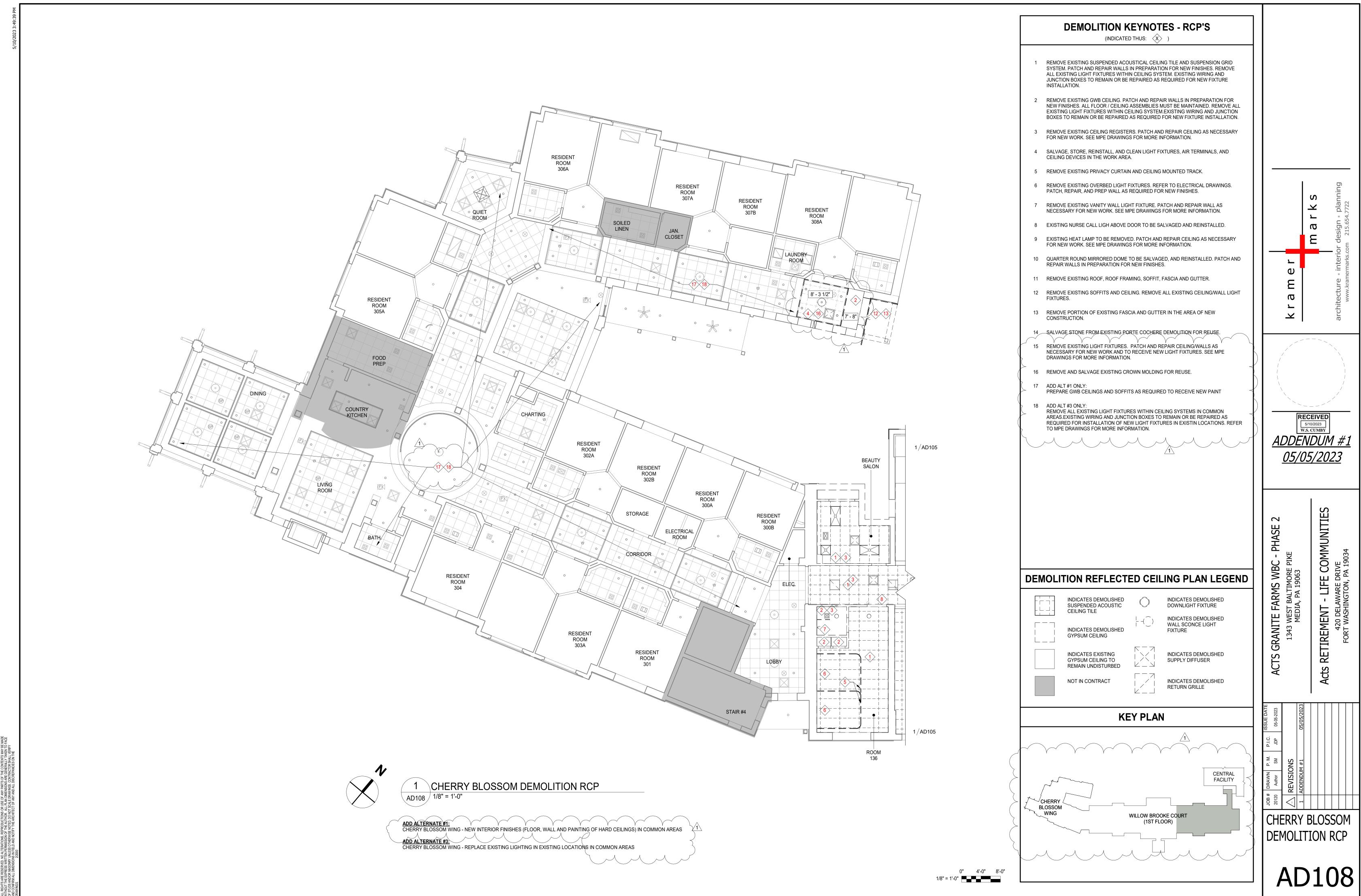
DEMOLITION RCP

0" 4'-0" 8'-0" 1/8" = 1'-0"



0" 4'-0" 8'-0"

1/8" = 1'-0"



RESERVED NO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE C ROCESS, MEDITATION TRANSPORMENT OF THE OUTLINES. AND PARTS OF THE C BASEMENT

BETWEEN

BUILT-UP ROOFING

CORNER GUARD

CONTROL JOIN

CEMENT BOARD

CLEAN OUT

COLUMN

CONCRETE

CONSTRUCTION

CONTINUOUS

CERAMIC TILE

COUNTERSINK

CUBIC FEET

CUBIC YARD

DEPTH / DEEP

DEPARTMENT

DIMENSION

DIRECTOR

DAMP PROOFING

EXHAUST FAN

ELEVATION

ELEVATOR

EMERGENCY

EXTERIOR

FLOOR DRAIN

FIRE EXTINGUISHER

FINISHED FLOOR

FIRE HOSE CABINET

FIBERGLASS

FLOORING FACE OF

FOOTING

FURNITURE

FIRE WALL

GALVANIZED

GLASS TILE

HOSE BIB

HARDNER

HEADER

HARDWOOD

HARDWARE

HEATING

HOLLOW METAL

HORSE POWER

GYPSUM PLASTER

GALLONS PER MINUTE

GYPSUM WALL BOARD

FACE OF BRICK

FACE OF CONCRETE

FACE OF SHEATHING FIRE-RATED

FIRE-RETARDANT TREATED

GLASS-FIBER REINFORCED CONCRETE

GLASS-FIBER REINFORCED GYPSUM

FACE OF MASONRY

FIRE EXTINGUISHER CABINET

ELASTOMERIC

EXPANSION JOINT

EXPANDED POLYSTYRENE

ELECTRIC WATER COOLER

EXPOSED CONSTRUCTION

EXTERIOR INSULATION FINISHING SYSTEM

DOWN SPOUT

DEMOLITION / DEMOLISH

DRINKING FOUNTAIN

DOUBLE

CORRIDOR

COURSE

CLOSED-CIRCUIT TELEVISION

CAST-IN-PLACE CONCRETE

CONCRETE MASONRY UNIT

CAST-STONE MASONRY UNI

COLD-FORMED METAL FRAMING

MASONRY MATERIAL MAXIMUM METAL COMPOSITE MATERIAL MECHANICAL ACCESS PANEL MEMBRANE ARCHITECTURAL PRECAST CONCRETE MANUFACTUREF ATTENTUATION **AVERAGE** MISCELLANEOUS ACOUSTICAL WALL COVERING MOULDING ACOUSTICAL WALL PANEL MASONRY OPENING MOUNT MOUNTED MOUNTING MULLION BEARING NOT APPLICABLE

NOT IN CONTRACT NUMBER NOISE REDUCTION COEFFICIEN NOT TO SCALE OUTSIDE DIAMETER OWNER-FURNISHED, CONTRACTOR-INSTALLED OVERFLOW DRAIN OVERHEAD OPENING

> OPPOSITE HAND PERFORATED PERIMETER PLASTIC LAMINATE POLYETHYLENE POLYISOCYANURATE PORCELAINE PAVER PRESSURE PRESERVATIVE TREATED PREFABRICATED PREPARE / PREPARATION POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PARTITION

> > POLYVINYL CHLORIDE PAVEMENT QUARRY TILE RIGHT OF WAY ROOF ASSEMBLY REFLECTED CEILING PLAN

RECEPTACLE REFER TO REFRIGERATOR REINFORCING REQUIRED RESINOUS FLOORING RUBBER FLOOR TILE ROUGH OPENING ROOFTOP UNIT

SQUARE FEET SIMILAR SPRAYED FIRE-RESISTIVE MATERIAL SPECIFICATION SPRAYED POLYURETHANE FOAM STAINLESS STEEL SOUND TRANSMISSION COEFFICIENT STANDARD STRUCTURAL SUSPENDED

SHEET VINYL SYMMETRICAL TELECOMMUNICATIONS THICKNESS TOP OF STEEL TOP OF WALL

TELECOMM

TYPICAL UNDERCUT UNDERGROUND UNIT HEATER UNLESS INDICATED OTHERWISE VAPIOR BARRIER VINYL COMPOSTION TILE

VESTIBULE VINYL / RUBBER BASE VINYL TILE VENT THROUGH ROOF VINYL WALL COVERING WITHOUT WALL ASSEMBLY

WOOD BASE WATER CLOSET WOOD WATER HEATER WORK INDEX MATRIX WATERPROOFING WATERPROOF WORKING POINT WATER RESISTANT

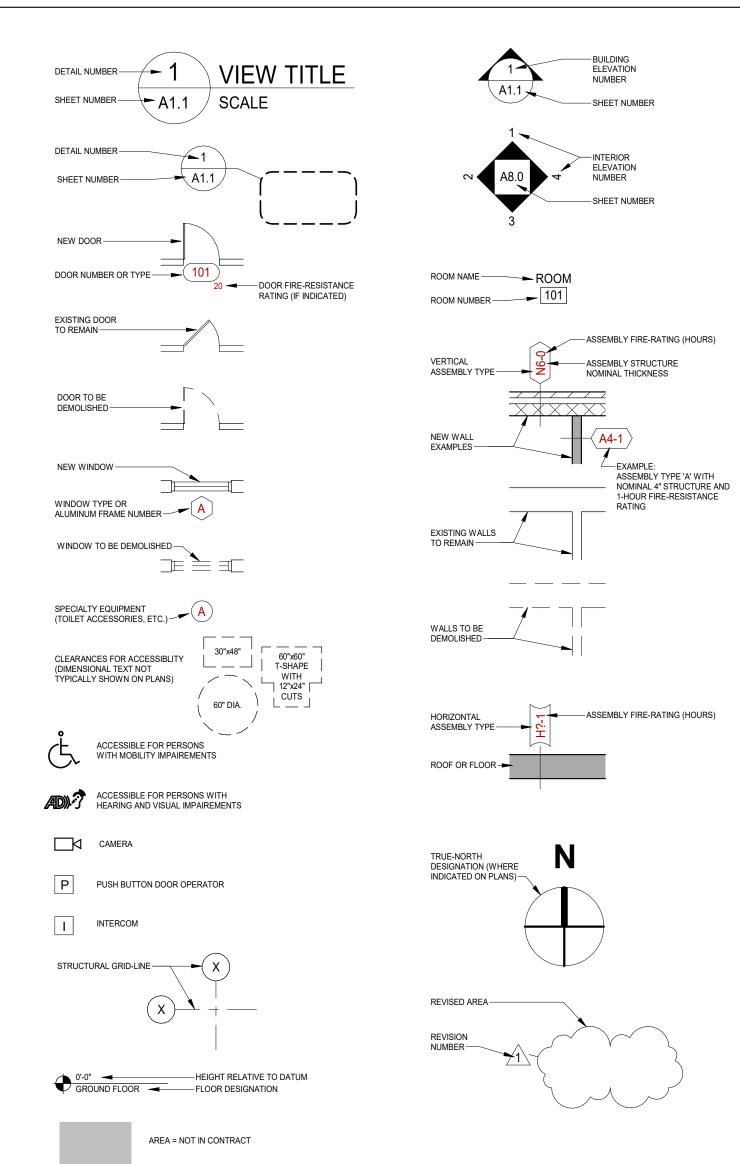
WAINSCOT WELDED WIRE FABRIC WELDED WIRE MESH EXTRUDED POLYSTYRENE

INSIDE DIAMETER INCLUDE INFORMATION INSTALLATION INSULATION INTUMESCENT **JANITOR** JANITOR CLOSET JUNCTION

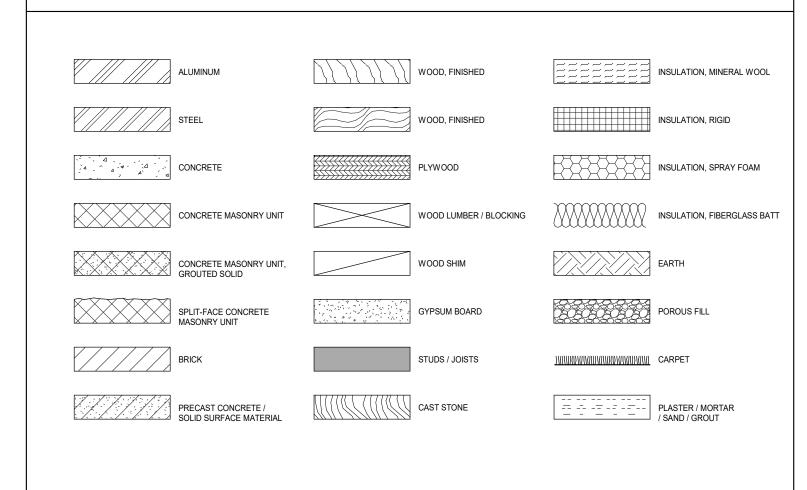
HEATING, VENTILATING, AIR CONDITIONING

HOLLOW STRUCTURAL SECTION

ARCHITECTURAL GRAPHIC SYMBOLS LEGEND



MATERIAL SYMBOLS LEGEND



TRIM LEGEND

THIS LEGEND DOES NOT COVER ALL TRIM TYPES. REFER TO I-SERIES DRAWINGS FOR PROFILES, DETAILS, AND ADDITIONALTRIM TYPES.

— — HR— — — HR— — — HAND RAIL

ARCHITECTURAL GENERAL NOTES

- ALL DRAWINGS, SPECIFICATIONS, AND COPIES OF SAME SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT. (FOR WHICH THEY WERE DOCUMENTED).
- ALL DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SERIES OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
- THE TERM "CONTRACTOR" OR "G.C." WHEN USED ALONE HEREIN REFERS IN ALL CASES TO THE GENERAL CONTRACTOR. THE TERM "KMA" REFERS TO KRAMER AND MARKS ARCHITECTS, 27 S.
- THE USE OF WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN, UNLESS INDICATED OTHERWISE, THAT SUCH ITEMS SHALL BE FURNISHED AND INSTALLED, AND CONNECTED WHERE SO REQUIRED.
- CONTRACTOR SHALL REFER TO PROJECT MANUAL FOR ADDITIONAL INFORMATION REGARDING PROJECT EXECUTION REQUIREMENTS AND PRODUCT INFORMATION, INCLUDING BUT NOT LIMITED TO ADMINISTRATIVE REQUIREMENTS, QUALITY ASSURANCE, TESTING, SUBMITTALS, DELIVERY, STORAGE, HANDLING, WARRANTIES, INSTALLATION, OPERATION & MAINTENANCE DATA, CONSTRUCTION WASTE MANAGEMENT & DISPOSAL, AND CONSTRUCTION MOISTURE CONTROL &
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS.

MAIN STREET, AMBLER, PA 19002.

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW, AND TO ENSURE ANY SUB-CONTRACTOR HAS REVIEWED, THE CONTRACT DOCUMENTS IN THEIR ENTIRETY AND ANY REFERENCED DOCUMENTS ASSOCIATED WITH THE PROJECT SCOPE PRIOR TO BIDDING AND PRIOR TO THE START OF CONSTRUCTION. SHOULD A CONFLICT BE FOUND WITH THE DOCUMENTS RELATIVE TO THE APPLICABLE REFERENCED DOCUMENTS, NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING. FAILURE TO NOTIFY THE ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL LONG-LEAD ITEMS WITHIN TWO WEEKS OF AWARD OF CONTRACT FOR DISCUSSION AND COORDINATION WITH THE OWNER
- THE CONTRACTOR AND ALL SUB-CONTRACTORS SHOULD VISIT THE SITE AND PERFORM A WALK-THROUGH TO UNDERSTAND ANY EXISTING CONDITIONS PRIOR TO BIDDING AND PRIOR TO STARTING CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IMMEDIATELY **IN** WRITING. FAILURE TO NOTIFY THE ARCHITECTS SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODE.
- THE CONTRACTOR SHALL UTILIZE ALL CONTRACT DOCUMENTS TO FULLY COORDINATE ALL WORK WITH RELATED SUB-CONTRACTORS PRIOR TO START OF WORK, INCLUDING VERIFICATION OF ALL DIMENSIONS, LOCATION OF ALL SPECIAL CONDITIONS, SLOPES, DRAINS, OUTLETS, RECESSES. REGLETS, PLUMBING, STRUCTURAL FASTENERS, SLEEVES, POWER, TELEDATA, LIGHTING, HVAC,
- SEE CONSTURCTION DOCUMENTATION BY OTHERS FOR ALL SITEWORK, INCLUDING BUILDING LOCATION ON THE SITE, UTILITIES, STORM & SEWER SYSTEMS, FINAL LINES & GRADES, AND EXISTING SIDEWALK & CURBING.
- ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING, BUT NOT LIMITED TO, ALL APPLICABLE STATE, LOCAL AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE CODES. THE CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING DISCREPANCIES IN THE DOCUMENTS TO THE ATTENTION OF THE ARCHITECT
- ALL CODES, TRADE STANDARDS, AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS SHALL BE THE LATEST EDITION UNLESS INDICATED OTHERWISE.
- DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. CHECK AND FIELD VERIFY ALL DIMENSIONS INCLUDING THOSE IN DRAWINGS SERIES OTHER THAN ARCHITECTURAL, BEFORE ORDERING OR STARTING WORK. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL MAKE NO CHANGES WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- IF THE CONTRACTOR DEVIATES FROM THESE CONTRACT DOCUMENTS, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES AND PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND SHALL INDEMNIFY AND HOLD THE OWNER AND ARCHITECT HARMLESS FROM ALL SUCH COSTS.
- THE TERM "ASSEMBLIES" MAY BE USED TO REFER TO WALLS, PARTITIONS, CEILINGS, FLOORS, AND/OR ROOFS THROUGHOUT THE CONTRACT DOCUMENTS.
- THE TERMS "WALLS" AND "PARTITIONS" MAY BE USED INTERCHANGEABLY THROUGHOUT THE CONTRACT DOCUMENTS. THE USE OF ONE TERM IN LIEU OF THE OTHER IS NOT INTENDED TO CONVEY ANY SPECIAL MEANING OR REQUIREMENT BEYOND THE CODE OR CONTRACT DOCUMENT REQUIREMENTS FOR SUCH WALLS OR PARTITIONS.
- ALL DIMENSIONS AT NEW PARTITIONS ARE TO ROUGH FRAMING UNLESS INDICATED OTHERWISE. ALL DIMENSIONS AT EXISTING PARTITIONS ARE TO FINISH UNLESS INDICATED OTHERWISE.
- DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY THAT ALL CONDITIONS ARE TREATED SIMILARLY.
- ALL MANUFACTURERS PRODUCT SPECIFICATIONS AND/OR WARNINGS FOR PRODUCTS OR MATERIALS, USED IN CONSTRUCTION, MUST BE OBSERVED. THE WORDS "OR EQUAL" ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE APPROPRIATENESS OF ALL PRODUCTS SUBSTITUTED.
- CONTRACTOR TO PROVIDE AND MAINTAIN MSDS SHEETS ON SITE, DURING, AND AFTER CONSTRUCTION. THE MSDS SHEETS SHOULD BE PERMANENTLY ON SITE AND MADE AVAILABLE UPON REQUEST.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SAFETY, LIFE SAFETY, AND CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR REQUIRED CODES.
- CONTRACTOR TO CREATE A FIRE-PREVENTION AND LIFE SAFETY PLAN FOR ALL PHASES OF CONSTRUCTION THAT IS APPROVED BY THE FIRE MARSHALL AND AHJ PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO MAINTAIN ALL MEANS OF EGRESS AND EGRESS PASSAGEWAYS DURING THE ENTIRE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY OWNER 48 HOURS IN ADVANCE OF ANY OUTAGES. PROVIDE FIREWATCH AS REQUIRED BY AHJ AND DURING ANY DISRUPTIONS OF POWER.
- ALL INTERIOR FINISH MATERIALS MUST COMPLY WITH APPLICABLE ASTM E 84/ASTM E 648 OR NFPA 253 FOR SURFACE BURNING CHARACTERISTICS AND ASTM E 119 AND OTHER FIRE RESISTANCE RATINGS AS REQUIRED BY PREVAILING STATE AND LOCAL BUILDING CODES FOR THIS BUILDING.

- PROJECT-SPECIFIC SCOPE: (NEW CONSTRUCTION AND REHAB)
- ALL LOW VOLTAGE TRANSFORMERS ARE TO BE INSTALLED IN ACCESSIBLE CONCEALED LOCATIONS.
- ALL MECHANICAL EQUIPMENT LOCATED ON THE EXTERIOR OF THE BUILDING REQUIRES THE INSTALLATION OF A WEATHER PROOF GFCI RECEPTACLE AND LIGHT.
- INSTALL TRAP PRIMER OR INLINE DRAIN TRAP ON ALL FLOOR DRAINS. COORDINATE WITH MPE
- ALL ACCESS PANELS SHALL BE <PRIME COATED STEEL> <PLASTIC>. <COORDINATE TYPE OF LOCK
- CONTRACTOR TO SEAL GYPCRETE (BOTH NEW AND/OR EXISTING) UNDER CERAMIC TILE AND GLUE
- PREVENT PEST ENTRY BY SEALING ALL WALL, FLOOR, AND JOINT PENETRATIONS WITH LOW VOC CAULKING OR OTHER APPROPRIATE NON-TOXIC SEALING METHODS (E.G. WINDOW SCREENS, DOOR SWEEPS, ESCUTCHEON PLATES, ELASTOMERIC SEALANTS, ETC.) USE RODENT-PROOF & CORROSION-PROOF SCREENS (E.G. COPPER MESH, STAINLESS STEEL MESH, OR RIGID METAL CLOTH) FOR
- PROVIDE CONCRETE HOUSEKEEPING PADS FOR ALL EQUIPMENT INDICATED TO BE MOUNTED (OR OTHERWISE REQUIRED TO BE MOUNTED) TO THE FLOOR. WHERE PADS ARE NOT SHOWN, PROVIDE 6" THICK CONCRETE PADS WITH 3/4" CHAMFERED EDGES. REINFORCE WITH MESH EQUIVALENT TO
- ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED.
- ALL EXTERIOR DECK LUMBER SHALL BE PRESSURE-TREATED.

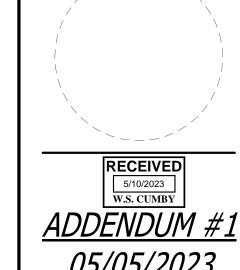
FLOOR SLAB REINFORCING REQUIREMENTS.

- WHERE PRESSURE-TREATED LUMBER IS USED ALL FASTENERS SHALL BE HOT DIPPED GALVANIZED (G180) OR STAINLESS STEEL.
- ALUMINUM SHALL NOT BE INSTALLED IN DIRECT CONTACT WITH PRESSURE-TREATED LUMBER.
- PENETRATIONS INTO AND OPENINGS THROUGH AN EXIT ENCLOSURE ARE PROHIBITED EXCEPT FOR REQUIRED EXIT DOORS, EQUIPMENT AND DUCTWORK NECESSARY FOR INDEPENDENT PRESSURIZATION. SPRINKLER PIPING. STAND PIPES. ELECTRICAL RACEWAY FOR THE FIRE DEPARTMENT COMMUNICATION SYSTEMS AND ELECTRICAL RACEWAY SERVING THE EXIT ENCLOSURE AND TERMINATING AT A STEEL BOX NOT EXCEEDING 16 SQUARE INCHES.
- GRAB BARS, SHOWER SEATS AND DRESSING ROOM BENCH SEAT SYSTEMS SHALL BE DESIGNED TO RESIST SINGLE CONCENTRATED LOAD OF UP TO 250 POUNDS APPLIED IN ANY DIRECTION AT ANY
- WRAP ALL EXPOSED PIPING. PAINT ALL EXPOSED PIPES AND DUCTS UNLESS INDICATED OTHERWISE.
- ALL ELECTRICAL BOXES AND PANELS ARE TO BE RECESSED UNLESS INDICATED OTHERWISE.
- IN ALL NEW ASSEMBLIES WITHIN THE WORK AREA, ACCESS PANELS SHALL BE PROVIDED AS REQUIRED FOR OPERATION AND/OR MAINTENANCE OF MEP ITEMS. COORDINATE LOCATION OF ALL ACCESS PANELS WITH ARCHITECT PRIOR TO PREPARATION FOR INSTALLATION.
- WHERE FLOOR DRAINS OCCUR, RUN WATERPROOFING MEMBRANE 12" UP VERTICAL FACE OF WALLS. SLOPE FLOOR SURFACES BETWEEN 1% AND 2% TOWARDS DRAIN.
- IN PUBLIC TOILET ROOMS, SPAS, AND JANITOR'S CLOSETS, WALLS AND PARTITIONS WITHIN 2'-0" OF SERVICE SINKS, URINALS, AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, AND NON-ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 4'-0" AFF.
- PROVIDE CONTINUOUS WATERPROOF MEMBRANE BEHIND TILE FLOORS AND WALLS IN WET
- CONTRACTOR SHALL INSTALL PROPER SUBSTRATE AND MOISTURE BARRIER FOR ALL WALLS AND FLOORS IN TOILET ROOMS AND SPAS. ALL INTERIOR FINISH MATERIALS MUST COMPLY WITH APPLICABLE ASTM E 84/ASTM E 648 OR NFPA 253 FOR SURFACE BURNING CHARACTERISTICS AND ASTM E 119 AND OTHER FIRE RESISTANCE RATINGS AS REQUIRED BY PREVAILING STATE AND LOCAL BUILDING CODES FOR THIS BUILDING TYPE.
- WHERE DOORS INCLUDE NEW ACCESS CONTROL HARDWARE, TIE INTO FACILITY FIRE ALARM SYSTEM.
- THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL NEW WORK/MATERIALS PRIOR TO TURNING OVER

PROJECT-SPECIFIC SCOPE: (REHAB)

- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. REPAIR ANY DAMAGES WITHIN OR OUTISDE OF THE WORK AREA RESULTING FROM WORK ON THIS PROJECT.
- EXISTING UTILITIES RUNNING THROUGH WORK SHALL REMAIN FUNCTIONAL OR BE RE-ROUTED UNLESS INDICATED OTHERWISE. NOTIFY OWNER AND ARCHITECT PRIOR TO ANY NECESSARY INTERUPTIONS OR RE-REROUTING.
- IN AREAS OF WHERE NEW CONSTRUCTION AND/OR FINISHES ARE TO BE INSTALLED. EXISTING CONSTRUCTION MUST BE PREPARED TO NEW FINISH MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF NEW WORK. THIS INCLUDES BUT IS NOT LIMITED TO PATCHING AND REPAIRING EXPOSED WALL SURFACES WHERE PORTIONS OF THE WALL WERE DEMOLISHED. WHERE DOCUMENTS INDICATE PAINT OVER EXISTING WALLS, DOORS, TRIM, ETC. - CONTRACTOR TO REFINISH. REMOVE EXISTING FINISHES TO BASE MATERIAL AND APPLY NEW FINISH TO MATCH ORIGINAL OR AS OTHERWISE INDICATED.
- CONTRACTOR TO ALLOW TRAFFIC THROUGH CORRIDOR DURING CONSTRUCTION AND MADE SAFE
- CONTRACTOR TO PROVIDE BARRICADES TO PROVIDE A SAFE AREA DURING CONSTRUCTION.
- ALL TEMPORARY PARTITIONS SHALL BE CONSTRUCTED WITH GYPSUM WALLBOARD FINISHED & PAINTED TO MATCH ADJACENT EXISTING PARTITIONS INCLUDING MILLWORK TO MATCH EXISTING PROFILES. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER PRIOR TO BIDDING TO DETERMINE WHERE TEMPORARY PARTITIONS WILL BE REQUIRED.
- REPLACE ALL ELECTRICAL/DATA RECEPTACLES AND COVERPLATES IN THE WORK AREA.
- REPLACE ALL HVAC DIFFUSERS, GRILLES, AND LOUVERS IN THE WORK AREA.
- FIXTURES TO BE RE-USED SHALL BE CLEANED BEFORE REINSTALLATION.
- AT MASONRY INFILL LOCATIONS, TOOTH INTO EXISTING MASONRY
- SALVAGE AND STORE BLINDS DURING CONSTRUCTION. CLEAN AND REINSTALL AT PROJECT
- WHERE GRAB BARS ARE NOT PRESENT AT WATER CLOSETS, BATH TUBS, AND SHOWERS WITHIN THE WORK AREA, PROVIDE GRAB BARS AS INDICATED ON THE TOILET ACCESSORY SCHEDULE AND ACCESSORY MOUNTING HEIGHT DIAGRAMS.
- PROVIDE NON-SKID STRIPS AT ALL BATH TUBS AND SHOWERS IF NOT PRESENT.
- OWNER WILL BE RESPONSIBLE FOR REMOVING, STORING, AND RE-HANGING ALL ARTWORK.
- OWNER'S SIGN VENDOR WILL PROVIDE ALL ROOM SIGNS AND DIRECTIONAL SIGNS THAT ARE NOT REQUIRED BY APPLICABLE CODES. CONTRACTOR SHALL COORDINATE.

 $\boldsymbol{\omega}$

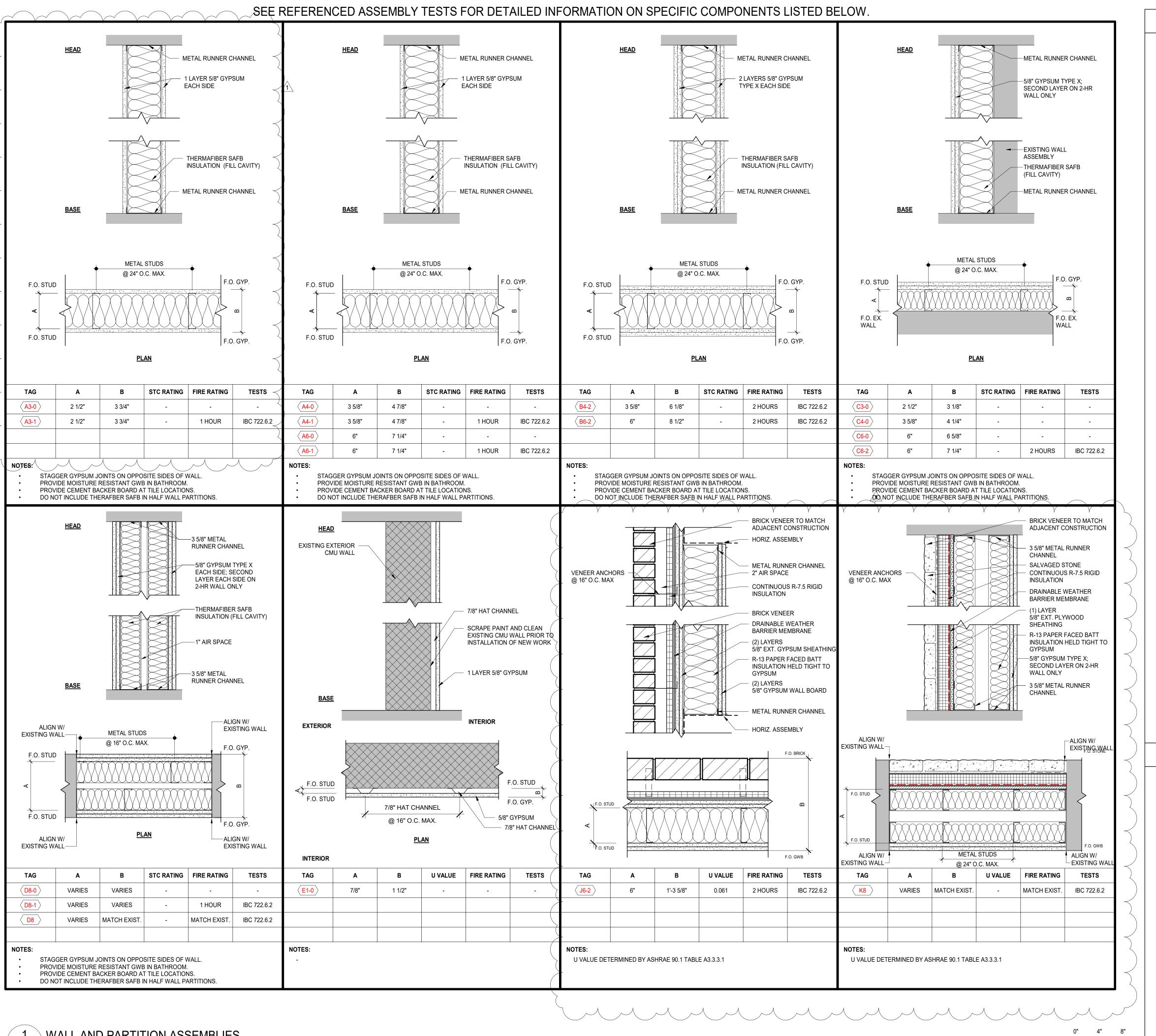


COMMUNITI **PHASE** WBC ORE PII **FARMS** GRANITE

S

ETIREM 2

ABBREVIATIONS, SYMBOLS, & **GENERAL NOTES**



ASSEMBLY NOTES

- ALL RATED ASSEMBLIES SHALL BE IN ACCORDANCE WITH THE TEST LISTED. REFER TO INDICATED TESTING LABORATORY FOR ADDITIONAL INFORMATION REGARDING ACCEPTABILITY AND INSTALLATION OF SPECIFIC ASSEMBLY COMPONENTS. IF THE CONTRACTOR WISHES TO UTILIZE A DIFFERENT TESTED ASSEMBLY, DOCUMENTATION FOR THE PROPOSED ASSEMBLY SHALL BE PROVIDED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- UNLESS INDICATED OTHERWISE, INTERIOR WALL ASSEMBLIES RUN FROM FLOOR SLAB OR SUB-FLOOR TO DECK OR ROOF ABOVE.
- RATED WALL, FLOOR/CEILING, AND ROOF ASSEMBLIES SHALL BE CONTINUOUS & MUST RUN THROUGH CONCEALED SPACES WHICH INCLUDE UNDER TUBS & SHOWER PANS, AS WELL AS INSIDE
- WHERE SOFFITS ARE INSTALLED BELOW RATED CEILING ASSEMBLIES OR ADJACENT TO RATED WALL ASSEMBLIES, THE RATED ASSEMBLIES SHALL BE CONTINUOUS UNLESS INDICATED OTHERWISE. FIRE-RATED WALLS SHALL BE DESIGNATED ABOVE CEILINGS AND ON THE INSIDE OF ALL CEILING-ACCESS DOORS WHICH PROVIDE ACCESS TO SUCH FIRE-RATED ASSEMBLIES BY SIGNAGE HAVING LETTERS NO SMALLER THAN ONE INCH IN HEIGHT, STATING "FIRE-RATED ASSEMBLY" AT HORIZONTAL INTERVALS OF NO MORE THAN EIGHT FEET.
- FIRESTOP VOIDS, SUCH AS DECK FLUTES, ABOVE FIRE-RATED PARTITIONS PER INDICATED ASSEMBLY. WHERE WALL ASSEMBLIES RUN TO DECK ABOVE AND ARE NOT FIRE-RATED, FILL VOIDS WITH ACOUSTICAL INSULATION.
- PROVIDE ACOUSTICAL SEALANT JOINTS BOTH SIDES AND AT TOP AND BOTTOM OF ALL ACOUSTICALLY RATED PARTITIONS.
- SEAL ALL STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL PENETRATIONS OF NEW AND EXISTING (WITHIN THE WORK AREA) FIRE-RATED ASSEMBLIES WITH FIRE-AND-SMOKE-STOPPING SEALANT OF MATCHING FIRE-RATING.
- ELECTRICAL BOXES (METALLIC OR NONMETALLIC) SHALL BE SEPARATED BY AT LEAST 24 INCHES HORIZONTALLY. PROVIDE PUTTY PADS AT ALL NON-METALLIC ELECTRICAL BOXES LOCATED IN ANY RATED ASSEMBLY AT RATED SEPARATION WALLS, ALL SILLS AND PLATES SHALL BE SEALED.
- ASSEMBLIES MAY HAVE APPLIED FINISHES WHICH ARE NOT INDICATED ON THE ASSEMBLY TYPE DETAIL. REFER TO I-SERIES DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE WATERPROOF MEMBRANE BEHIND TILE ON FLOORS AND WALLS IN WET AREAS. MASONRY ASSEMBLIES: ALL MASONRY PARTITIONS SHALL BE TYPE <> UNLESS INDICATED OTHERWISE
 - <HORIZONTAL JOINT REINFORCEMENT IN WALLS AROUND THE NATATORIUM SHALL BE</p> REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCING AND GROUTING OF

ALL MASONRY WALLS SHALL HAVE HORIZONTAL JOINT REINFORCEMENT AT 16" O.C.

- MASONRY WALLS U.N.O. ALL EXTERIOR MASONRY WALLS TO HAVE CONTROL JOINTS AT MAXIMUM 30'-0" O.C.
- P. STUD & GYPSUM ASSEMBLIES: ALL SELF-SUPPORTING STUD & GYPSUM ASSEMBLIES SHALL BE TYPE <> UNLESS INDICATED OTHERWISE
 - ALL FURRING SHALL BE TYPE <> UNLESS INDICATED OTHERWISE ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE 2x6 STUDS AT 16" 0.C.
 - MAXIMUM, UNLESS INDICATED OTHERWISE. ALL OTHER WALLS SHALL BE 2x4 STUDS AT 16" O.C. MAXIMUM UNLESS INDICATED OTHERWISE. ALL HORIZONTAL AND MISCELANEOUS FRAMING TO BE 16" O.C. UNLESS INDICATED OTHERWISE. < REFER TO STRUCTURAL DRAWINGS FOR STUD SPACING IN BEARING WALLS.> AT RATED GYPSUM WALL ASSEMBLIES, GYPSUM SHALL BE CONTINUOUS FROM THE TOP OF
- THE FLOOR ASSEMBLY BELOW TO THE UNDERSIDE OF THE FLOOR SHEATHING OR RATED CEILING ASSEMBLY ABOVE.
- FURRING WITHOUT INSULATION SHALL BE TERMINATED 4" ABOVE ADJACENT CEILING, WHILE SUBSTRATE RUNS TO DECK ABOVE UNLESS INDICATED OTHERWISE. FURRING WITH INSULATION SHALL RUN TO DECK ABOVE.
- PROVIDE FULL HEIGHT FIREBLOCKING EVERY 10'-0" HORIZONTALLY IN CONCEALED WALL
- CONTRACTOR SHALL PROVIDE DEFLECTION TRACK WHERE METAL STUDS COME IN CONTACT WITH STRUCTURE ABOVE.
- ALL LONG RUN GYPSUM PARTITIONS SHALL HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. ALL GYPSUM SURFACES WITHIN 6'-0" OF AN OPEN WATER SOURCE SHALL RECEIVE MOISTURE RESISTANT GYPSUM PER ASTM D3273.
- ALL GYPSUM SURFACES IN TOILET ROOMS SHALL RECEIVE MOISTURE RESISTANT GYPSUM
- INSTALL CEMENT BACKER BOARD IN LIEU OF GYPSUM WALL BOARD ON ALL WALL ASSEMBLIES TO RECEIVE WALL TILE EXCEPT THOSE REQUIRING GYPSUM FOR FIRE RATINGS. REFER TO I-
- SERIES DRAWINGS FOR TILE LOCATIONS. CONCEALED SIDES OF ASSEMBLIES AROUND CHASES DO NOT REQUIRE GYPSUM UNLESS NECESSARY TO MAINTAIN THE RATING OF THE INDICATED FIRE-RATED ASSEMBLY.
- SOUND ATTENTUATION BATTS ARE NOT REQUIRED IN WALLS THAT DO NOT SEPARATE
- PROVIDE A LEVEL 4 DRYWALL FINISH, UNLESS INDICATED OTHERWISE. PROVIDE A LEVEL 5 DRYWALL FINISH AT WALLS RECEIVING WALL COVERINGS AND COLUMNS
- WHERE A NEW WALL ALIGNS W/ AN EXISTING WALL CORNER, REMOVE THE EXISTING CORNER BEAD AND DRYWALL BACK TO THE NEAREST STUD NO CLOSER THAN 16" TO ALLOW FOR MUDDING & TAPING OF THE NEW INTERSECTION.
- PROVIDE VERTICALLY GROOVED INSULATION OR VERTICALLY NOTCHED ADHESIVE ON SURFACE OF DRAINAGE PLANE TO ALLOW FOR PROPER DRAINAGE PER EIFS

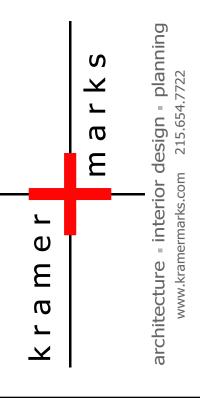
MANUFACTURER'S INSTRUCTIONS.

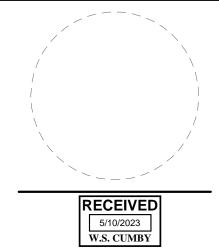
- <ALL EIFS FINISHES SHALL BE PANZER MESH UP TO 10'-0" MINIMUM ABOVE ALL GRADES AND</p> WALKS. TERMINATE PANZER MESH AT NEAREST JOINT OR REVEAL ABOVE 10'-0".> CONTRACTOR SHALL PROVIDE CONTINUOUS BLOCKING BEHIND ALL WALL-MOUNTED ITEMS,
- INCLUDING BUT NOT LIMITED TO CABINETS. MOUNTED/HUNG CASEWORK, BRACKETS, MEP EQUIPMENT & FIXTURES, RAILINGS, TOILET ACCESSORIES, ETC. REMOVE EXISTING DRYWALL AS REQUIRED TO INSTALL.
- WHERE PLYWOOD SHEATHING IS NOT INCLUDED IN STUD-FRAMED WALL ASSEMBLIES, CONTRACTOR SHALL PROVIDE BLOCKING BEHIND EXTERIOR TRIM AND OTHER EXTERIOR WALL-MOUNTED ITEMS. ROOF ASSEMBLIES DO NOT DEPICT ACTUAL ROOF SLOPES. REFER TO PLANS, ELEVATIONS, AND SECTIONS FOR SLOPE INFORMATION.

FIRE-STOPPING NOTES

THE FOLLOWING IS A LIST OF FIRESTOPPING REQUIREMENTS FOR THE PROJECT. WHILE COMPREHENSIVE, THE LIST MAY NOT COVER ALL FIELD CONDITIONS, THEREFORE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT DOCUMENTATION FOR EACH PENETRATION IN ALL FIRE RATED ASSEMBLIES. REFER TO RELATED SPECIFICATION SECTION.

- CAULK PERIMETER EDGES AND OR FIREBLOCK THE REAR OF ALL JUNCTION BOXES, ELECTRICAL OUTLETS. AND DUCT PENETRATIONS IN ALL FIRE RATED WALLS AND FLOOR/CEILING ASSEMBLIES WITH AN APPROVED FIRESTOP SEALANT TO ACHIEVE A HOURLY FIRE-RESISTANT RATING AS APPLICABLE TO THE SPECIFIC SYSTEM. ALL NON-METALLIC BOXES REQUIRE THE INSTALLATION OF PUTTY PAD. SEE NOTE 5.
- ALL RECESSED LIGHTING IN FIRE RATED WALLS AND FLOOR/CEILING ASSEMBLIES MUST BE HOUSED IN A FIRE RATED ENCLOSURE OR PROTECTED WITH A FIRE-RESISTIVE HOOD TO MATCH TO MAINTAIN THE REQUIRED FIRE-RESISTANCE RATING OF THE PENETRATED ASSEMBLY. REFER TO ELECTRICAL
- PROVIDE FIRE DAMPERS AT ALL PENETRATIONS THOUGH RATED ASSEMBLIES. REFER TO MECHANICAL DRAWINGS FOR LOCATION OF THE FIRE DAMPERS.

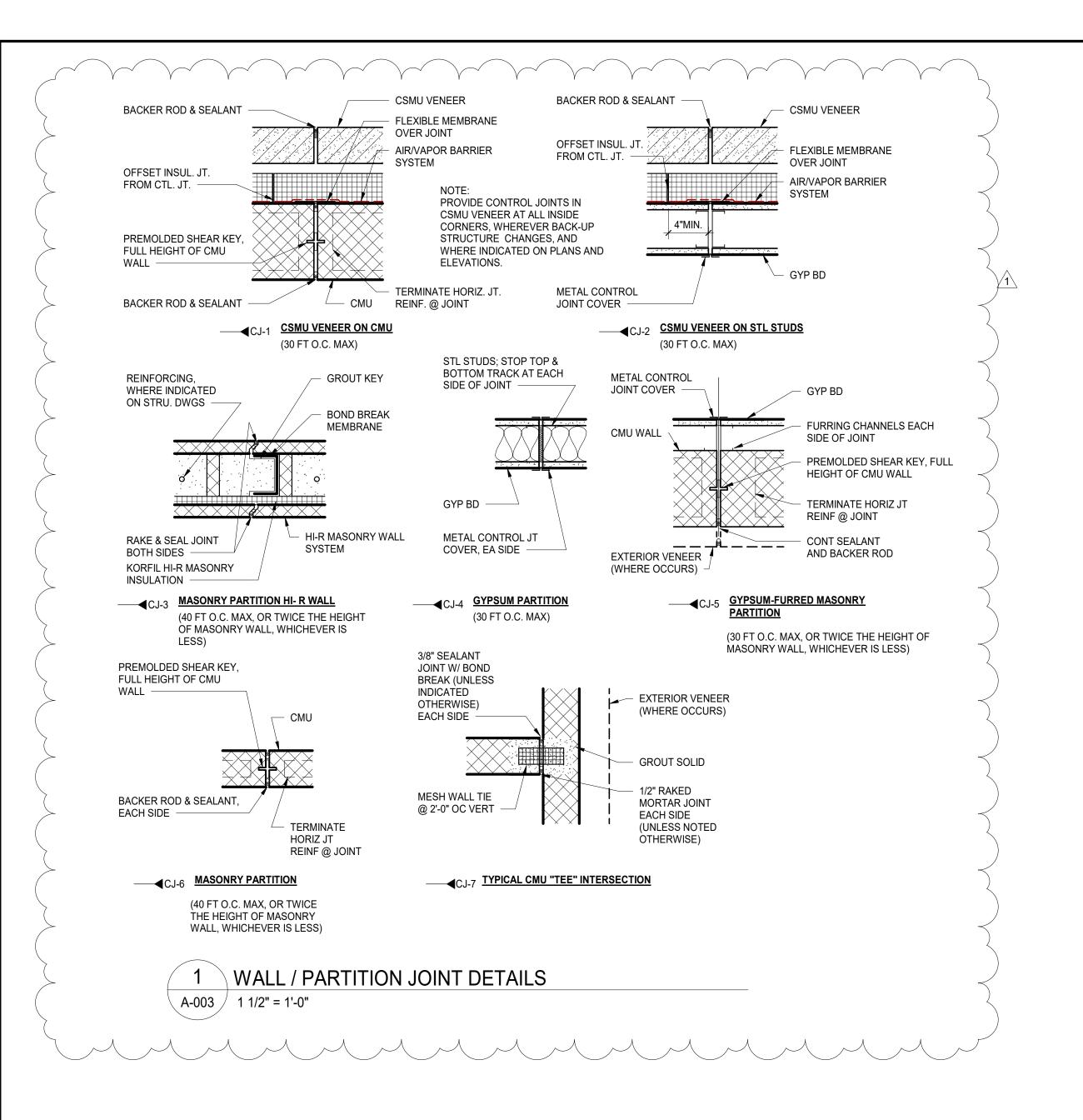




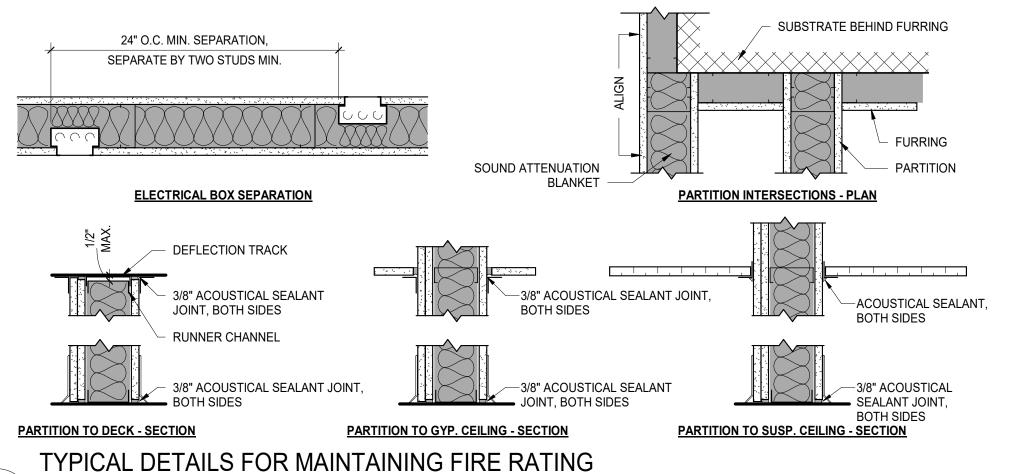
COMMUNITI WBC FARMS

ETIREMENT 2

ASSEMBLIES



	PENETRATION SYSTEM			L-RATING		TESTING	BASIS-OF-
PENETRATION TYPE	NO.	F-RATING	T-RATING	AMBIENT	L-RATING - 400 F	AGENCY	ESIGN MF
DUCT (STEEL) THROUGH CONCRETE FLOOR OR WALL	C-AJ-7051	3 HRS	1 HR	-	-	UL	HILTI
OUCT (STEEL) THROUGH GYPSUM & STUD WALLS	W-L-7040	1 HR - 2 HRS	0 HRS	-	-	UL	HILTI
PIPE (METALIC) THROUGH CONCRETE FLOORS OR WALLS	C-AJ-1421	2 HRS - 3 HRS	0 HRS	-	-	UL	HILTI
PIPE (METALIC) THROUGH GYPSUM & STUD WALLS	W-L-5029	1HR - 2 HRS	1/2 HR - 1 3/4 HRS	4 CFM/SF	LESS THAN 1 CFM/SF	UL	HILTI
IPE (NON-METALIC) THROUGH CONCRETE FLOOR-CEILING SSEMBLY	F-E-2028	1 HR	1/2 HR	-	-	UL	HILTI
PIPE (NON-METALIC) THROUGH GYPSUM & STUD WALLS	W-L-2078	1HR - 2 HRS	0 HRS - 2 HRS	3 CFM/SF	LESS THAN 1 CFM	UL	HILTI



	RATED FIRE-STOPPI	NG SYSTEMS AT J	OINTS					
CONDITION - PARTITION	CONDITION - ADJACENT CONSTRUCTION	JOINT SYSTEM NUMBER	F-RATING*	T-RATING	L-RATING AMBIENT	L-RATING-400F	TESTING AGENCY	BASIS OF DESIGN
	FLAT CONCRETE	HW-D-0209	2 HOUR	C.*	< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CP 606
TOD OF WALL	PERPENDICULAR TO METAL DECK FLUTES	HW-D-0538	2 HOUR	9	< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CFS-SP WE
TOP-OF-WALL	PARALLEL TO METAL DECK FLUTES	HW-D-0538	2 HOUR		< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CFS-SP WE
	GYP WALL TO GYP CEILING	HW-S-0090	1 HOUR	- 2	< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CP 606
BOTTOM-OF-WALL	FLAT CONCRETE	BW-S-0001	2 HOUR	24	< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CP 606
ALL TOP-OF-WALL	FLAT CONCRETE	HW-D-0342	2 HOUR		< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CP 606
	PERPENDICULAR TO METAL DECK FLUTES	HW-D-0569	2 HOUR	198	< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CFS-SP WB
	PARALLEL TO METAL DECK FLUTES	HW-D-0570	2 HOUR		< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CFS-SP WB
BOTTOM-OF-WALL	FLAT CONCRETE	BW-S-0023	2 HOUR	199	< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CP 606
	FLAT CONCRETE	HW-D-0268	3 HOUR		< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CP 606
TOP-OF-WALL	PERPENDICULAR TO METAL DECK FLUTES	HW-D-0098	2 HOUR	9	< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CFS-SP WE
	PARALLEL TO METAL DECK FLUTES	HW-D-0181	2 HOUR		< 1 CFM/SF	< 1 CFM/SF	UL	HILTI - CFS-SP WB
	PARTITION TOP-OF-WALL BOTTOM-OF-WALL BOTTOM-OF-WALL	CONDITION - PARTITION ADJACENT CONSTRUCTION FLAT CONCRETE PERPENDICULAR TO METAL DECK FLUTES PARALLEL TO METAL DECK FLUTES GYP WALL TO GYP CEILING BOTTOM-OF-WALL FLAT CONCRETE FLAT CONCRETE PERPENDICULAR TO METAL DECK FLUTES PARALLEL TO METAL DECK FLUTES PARALLEL TO METAL DECK FLUTES PARALLEL TO METAL DECK FLUTES FLAT CONCRETE	CONDITION - CONDITION - ADJACENT CONSTRUCTION NUMBER	PARTITION ADJACENT CONSTRUCTION NUMBER F-RATING*	CONDITION - ADJACENT CONSTRUCTION JOINT SYSTEM F-RATING* T-RATING	CONDITION - ADJACENT CONSTRUCTION NUMBER F-RATING* T-RATING AMBIENT	CONDITION	CONDITION - ADJACENT CONSTRUCTION DOINT SYSTEM NUMBER F-RATING* T-RATING AMBIENT L-RATING-400F AGENCY

"Hourly fire rating of system can vary based on design ratings of partition assembly. See system details

2 AND ACOUSTICAL SEPARATION FOR ALL PARTITIONS

A-003 / 1 1/2" = 1'-0"

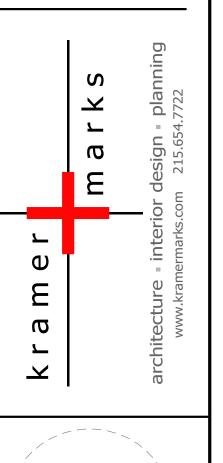
JOINT FIRESTOPPING SCHEDULE

JOINT TYPE		NON-RATED JOINT SYSTEM PRE-FORMED DEVICES			STEM NON-RATED JOINT SYSTEM CES SPRAYS & SEALANTS			UL-CLASSIFED JOINT SYSTEM PRE-FORMED DEVICES				UL-CLASSIFED JOINT SYSTEM SPRAYS & SEALANTS			
PARTITION TYPE	CONDITION - PARTITION	CONDITION - ADJACENT CONSTRUCTION	0-HR	B.O.D. PRODUCT(S)	0-HR	B.O.D. PRODUCT(S)	1-HR	2-HR	3-HR	B.O.D. PRODUCT(S)	1-HR	2-HR	3-HR	B.O.D. PRODUCT(8)	
	I RESERVINGO O	FLAT CONCRETE	J-CS TTS SA-1b.	CS-TTS SA	J-SALIGHT 1a	SALIGHT	HW-D-0757	HW-D-0757	HW-D-0905	CFS-TTS	HW-D-0209	HW-D-0209	HM-D-0508	CP 606	
	TOP-OF-WALL	PERPENDICULAR TO METAL DECK FLUTES	= 1	+5	J-SALIGHT ta	SALIGHT	HW-D-0671	HW-D-0871	2	CFS-TTS MD	HW-D-0054	HW-D-0054	HW-D-1011	CFS-SP-WB; CP 600	
GWB ON METAL/WOOD	ASSESSMENT OF STREET	PARALLEL TO METAL DECK FLUTES		+::	J-SALIGHT 1a	SALIGHT	HW-D-0872	HW-D-0672		CFS-TTS ND	HW-D-0054	HW-D-0054	HW-D-1011	CFS-SP-WB	
FRAMING		GYP WALL TO GYP CEILING			J-SALIGHT 1a	SALIGHT		-			HW-8-0090			CP 606	
	BOTTOM-OF-WALL	FLAT CONCRETE	J-CS TTS SA-1b	CS-TTS SA	J-SALIGHT 1a	SALIGHT	BW-8-0039	BW-8-0039	-	CFS-TTS	BW-S-0001	BW-S-0001		CP 606	
	WALL-TO-WALL	FLAT CONCRETE	J-C8 TTS 8A-16	CS-TTS BA	J-SALIGHT 18	SA LIGHT	WW-8-0074	WW-8-0074	943	CF8-TT8	WW-D-0040	WW-D-0040	30.0	CP 606	
TOP		FLAT CONCRETE			+-		HW-D-0824	HW-D-0824		CFS-TTS	HW-D-0342	HW-D-0342	HW-D-0120	CP 606	
	TOP-OF-WALL	PERPENDICULAR TO METAL DECK FLUTES	(2)	+:		8 -	HW-D-0681	HW-D-0681		CFS-TTS MD	HW-D-0589	HW-D-0569	HW-D-0120	CFS-SP-WB; CP 600	
GYPSUM SHAFTWALL		PARALLEL TO METAL DECK FLUTES	1 2	+11		- 12		2	-	CFS-TTS MD	HW-D-0570	HW-D-0570	HW-D-0120	CFS-SP-WB; CP 608	
	BOTTOM-OF-WALL	PLAT CONCRETE	- 2	22		141	-	-	-	7.72	BW-S-0023	BW-S-0023	25	CP 606	
	WALL-TO-WALL	FLAT CONCRETE		2	i masifiliasan	Securitaria de la composición del composición de la composición de		-	-	1 1	WW-S-0059	WW-S-0059	constitution.	CP 606	
		FLAT CONCRETE		7.0	J-SALIGHT 1a	SALIGHT	(-)		-	1.5	HW-D-0268	HW-D-0268	HW-D-0268	CP 606	
CONC MASONRY UNIT	TOP-OF-WALL	PERPENDICULAR TO METAL DECK FLUTES		+11	J-SALIGHT 1a	SA LIGHT		-	-		HW-D-0098	HW-D-0098	HW-D-0294	CFS-SP-WB	
CONC MASONRY UNIT		PARALLEL TO METAL DECK PLUTES	1.57	+::	J-SALIGHT 1a	SALIGHT	.+.		+	35	HW-D-0181	HW-D-0181	HW-D-0296	CFS-SP-WB	
	WALL-TO-WALL	FLAT CONCRETE		+3 /	J-SALIGHT 1a	SA LIGHT			-	33. 0	MM-D-0035	WW-D-0032	WW-D-0032	CP 606	
SOLID CONCRETE	FLOOR-TO-WALL	FLAT CONCRETE		+ 1	-	1.5	-	-		2.5	FW-D-0042	FW-D-0042	FW-D-0042	CP 606	
SOLID CONCRETE	WALL-TO-WALL	FLAT CONCRETE		¥1.	. 4	18 19			1	(4)	WW-D-0032	WW-D-0032	WW-D-0032	CP 606	
CURTAINWALL (GLAZED)	EDGE OF SLAB	FACE OF CONGRETE	100	+0	24	59	HUBBE 120-XX*	HLBPF-120-300*		CES-EOS-OS	HUBBY 120-12	HUBPE 120-12	-	CES-SP SIL	

T-100 C-100	NETRATION	MON DATE	DENETDATION OVOTERS		III de Applema mes	IETDATION CVCTCAL	
TYPE OF PE PENETRANT	PENETRATED ASSEMBLY	0-HR	B.O.D. PRODUCT(S) - HILTI	1-HR	2-HR	NETRATION SYSTEM 3-HR	B.O.D. PRODUCT(S) - HIL
	WALL- GWB ON METALWOOD FRAMING	TP-506-2b	CP 506	W-L-1054	W-L-1054	W-L-1252	FS-ONE MAX CP 606
ININSULATED METALLIC PIPE	WALL- GYPSUM SHAFTWALL			W-L-1380 W-L-1205	W-L-1380 W-L-1206	5117701.25	FS-ONE MAX
	WALL- CONCRETE OR CMU (MIN 4-1/2")	TP-508-2b	CP 506	C-AJ-1226	C-AJ-1226	C-AJ-1226	FS-ONE MAX
	FLOOR- CIP CONCRETE (MIN 2-1/2")	- 47/2	1 224000	C-AJ-1575	C-AJ-1575	C-AJ-1575	CP 680
	FLOOR- L569 or P522	1.0	1/4	F-C-1069		- 2	FS-ONE MAX FS-ONE MAX
	WALL- GWB ON METAL/WOOD FRAMING	TP-506-2b	CP 506	W-L-5029	W-L-5029	W-L-5029	FS-ONE MAX
NEW ATER (EIRERO) ASSUMETALLIS BIRE	WALL- GYPSUM SHAFTWALL	700 500 04	CP 506	W-L-5240	W4L-5240	W-L-5240	FS-ONE MAX
NSULATED (FIBERGLASS) METALLIC PIPE	WALL- CONCRETE OR CMU (MIN 4-1/2") FLOOR- CIP CONCRETE (MIN 2-1/2")	TP-506-2b	10111000	C-AJ-5091 F-A-5021	C-AJ-5091 F-A-5021	EJ F-A-5046	FS-ONE MAX FSONE MAX : CFS DID
	FLOOR- L569 or P522		1 1	F-C-5066	F-A-GUZ1	F-94-0040	FS-ONE MAX
	WALL- GWB ON METAL/WOOD FRANING	TP-506-2b	CP 506	W-L-2128 (2" max)	W-L-2128 (2" max)	W-L-2447	FS-ONE MAX
	WALL- GYPSUM SHAFTWALL	100000000	27/03/20	W-L-2078 (>2") W-L-2217	W-L-2078 (>2") W-L-2217)/0.83(55) E2	CP 643 CP 643
	WALL- CONCRETE OR CMU (MIN 2-1/2")	TP-505-2b	CP 505	C-AJ-2342 (4" max) C-AJ-2271 (>4")	C-AJ-2342 (4" max) C-AJ-2271 (>4")	C-AJ-2342 (4" max) C-AJ-2271 (>4")	FS-ONE MAX CP 643
LASTIC PIPE	FLOOR- CIP CONCRETE (MIN 2-1/2")	33		F-A-2058 (max 2") F-A-2143 (max 4")	F-A-2058 (max 2") F-A-2143 (max 4")	E	CP 689;CFS-DID FS ONE MAX: CP 648-E
				100000000000000000000000000000000000000	F-96-2143 (max 4*)	F-A-2213	CP 643
	FLOOR- L569 or P522	3	124	F-C-2030 F-C-2189 F-C-2204	-	į.	FS-ONE MAX FS-ONE MAX
	100000000000000000000000000000000000000			F-C-2232 F-C-2404			CP 643 CP 643
	WALL- GWB ON METAL/WOOD FRAMING	TP-506-2b	CP 508	W-L-7042	W-L-7042	70	FS-ONE MAX
	WALL- GYPSUM SHAFTWALL		T	W-L-7068	W-L-7968	-	FS-ONE MAX
NINSULATED HVAC DUCT (ROUND)	WALL- CONCRETE OR CMU (MIN 4-1/2")	TP-506-2b	CP 508	C-AJ-7084	C-AJ-7084	EJ	FS-ONE MAX
	FLOOR- CIP CONCRETE (MIN 2-1/2")		+	EJ	EJ.	*	DE CAUCILLA
	FLOOR: L569 or P522 WALL- GWB ON METAL FRAMING	TP-506-2b	CP 506	F-C-7025 W-L-7155	W-L-7156	-	FS-ONE MAX FS-ONE MAX
	WALL- GYPSUM SHAFTWALL	11-300-20	CP 505	W-L-7089	W4-7069		FS-ONE MAX
ININSULATED HVAC DUCT (RECTANGULAR)	WALL- CONCRETE OR CMU (MIN 5-1/2")	TP-508-2b	CP 506	C-AJ-7051	C-AJ-7051	C-AJ-7051	FS-ONE MAX
	FLOOR- CIP CONCRETE (MIN 2-1/2")		-	C-AJ-7111	C-AJ-7111	-	FS-CNE MAX
	FLOOR: L569 or P522		134	F-C-7036	180		FS-ONE MAX
NSULATED HVAC DUCT (ROUND)	WALL- GWB ON METAL FRAMING	TP-508-2b	CP 508	W-L-7153	W-L-7153		FS-ONE MAX
ADDEATED THAT DOGT (HOURD)	FLOOR- L569 or P522			F-C-7055	and the same		FS-ONE MAX
	WALL- GWB ON METAL FRAMING	TP-505-2b	CP 505	W-L-7156	W-L-7156		FS-ONE MAX
NSULATED HVAC DUCT (RECTANGULAR)	WALL- CONCRETE OR CMU (MIN 4-1/2")	TP-506-2b	CP 508	EJ	C-AJ-7145 EJ	C-AJ-7151 EJ	FS-ONE MAX
	FLOOR- CIP CONCRETE (MIN 4-1/2") FLOOR- L569 or P522	3-		F-C-7038			FS-ONE MAX
	WALL: GWB ON METAL FRAMING	TP-506-2b	CP 506	W-L-7124	W-L-7124		FS-ONE
	WALL- CONCRETE OR OMU (MIN 4-1/2")	TP-506-2b	CP 505	C-AJ-7006	C-AJ-7006	C-AJ-7006	FS-ONE MAX
REASE DUCT	FLOOR- CIP CONCRETE (MIN 4-1/2")			EJ	EJ	EJ	
	FLOOR- L569 or P522	36	3: 3:	F-C-7036		-	FS-ONE MAX
	WALL- GWB ON METAL FRAMING	TP-506-2b	CP 506	W-L-3334 W-L-3065	W-L-3334 W-L-3066	W-L3385	CP 653; FS-ONE MAX FS-ONE MAX
	WALL - GWB ON METALWOOD FRAMING (MAX 1° HOLE DIA)	TP-506-2b	CP 506	W-L-3414	W-L-3414	10	CFS-D
	WALL- GYPSUM SHAFTWALL	92		W-L-3161	W-L-3161	24	FS-ONE MAX
LECTRIC CABLES	WALL- CONCRETE OR CMU (MIN 4-1/2")	TP-506-2b	CP 506	C-AJ-3281 C-AJ-3180	C-AJ-3281 C-AJ-3180	C-AJ-3180	CP 653; FS-ONE MAX FS-ONE MAX
	FLOOR- CONC SLAB ON MTL DECK (MIN 2-1/2")			F-A-3033	F-A-3033	F-A-3012	CP 680; FS ONE MAX
	FLOOR- CIP CONCRETE (MIN 2-1/2")			F-A-3033 F-C-3012	F-A-3033	C-AJ-3095	CP 680; FS ONE MAX
	FLOOR- L569 or P522	32	12	F-C-3012 F-C-3044 F-C-3110	2	123	FS-ONE MAX FS-ONE MAX FS-ONE MAX
24(20)	WALL- GWB ON METAL FRAMING	TP-506-2b	CP 506	W-L-4011	W-L-4011	335U2#535A5-	CFS-BL
CABLE TRAY	WALL- CONCRETE OR CMU (MIN 4-1/2")	TP-506-2b	CP 505	C-AJ-4035	C-AJ-4035	C-AJ-4035	CFS-BL
error model TP	FLOOR- CIP CONCRETE (MIN 2-1/2")	-	10	C-AJ-4035	C-AJ-4035	C-AJ-4017	CFS-BL; CP 637
AND SINCE MALE HANDS SINCE SERVICE STATE	WALL- GWB ON METAL FRAMING	TP-506-2b	CP 505	W-L-8047	W-L-8047		FS-ONE MAX
IVAC LINE SET	WALL- CONCRETE OR CMU (MIN 4-1/2")	TP-506-2b	CP 505	C-AJ-8148	C-AJ-8148	EJ	FS-ONE MAX
C 80 04 70 70 70 70 70	FLOOR- CIP CONCRETE (MIN 2-1/2")		-	C-AJ-8068	C-AJ-8058		FS-ONE MAX
	FLOOR- L569 or P522 WALL- GWB ON METAL FRAMING	- 15	- 5I S	F-C-8009 W-L-8014	W-L-8014	W-L-8014	FS-ONE MAX CFS-BL
CONTRACTOR	WALL- CONCRETE OR CMU (MIN 4-1/2")			C-AJ-8143	W-C-8014 C-AJ-8143	W-L-8014 C-AJ-4017	FS-ONE MAX: CP637
ARGE OPENINGS	FLOOR- CIP CONCRETE		1	EJ EJ	EJ	EJ	CFS-COS

RATED FIRE-STOPPING SCHEDULE

A-003 / 12" = 1'-0"



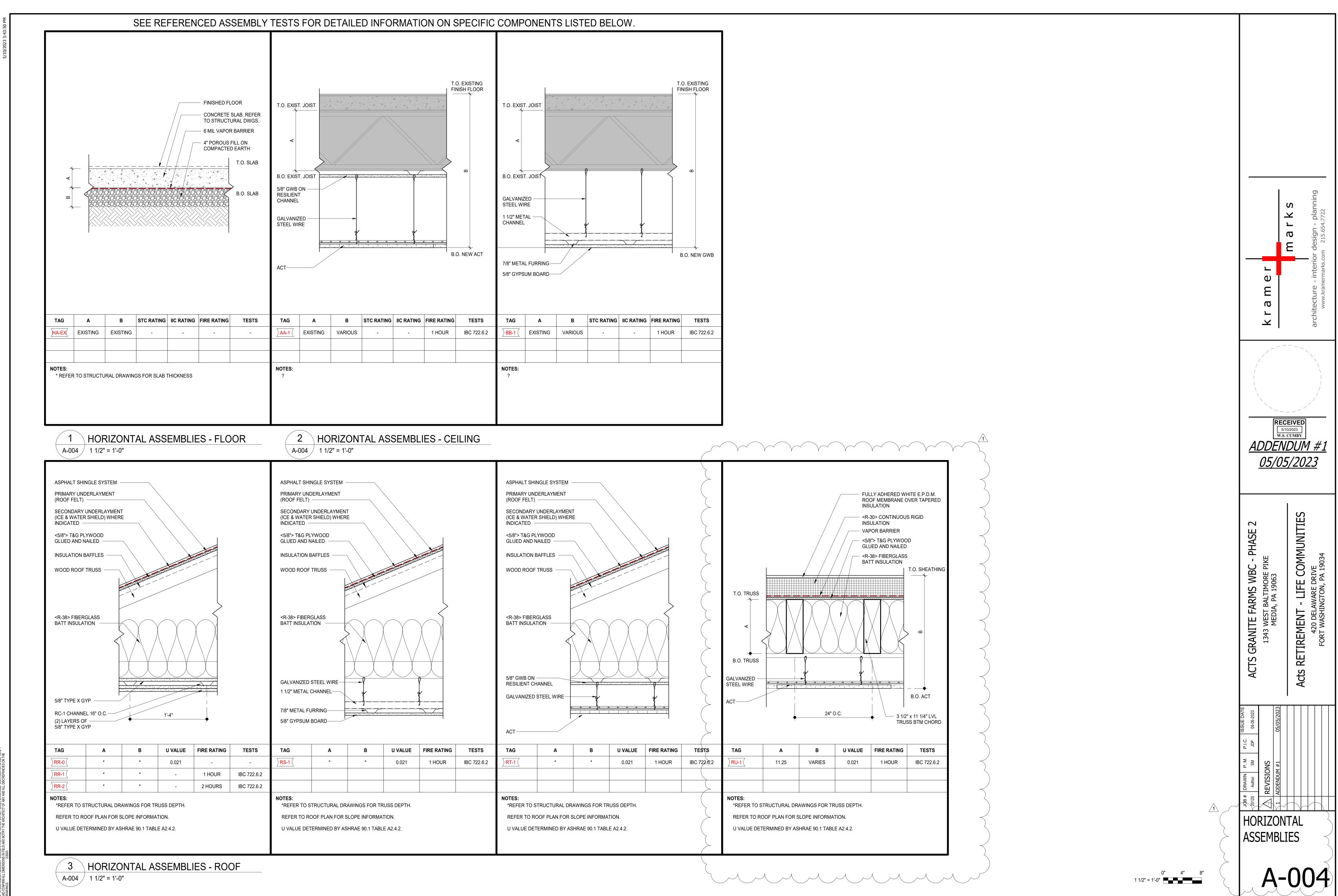
05/05/2023

RECEIVED

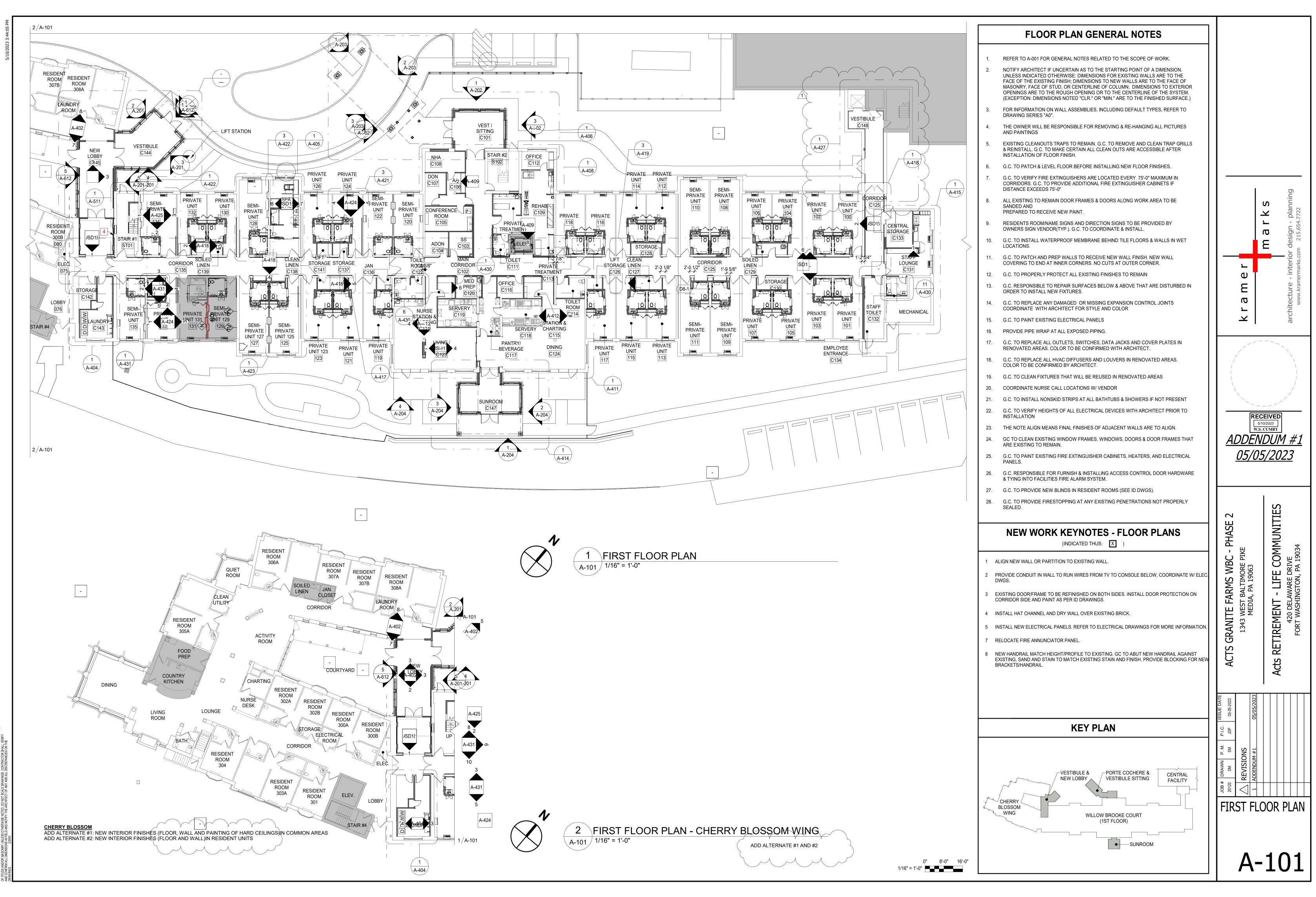
W.S. CUMBY

ACTS GRANITE FARMS WBC - 1343 WEST BALTIMORE PIKE RETIREMENT

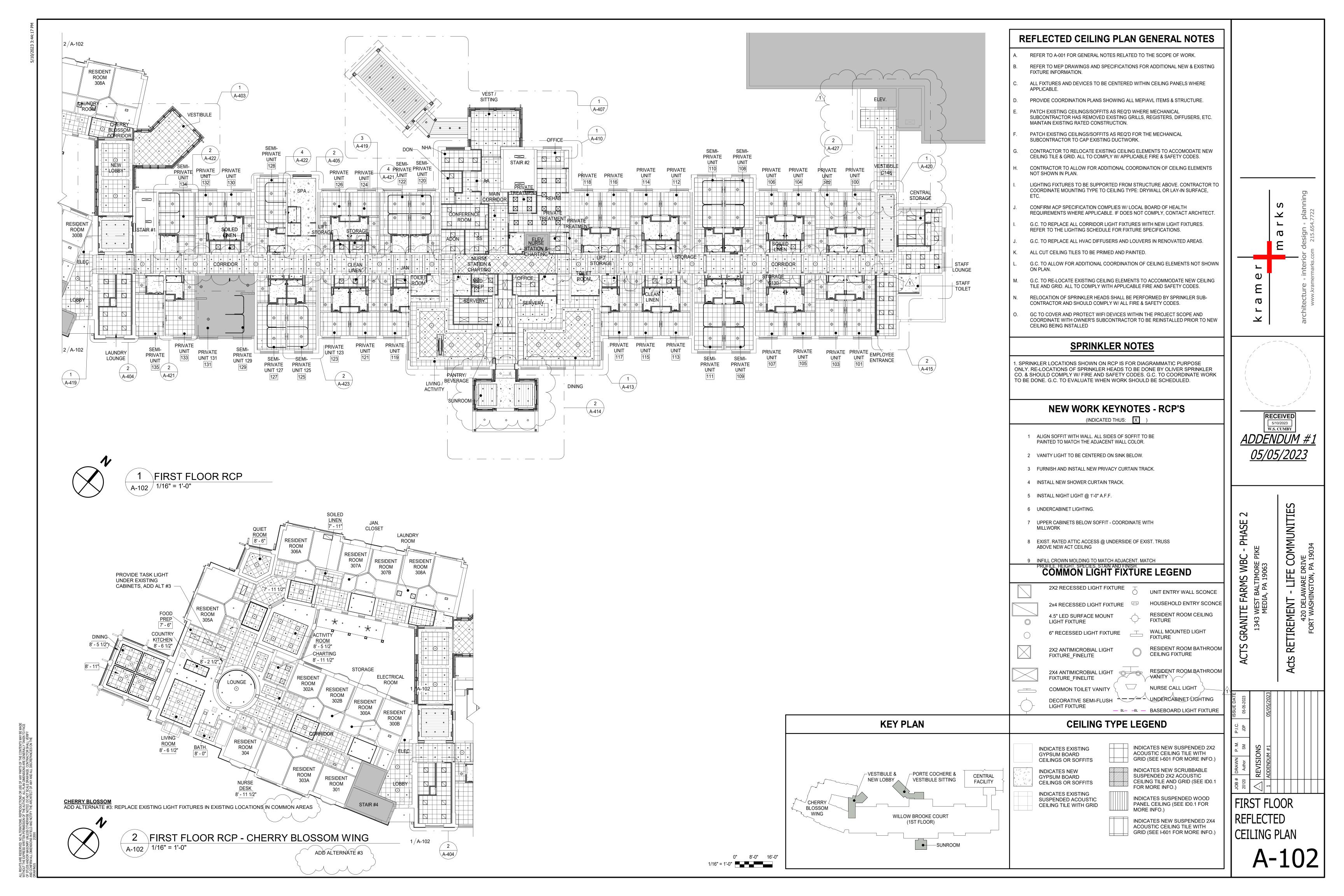
DETAILS AND SCHEDULES

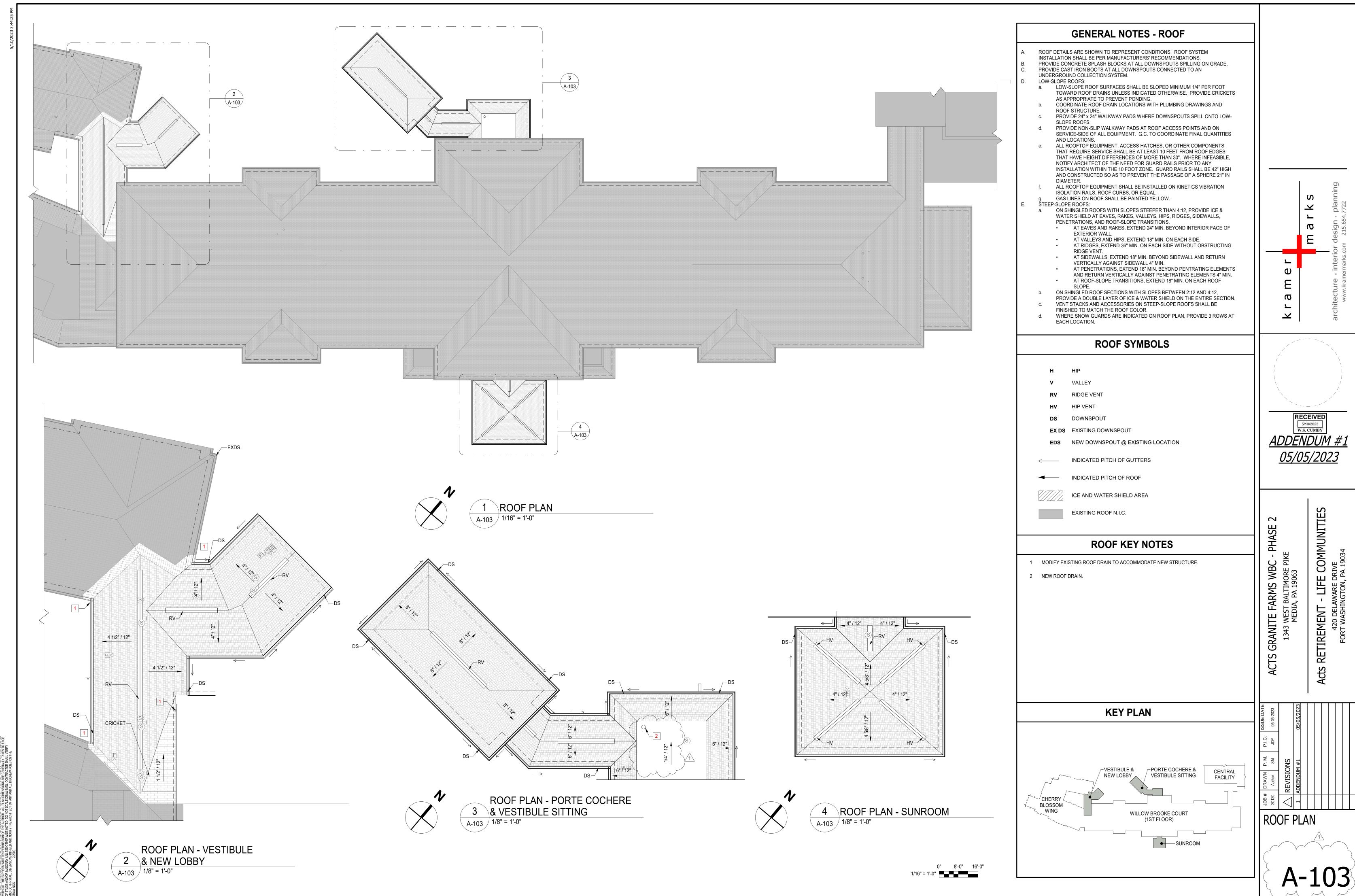


S ARE RESERVED. NO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE CONTENTS MAY BE MAD THE EXPRESS WRITTEN PERMISSION OF THE AUTHOR ALL PLAN DIMENSIONS ARE GENERALLY TAKEN TO FACK AND THE PROMISSION OF THE AUTHOR TO A THE THORNIANCS CONTENTED ATTOR DAYS AND THE THORNIANCS CONTENTED ATTOR DAYS AND THE THORNIANCS CONTENTED ATTOR TO A THE THORNIANCS CONTENTED ATTOR TO A THE THORNIANCS CONTENTED ATTOR THE THORNIANCS CONTENTED ATTOR THE THORNIANCS CONTENTED ATTOR THE THORNIANCS CONTENTED ATTOR THORNIANCS CONTENTED ATTOR THE THORNIANCS CONTENTED ATTOR THORNIANCS CONTENTED ATTOR THE THORNIANCS CONTENTED ATTOR THORNIANCS CONTENTED ATTOR

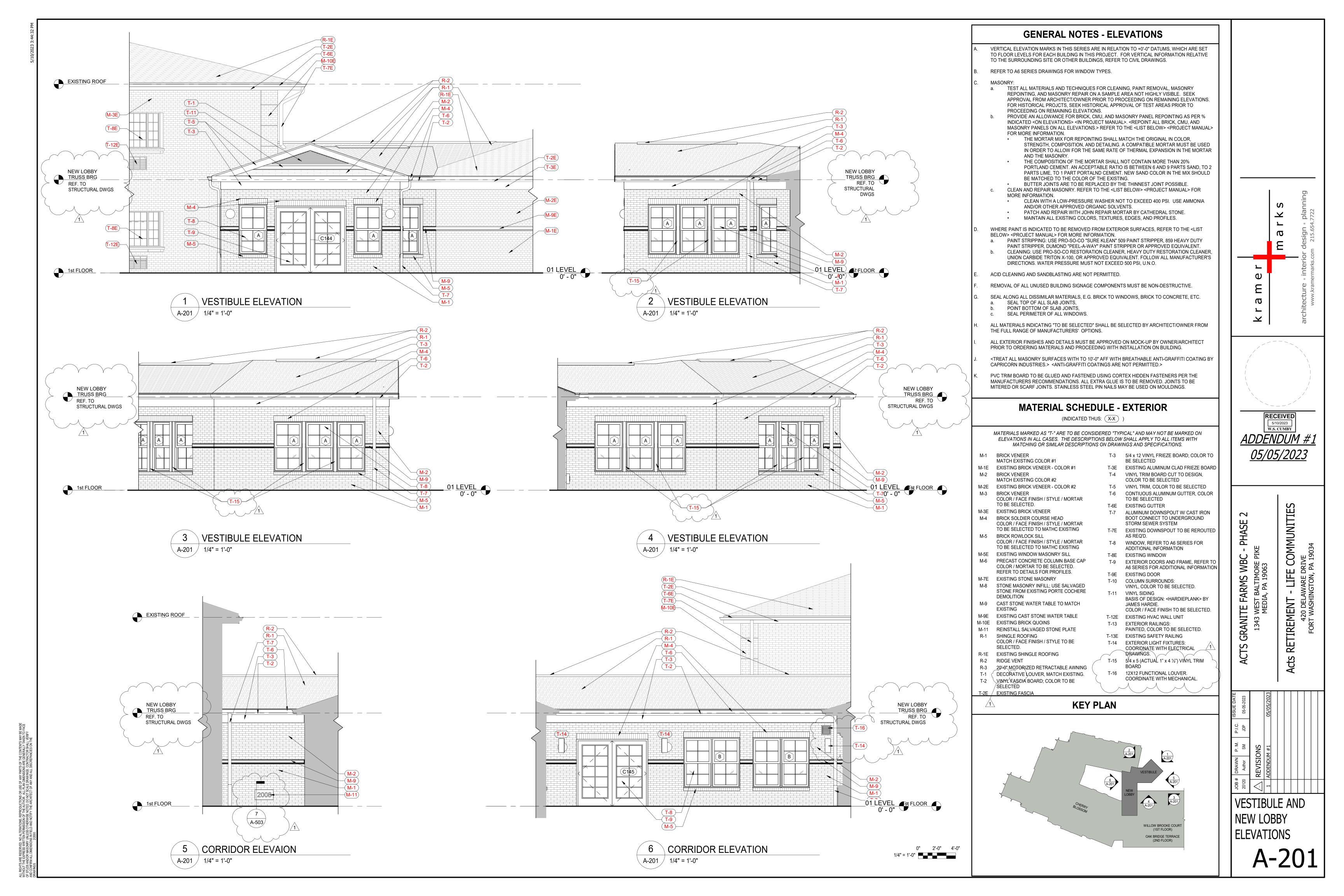


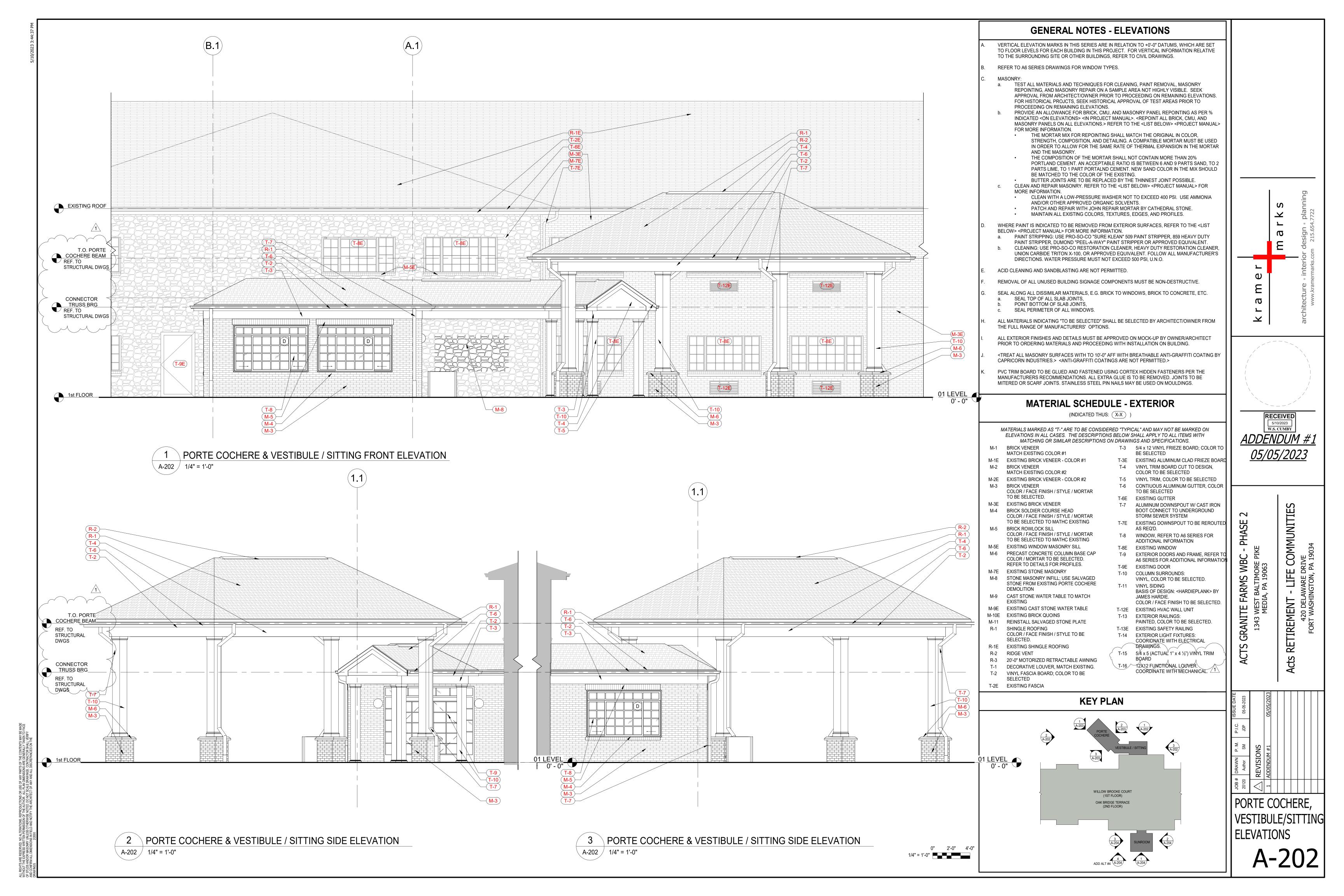
E RESERVED. NO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE CONTENTS MAY BE MADI EXPRESS WRITTEN PERMISSION OF THE ALTHOR. ALL PLAN DIMENSIONS ARE GENERALLY TAKEN TO FACE

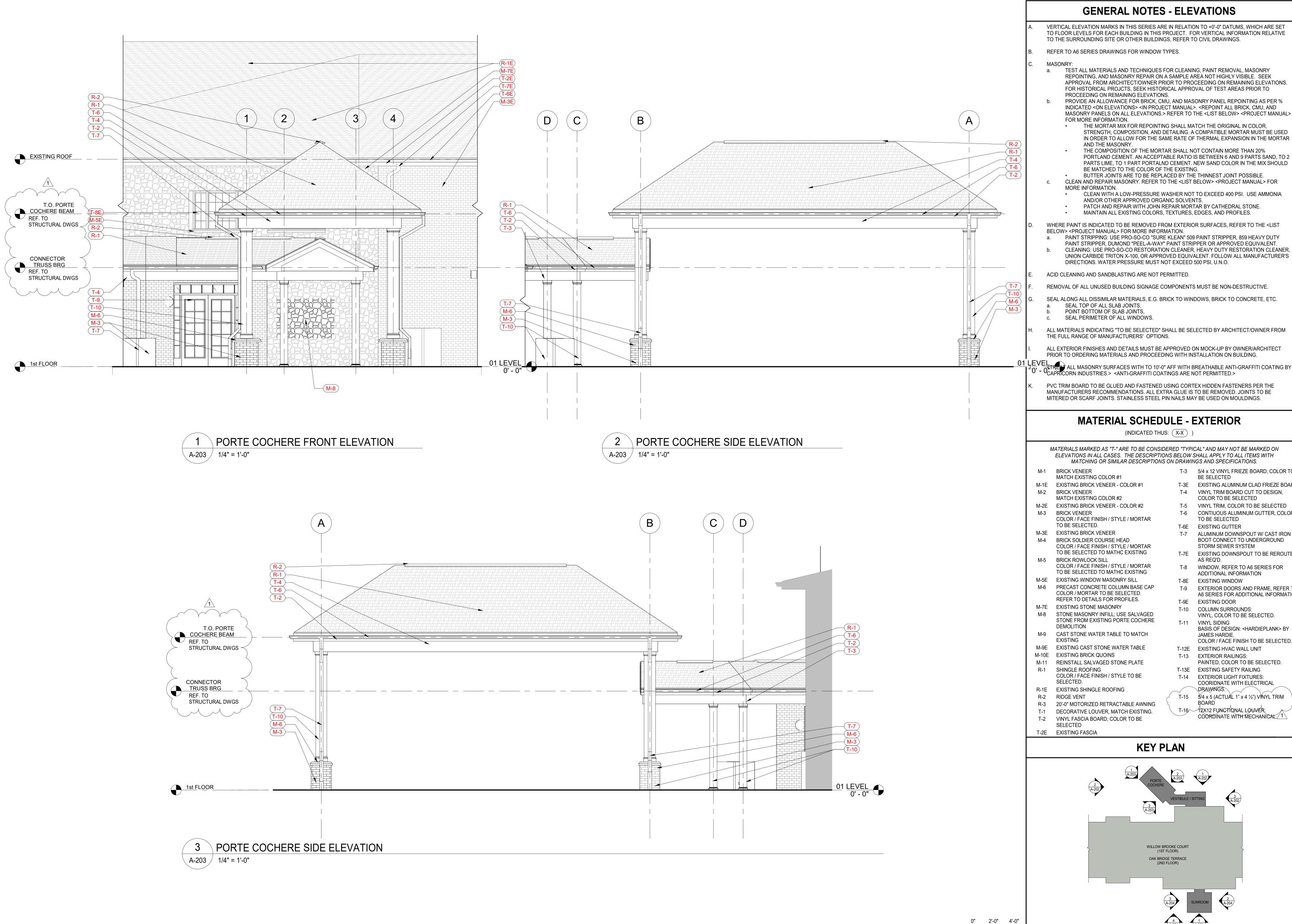




SHTS ARE RESERVED. NO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE CONTENTS OF THE CONTENTS OF THE CONTENTS OF THE CONTENTS OF THE AUTHOR ALTERATIONS ARE GENERALLY TO SHARP OF THE AUTHOR OF







GENERAL NOTES - ELEVATIONS

VERTICAL ELEVATION MARKS IN THIS SERIES ARE IN RELATION TO +0'-0" DATUMS, WHICH ARE SET TO FLOOR LEVELS FOR EACH BUILDING IN THIS PROJECT. FOR VERTICAL INFORMATION RELATIVE TO THE SURROUNDING SITE OR OTHER BUILDINGS, REFER TO CIVIL DRAWINGS.

REFER TO A6 SERIES DRAWINGS FOR WINDOW TYPES.

a. TEST ALL MATERIALS AND TECHNIQUES FOR CLEANING, PAINT REMOVAL, MASONRY REPOINTING, AND MASONRY REPAIR ON A SAMPLE AREA NOT HIGHLY VISIBLE. SEEK APPROVAL FROM ARCHITECT/OWNER PRIOR TO PROCEEDING ON REMAINING ELEVATIONS. FOR HISTORICAL PROJCTS, SEEK HISTORICAL APPROVAL OF TEST AREAS PRIOR TO PROCEEDING ON REMAINING ELEVATIONS. PROVIDE AN ALLOWANCE FOR BRICK, CMU, AND MASONRY PANEL REPOINTING AS PER %

INDICATED <ON ELEVATIONS> <IN PROJECT MANUAL>. <REPOINT ALL BRICK, CMU, AND MASONRY PANELS ON ALL ELEVATIONS.> REFER TO THE <LIST BELOW> <PROJECT MANUAL> FOR MORE INFORMATION. THE MORTAR MIX FOR REPOINTING SHALL MATCH THE ORIGINAL IN COLOR.

STRENGTH, COMPOSITION, AND DETAILING. A COMPATIBLE MORTAR MUST BE USED IN ORDER TO ALLOW FOR THE SAME RATE OF THERMAL EXPANSION IN THE MORTAR AND THE MASONRY. THE COMPOSITION OF THE MORTAR SHALL NOT CONTAIN MORE THAN 20%

BE MATCHED TO THE COLOR OF THE EXISTING. BUTTER JOINTS ARE TO BE REPLACED BY THE THINNEST JOINT POSSIBLE. CLEAN AND REPAIR MASONRY. REFER TO THE <LIST BELOW> <PROJECT MANUAL> FOR

MORE INFORMATION. CLEAN WITH A LOW-PRESSURE WASHER NOT TO EXCEED 400 PSI. USE AMMONIA

AND/OR OTHER APPROVED ORGANIC SOLVENTS.

PATCH AND REPAIR WITH JOHN REPAIR MORTAR BY CATHEDRAL STONE. MAINTAIN ALL EXISTING COLORS, TEXTURES, EDGES, AND PROFILES.

WHERE PAINT IS INDICATED TO BE REMOVED FROM EXTERIOR SURFACES, REFER TO THE <LIST BELOW> < PROJECT MANUAL> FOR MORE INFORMATION. PAINT STRIPPING: USE PRO-SO-CO "SURE KLEAN" 509 PAINT STRIPPER, 859 HEAVY DUTY

PAINT STRIPPER, DUMOND "PEEL-A-WAY" PAINT STRIPPER OR APPROVED EQUIVALENT. CLEANING: USE PRO-SO-CO RESTORATION CLEANER, HEAVY DUTY RESTORATION CLEANER, UNION CARBIDE TRITON X-100, OR APPROVED EQUIVALENT. FOLLOW ALL MANUFACTURER'S DIRECTIONS. WATER PRESSURE MUST NOT EXCEED 500 PSI, U.N.O.

ACID CLEANING AND SANDBLASTING ARE NOT PERMITTED.

REMOVAL OF ALL UNUSED BUILDING SIGNAGE COMPONENTS MUST BE NON-DESTRUCTIVE.

SEAL ALONG ALL DISSIMILAR MATERIALS, E.G. BRICK TO WINDOWS, BRICK TO CONCRETE, ETC SEAL TOP OF ALL SLAB JOINTS,

POINT BOTTOM OF SLAB JOINTS, SEAL PERIMETER OF ALL WINDOWS.

ALL MATERIALS INDICATING "TO BE SELECTED" SHALL BE SELECTED BY ARCHITECT/OWNER FROM

ALL EXTERIOR FINISHES AND DETAILS MUST BE APPROVED ON MOCK-UP BY OWNER/ARCHITECT

PRIOR TO ORDERING MATERIALS AND PROCEEDING WITH INSTALLATION ON BUILDING. O1 LEVEL ALL MASONRY SURFACES WITH TO 10'-0" AFF WITH BREATHABLE ANTI-GRAFFITI COATING BY

RICORN INDUSTRIES.> <ANTI-GRAFFITI COATINGS ARE NOT PERMITTED.> PVC TRIM BOARD TO BE GLUED AND FASTENED USING CORTEX HIDDEN FASTENERS PER THE

MANUFACTURERS RECOMMENDATIONS. ALL EXTRA GLUE IS TO BE REMOVED. JOINTS TO BE MITERED OR SCARF JOINTS. STAINLESS STEEL PIN NAILS MAY BE USED ON MOULDINGS.

MATERIAL SCHEDULE - EXTERIOR

(INDICATED THUS: (X-X))

MATERIALS MARKED AS "T-" ARE TO BE CONSIDERED "TYPICAL" AND MAY NOT BE MARKED ON ELEVATIONS IN ALL CASES. THE DESCRIPTIONS BELOW SHALL APPLY TO ALL ITEMS WITH MATCHING OR SIMILAR DESCRIPTIONS ON DRAWINGS AND SPECIFICATIONS.

MATCH EXISTING COLOR #1 M-1E EXISTING BRICK VENEER - COLOR #1 M-2 BRICK VENEER MATCH EXISTING COLOR #2 M-2E EXISTING BRICK VENEER - COLOR #2

M-3 BRICK VENEER COLOR / FACE FINISH / STYLE / MORTAR TO BE SELECTED. M-3E EXISTING BRICK VENEER M-4 BRICK SOLDIER COURSE HEAD COLOR / FACE FINISH / STYLE / MORTAR

TO BE SELECTED TO MATHC EXISTING M-5 BRICK ROWLOCK SILL COLOR / FACE FINISH / STYLE / MORTAR TO BE SELECTED TO MATHC EXISTING M-5E EXISTING WINDOW MASONRY SILL M-6 PRECAST CONCRETE COLUMN BASE CAP COLOR / MORTAR TO BE SELECTED.

M-7E EXISTING STONE MASONRY M-8 STONE MASONRY INFILL; USE SALVAGED STONE FROM EXISTING PORTE COCHERE DEMOLITION M-9 CAST STONE WATER TABLE TO MATCH

M-9E EXISTING CAST STONE WATER TABLE M-10E EXISTING BRICK QUOINS M-11 REINSTALL SALVAGED STONE PLATE R-1 SHINGLE ROOFING

SELECTED. R-1E EXISTING SHINGLE ROOFING R-2 RIDGE VENT

1/4" = 1'-0"

R-3 20'-0" MOTORIZED RETRACTABLE AWNING T-1 DECORATIVE LOUVER, MATCH EXISTING. T-2 VINYL FASCIA BOARD; COLOR TO BE

T-3 5/4 x 12 VINYL FRIEZE BOARD; COLOR TO BE SELECTED

T-3E EXISTING ALUMINUM CLAD FRIEZE BOARD T-4 VINYL TRIM BOARD CUT TO DESIGN, COLOR TO BE SELECTED T-5 VINYL TRIM, COLOR TO BE SELECTED T-6 CONTIUOUS ALUMINUM GUTTER, COLOR

TO BE SELECTED T-6E EXISTING GUTTER T-7 ALUMINUM DOWNSPOUT W/ CAST IRON BOOT CONNECT TO UNDERGROUND STORM SEWER SYSTEM

T-7E EXISTING DOWNSPOUT TO BE REROUTED AS REQ'D.

T-8 WINDOW, REFER TO A6 SERIES FOR

ADDITIONAL INFORMATION T-8E EXISTING WINDOW

T-9 EXTERIOR DOORS AND FRAME, REFER TO A6 SERIES FOR ADDITIONAL INFORMATION T-9E EXISTING DOOR

T-10 COLUMN SURROUNDS: VINYL, COLOR TO BE SELECTED. T-11 VINYL SIDING BASIS OF DESIGN: <HARDIEPLANK> BY

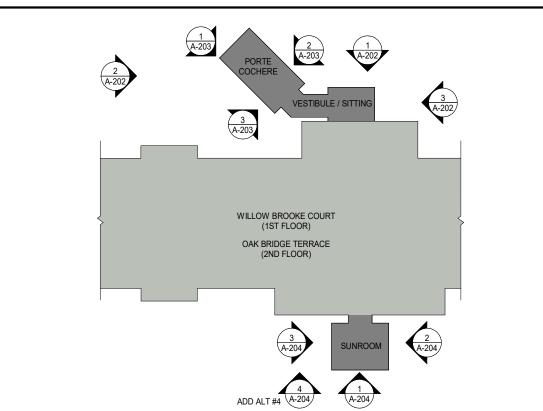
JAMES HARDIE. COLOR / FACE FINISH TO BE SELECTED. T-12E EXISTING HVAC WALL UNIT T-13 EXTERIOR RAILINGS: PAINTED, COLOR TO BE SELECTED. T-13E EXISTING SAFETY RAILING

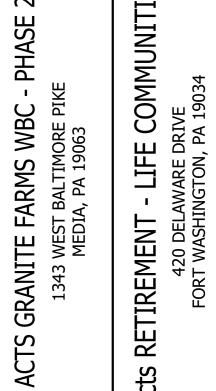
T-14 EXTERIOR LIGHT FIXTURES: COORIDNATE WITH ELECTRICAL T-15 5/4 x 5 (ACTUAL 1" x 4 ½") VMYL TRIM

COORDINATE WITH MECHANICAL. 1

T-16 12X12 FUNCTIONAL LOUVER.

KEY PLAN





 $\boldsymbol{\sigma}$

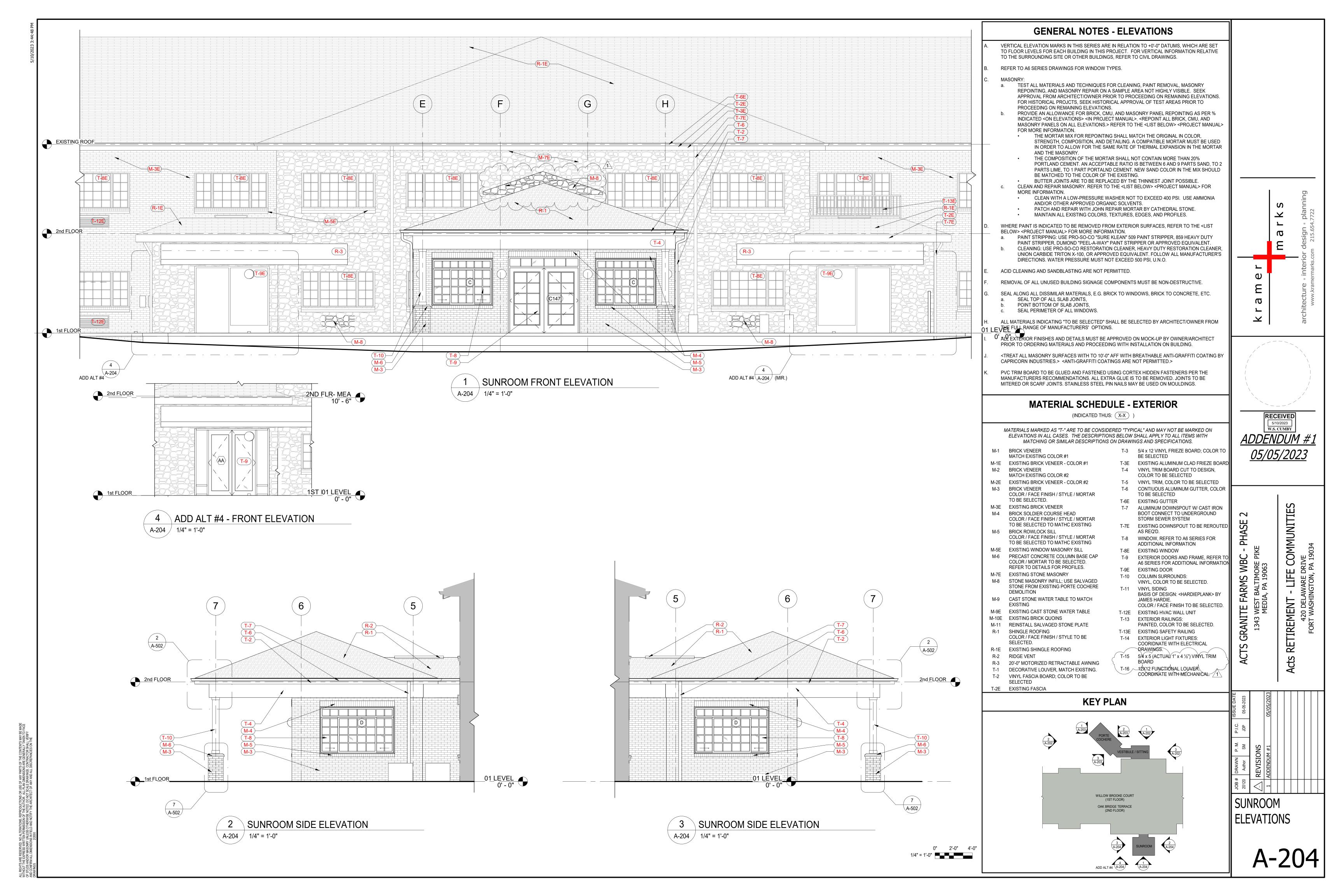
<u>~</u>

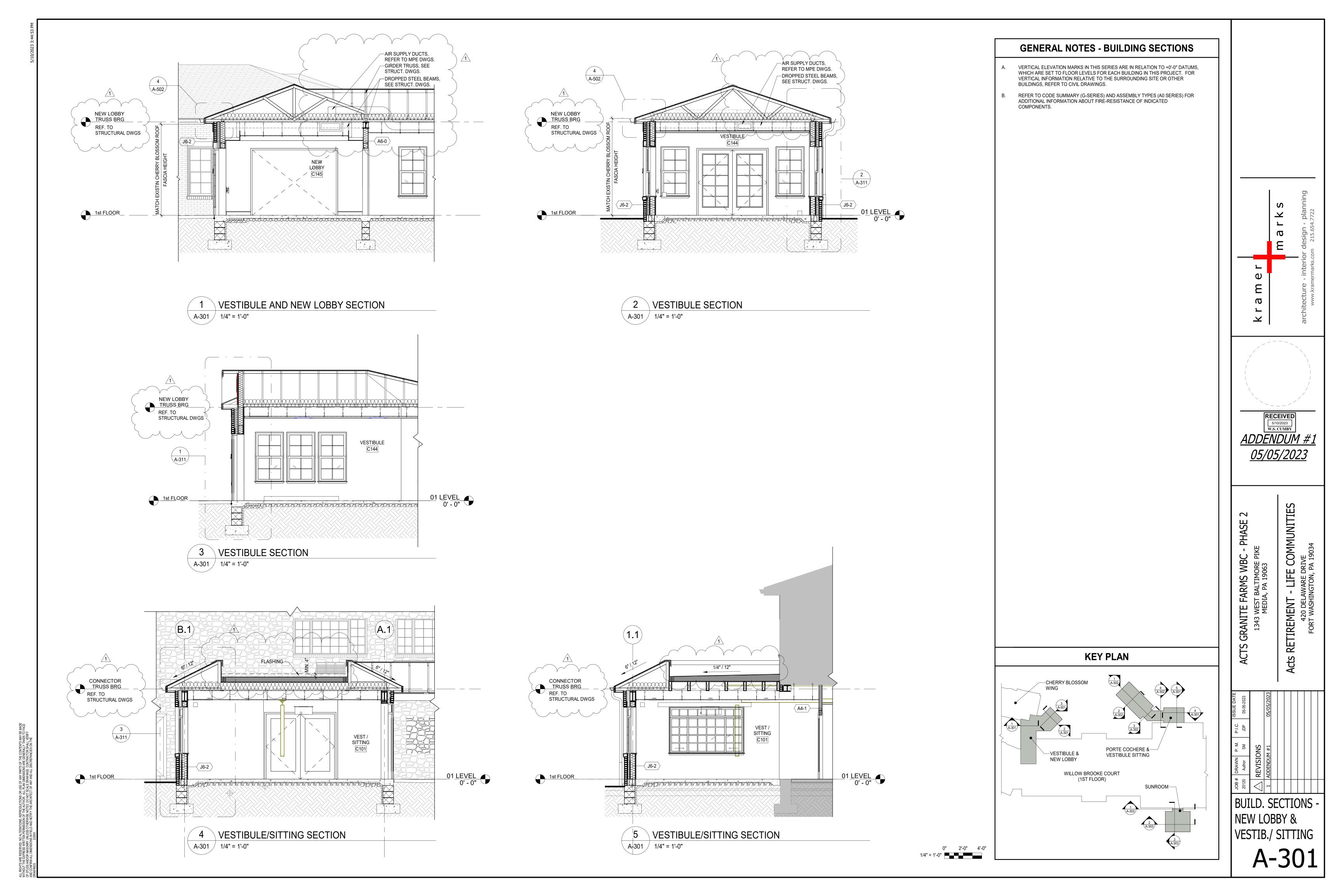
RECEIVED

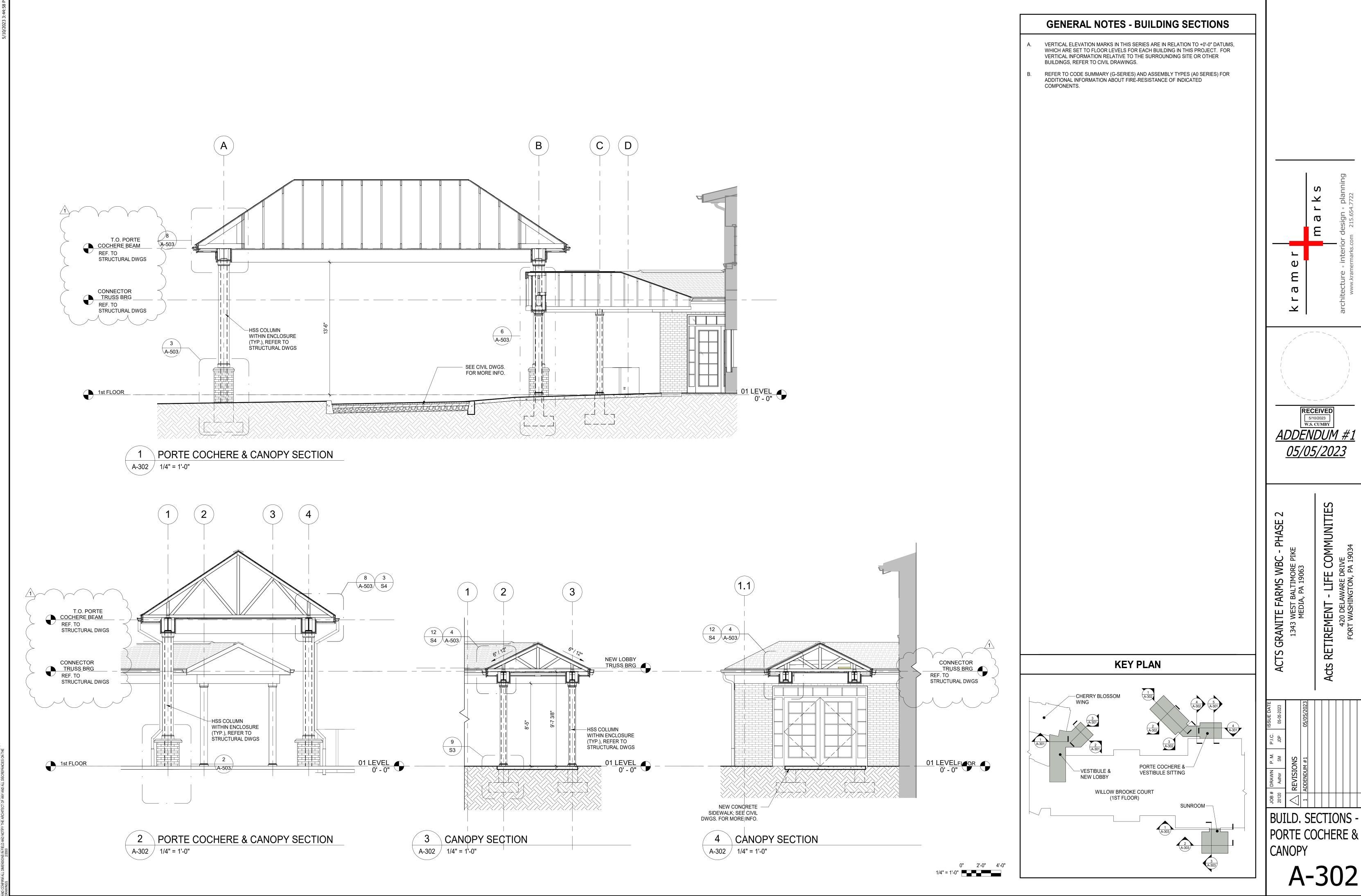
W.S. CUMBY

05/05/2023

PORTE COCHERE ELEVATIONS







SSERVED. NO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE CONTENTS MAY BE MADE RESS WRITTEN PERMISSION OF THE AUTHOR. ALL PLAN DIMENSIONS ARE GENERALLY TAKEN TO FACE MASONRY INILESS OTHERWISE NOTED DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERRY



VERTICAL ELEVATION MARKS IN THIS SERIES ARE IN RELATION TO +0'-0" DATUMS, WHICH ARE SET TO FLOOR LEVELS FOR EACH BUILDING IN THIS PROJECT. FOR VERTICAL INFORMATION RELATIVE TO THE SURROUNDING SITE OR OTHER BUILDINGS, REFER TO CIVIL DRAWINGS.

KEY PLAN

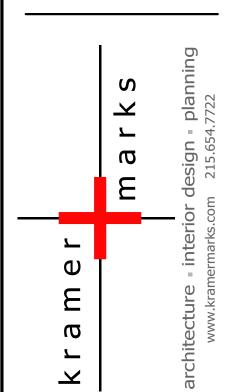
--VESTIBULE & NEW LOBBY

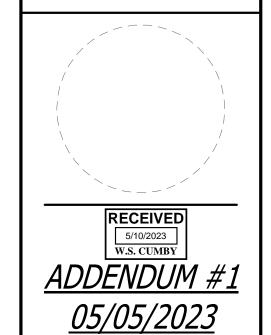
WILLOW BROOKE COURT (1ST FLOOR)

PORTE COCHERE &— VESTIBULE SITTING

SUNROOM-

REFER TO CODE SUMMARY (G-SERIES) AND ASSEMBLY TYPES (A0 SERIES) FOR ADDITIONAL INFORMATION ABOUT FIRÉ-RESISTANCE OF INDICATED COMPONENTS.



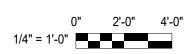


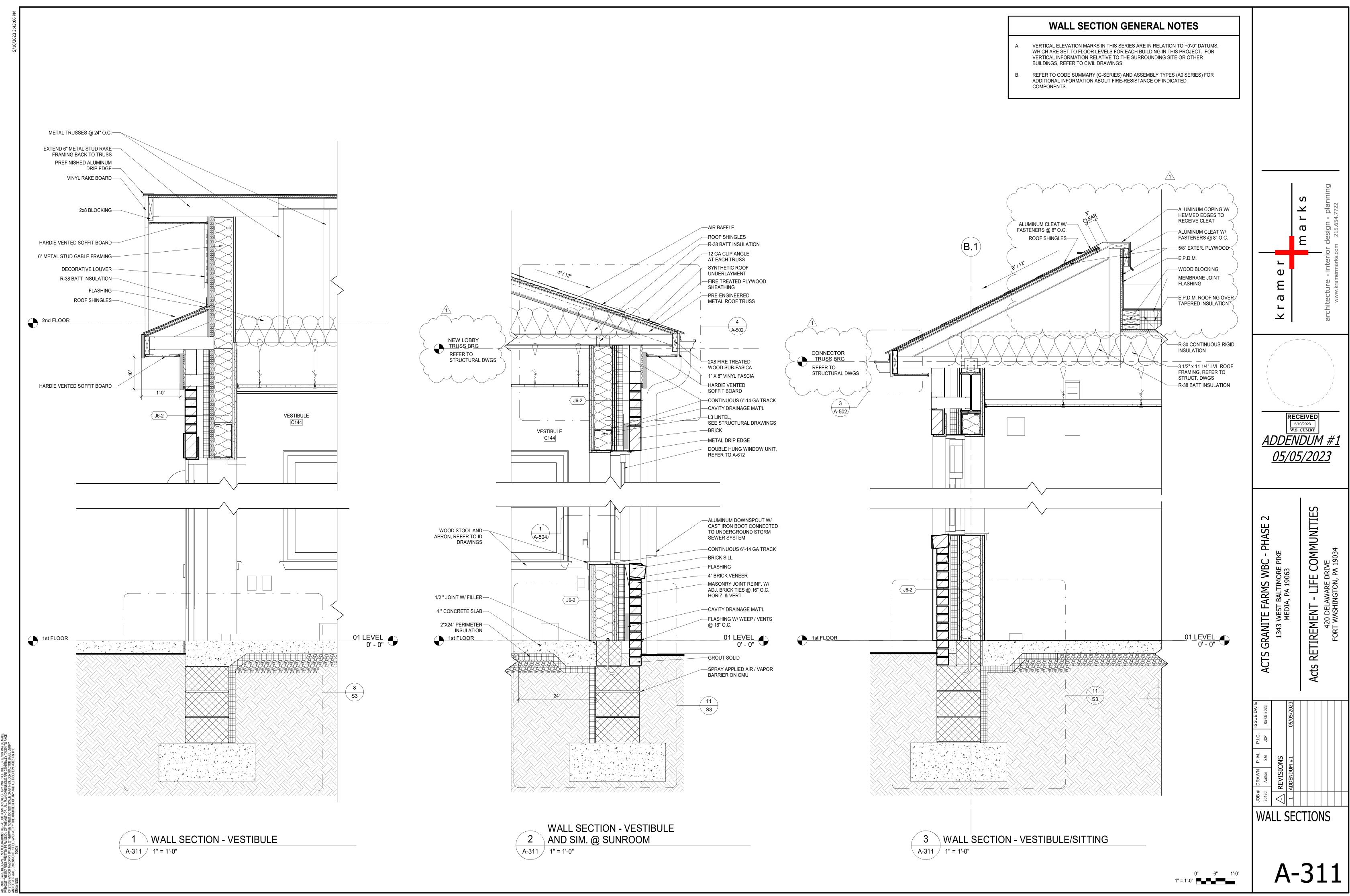
S GRANITE FARMS WBC - P 1343 WEST BALTIMORE PIKE MEDIA, PA 19063

Acts RETIREMENT - LIFE

420 DELAWARE D
FORT WASHINGTON, I

BUILDING SECTIONS -SUNROOM





FLOOR PLAN GENERAL NOTES

- 1. REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- 2. NOTIFY ARCHITECT IF UNCERTAIN AS TO THE STARTING POINT OF A DIMENSION.
 UNLESS INDICATED OTHERWISE: DIMENSIONS FOR EXISTING WALLS ARE TO THE
 FACE OF THE EXISTING FINISH; DIMENSIONS TO NEW WALLS ARE TO THE FACE OF
 MASONRY, FACE OF STUD, OR CENTERLINE OF COLUMN; DIMENSIONS TO EXTERIOR
 OPENINGS ARE TO THE ROUGH OPENING OR TO THE CENTERLINE OF THE SYSTEM.
 (EXCEPTION: DIMENSIONS NOTED "CLR." OR "MIN." ARE TO THE FINISHED SURFACE.)
- 3. FOR INFORMATION ON WALL ASSEMBLIES, INCLUDING DEFAULT TYPES, REFER TO DRAWING SERIES "A0".
- 4. THE OWNER WILL BE RESPONSIBLE FOR REMOVING & RE-HANGING ALL PICTURES AND PAINTINGS
- 5. EXISTING CLEANOUTS TRAPS TO REMAIN. G.C. TO REMOVE AND CLEAN TRAP GRILLS & REINSTALL. G.C. TO MAKE CERTAIN ALL CLEAN OUTS ARE ACCESSIBLE AFTER INSTALLATION OF FLOOR FINISH.
- 6. G.C. TO PATCH & LEVEL FLOOR BEFORE INSTALLING NEW FLOOR FINISHES.
- 7. G.C. TO VERIFY FIRE EXTINGUISHERS ARE LOCATED EVERY 75'-0" MAXIMUM IN CORRIDORS. G.C. TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS IF DISTANCE EXCEEDS 75'-0"
- ALL EXISTING TO REMAIN DOOR FRAMES & DOORS ALONG WORK AREA TO BE SANDED AND PREPARED TO RECEIVE NEW PAINT.
- RESIDENTS ROOM/NAME SIGNS AND DIRECTION SIGNS TO BE PROVIDED BY OWNERS SIGN VENDOR(TYP.). G.C. TO COORDINATE & INSTALL.
- 10. G.C. TO INSTALL WATERPROOF MEMBRANE BEHIND TILE FLOORS & WALLS IN WET LOCATIONS.
- G.C. TO PATCH AND PREP WALLS TO RECEIVE NEW WALL FINISH. NEW WALL COVERING TO END AT INNER CORNERS. NO CUTS AT OUTER CORNER.
- 12. G.C. TO PROPERLY PROTECT ALL EXISTING FINISHES TO REMAIN
- 13. G.C. RESPONSIBLE TO REPAIR SURFACES BELOW & ABOVE THAT ARE DISTURBED IN ORDER TO INSTALL NEW FIXTURES.
- 14. G.C. TO REPLACE ANY DAMAGED OR MISSING EXPANSION CONTROL JOINTS COORDINATE WITH ARCHITECT FOR STYLE AND COLOR
- 15. G.C. TO PAINT EXISTING ELECTRICAL PANELS
- 16. PROVIDE PIPE WRAP AT ALL EXPOSED PIPING.
- 17. G.C. TO REPLACE ALL OUTLETS, SWITCHES, DATA JACKS AND COVER PLATES IN RENOVATED AREAS. COLOR TO BE CONFIRMED WITH ARCHITECT.
- 18. G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.
- COLOR TO BE CONFIRMED BY ARCHITECT.
- 20. COORDINATE NURSE CALL LOCATIONS W/ VENDOR
- 21. G.C. TO INSTALL NONSKID STRIPS AT ALL BATHTUBS & SHOWERS IF NOT PRESENT
- 22. G.C. TO VERIFY HEIGHTS OF ALL ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO INSTALLATION
- 23. THE NOTE ALIGN MEANS FINAL FINISHES OF ADJACENT WALLS ARE TO ALIGN.

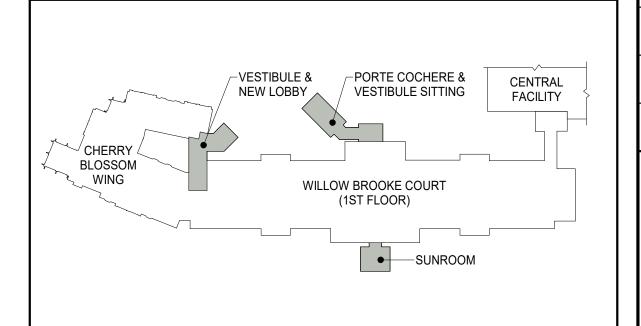
19. G.C. TO CLEAN FIXTURES THAT WILL BE REUSED IN RENOVATED AREAS

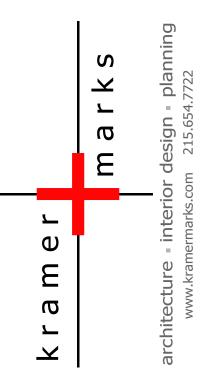
- 24. GC TO CLEAN EXISTING WINDOW FRAMES, WINDOWS, DOORS & DOOR FRAMES THAT ARE EXISTING TO REMAIN.
- 25. G.C. TO PAINT EXISTING FIRE EXTINGUISHER CABINETS, HEATERS, AND ELECTRICAL
- 26. G.C. RESPONSIBLE FOR FURNISH & INSTALLING ACCESS CONTROL DOOR HARDWARE & TYING INTO FACILITIES FIRE ALARM SYSTEM.
- 27. G.C. TO PROVIDE NEW BLINDS IN RESIDENT ROOMS (SEE ID DWGS).
- 28. G.C. TO PROVIDE FIRESTOPPING AT ANY EXISTING PENETRATIONS NOT PROPERLY SEALED.

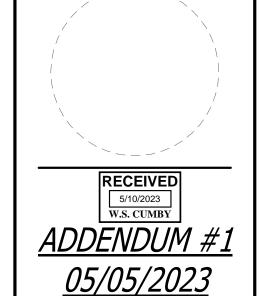
NEW WORK KEYNOTES - FLOOR PLANS

- ALIGN NEW WALL OR PARTITION TO EXISTING WALL.
- 2 PROVIDE CONDUIT IN WALL TO RUN WIRES FROM TV TO CONSOLE BELOW, COORDINATE W/ ELEC DWGS.
- EXISTING DOOR/FRAME TO BE REFINISHED ON BOTH SIDES. INSTALL DOOR PROTECTION ON CORRIDOR SIDE AND PAINT AS PER ID DRAWINGS.
- 4 INSTALL HAT CHANNEL AND DRY WALL OVER EXISTING BRICK.
- INSTALL NEW ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION:
- RELOCATE FIRE ANNUNCIATOR PANEL.
- NEW HANDRAIL MATCH HEIGHT/PROFILE TO EXISTING. GC TO ABUT NEW HANDRAIL AGAINST EXISTING, SAND AND STAIN TO MATCH EXISTING STAIN AND FINISH. PROVIDE BLOCKING FOR NEW BRACKETS/HANDRAIL.

KEY PLAN







1343 WEST BALTIMORE PIKE
MEDIA, PA 19063

S RETIREMENT - LIFE COMMUNITIES
420 DELAWARE DRIVE
FORT WASHINGTON, PA 19034

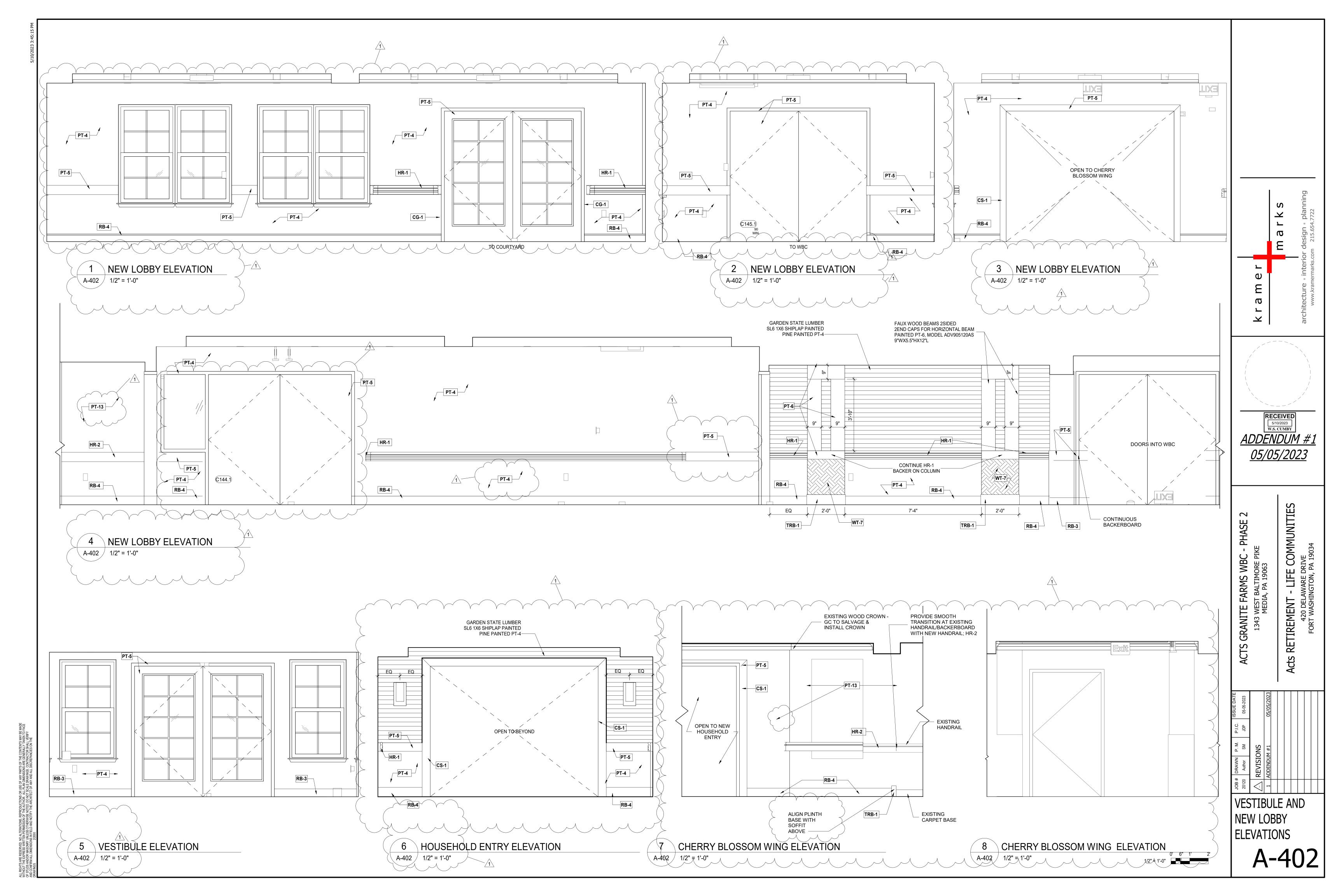
DRAWN P. M. P.I.C. ISSUE DATE
Author SM JDP 05-05-2023

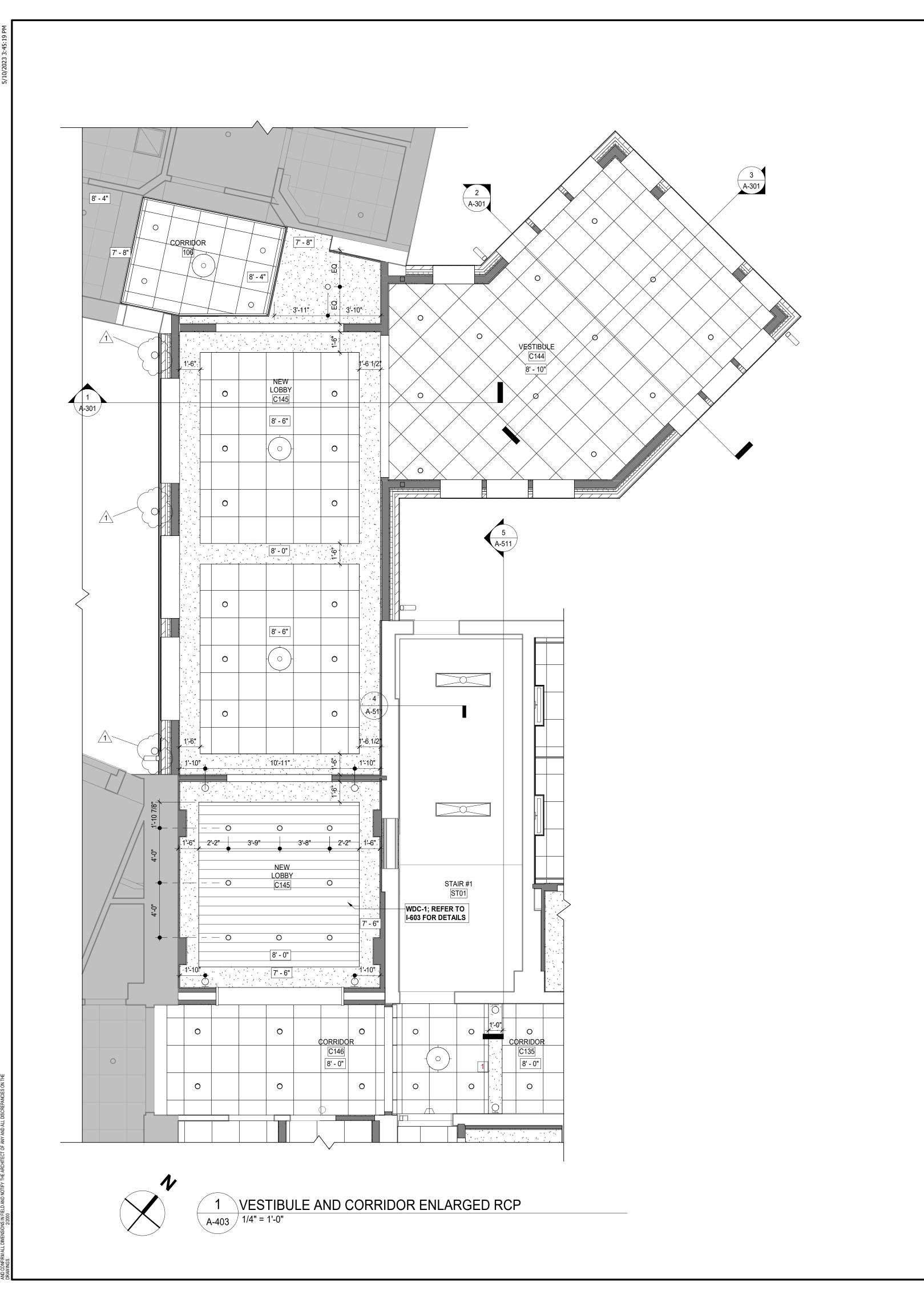
REVISIONS
ADDENDUM #1 05/05/2023

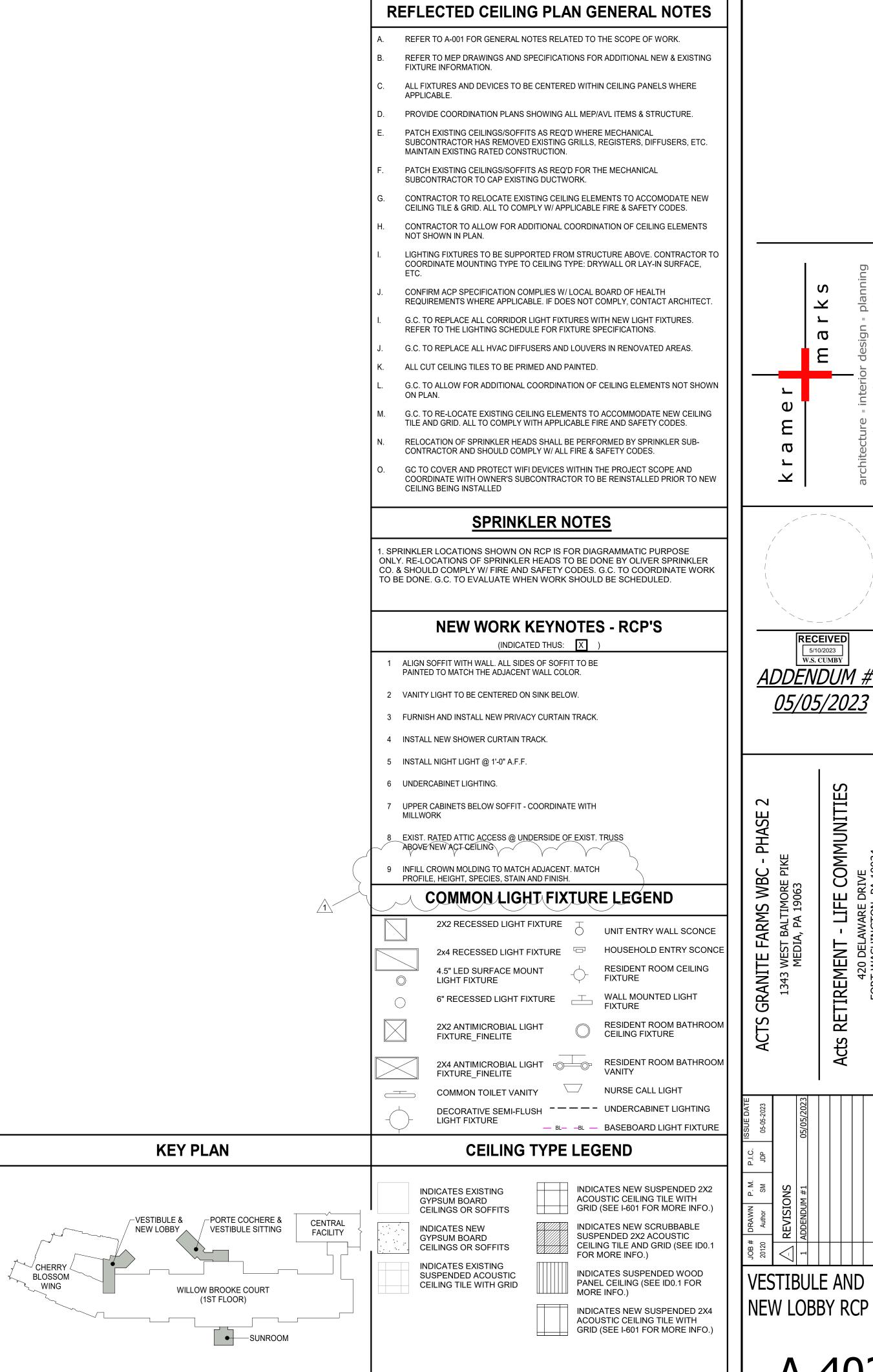
VESTIBULE AND
NEW LOBBY PLAN

A-401

0' 1' 2' 4' 1/4" = 1'-0"





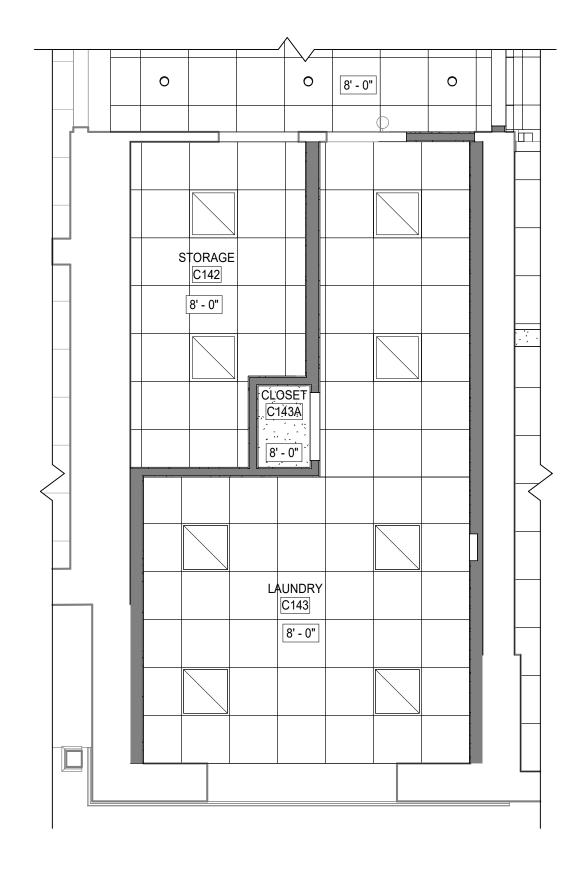


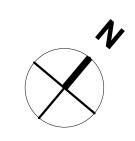
0' 1' 2' 4' 1/4" = 1'-0"

RECEIVED W.S. CUMBY *05/05/2023*

: COMMUNITIES
PA 19034 **ETIREMENT - L**420 DELAWA
FORT WASHINGT

 $\overline{\mathbf{Z}}$

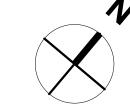




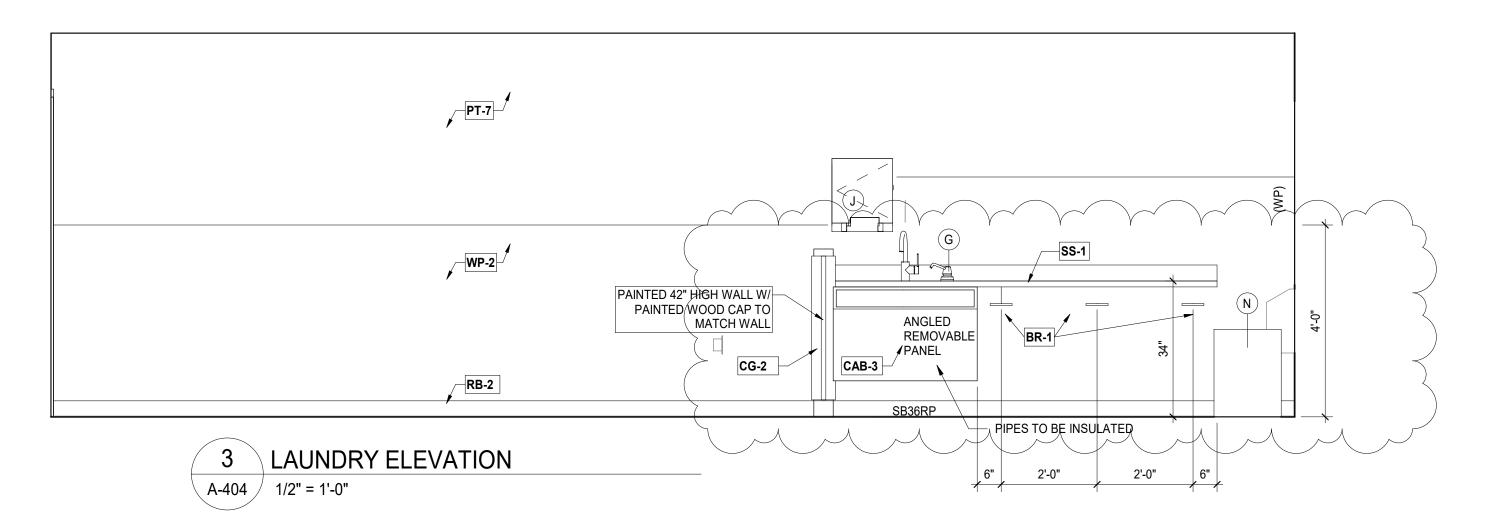


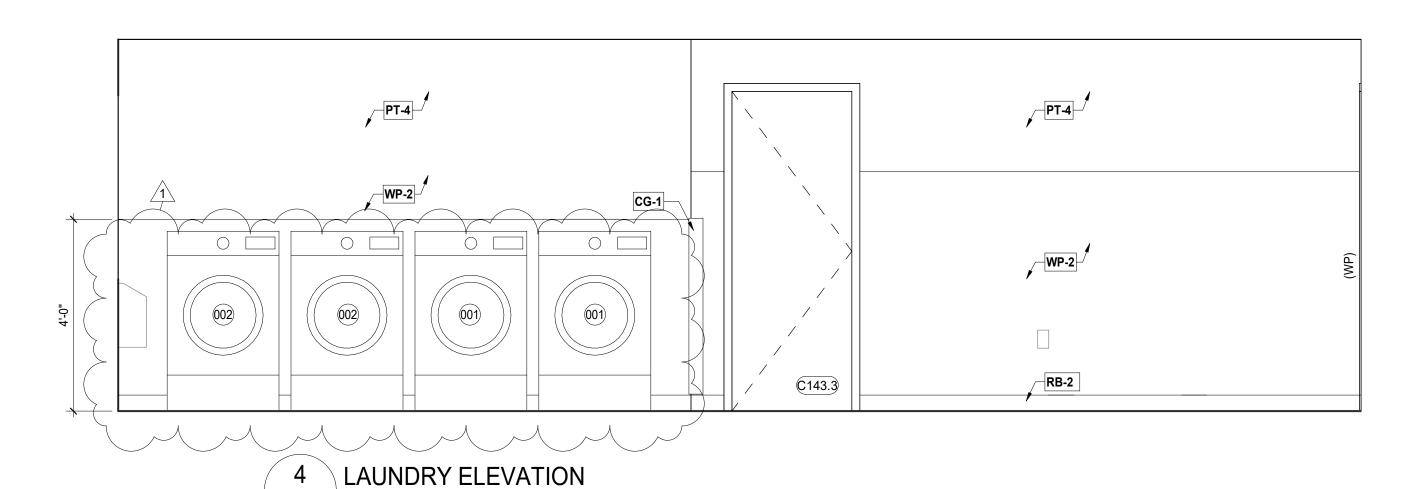
A-404 / 1/2" = 1'-0"

LAUNDRY







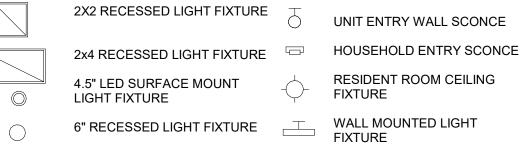


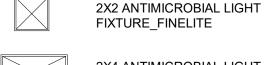
0' 1' 2' 4 1/4" = 1'-0" 1/2" = 1'-0"

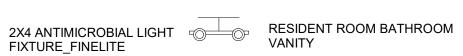
REFLECTED CEILING PLAN GENERAL NOTES

- REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- REFER TO MEP DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL NEW & EXISTING FIXTURE INFORMATION.
- ALL FIXTURES AND DEVICES TO BE CENTERED WITHIN CEILING PANELS WHERE APPLICABLE.
- PROVIDE COORDINATION PLANS SHOWING ALL MEP/AVL ITEMS & STRUCTURE.
- PATCH EXISTING CEILINGS/SOFFITS AS REQ'D WHERE MECHANICAL SUBCONTRACTOR HAS REMOVED EXISTING GRILLS, REGISTERS, DIFFUSERS, ETC. MAINTAIN EXISTING RATED CONSTRUCTION.
- PATCH EXISTING CEILINGS/SOFFITS AS REQ'D FOR THE MECHANICAL SUBCONTRACTOR TO CAP EXISTING DUCTWORK.
- CONTRACTOR TO RELOCATE EXISTING CEILING ELEMENTS TO ACCOMODATE NEW CEILING TILE & GRID. ALL TO COMPLY W/ APPLICABLE FIRE & SAFETY CODES.
- CONTRACTOR TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS NOT SHOWN IN PLAN.
- LIGHTING FIXTURES TO BE SUPPORTED FROM STRUCTURE ABOVE. CONTRACTOR TO COORDINATE MOUNTING TYPE TO CEILING TYPE: DRYWALL OR LAY-IN SURFACE,
- CONFIRM ACP SPECIFICATION COMPLIES W/ LOCAL BOARD OF HEALTH REQUIREMENTS WHERE APPLICABLE. IF DOES NOT COMPLY, CONTACT ARCHITECT.
- G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.
- ALL CUT CEILING TILES TO BE PRIMED AND PAINTED.
- G.C. TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS NOT SHOWN ON PLAN.
- G.C. TO RE-LOCATE EXISTING CEILING ELEMENTS TO ACCOMMODATE NEW CEILING TILE AND GRID. ALL TO COMPLY WITH APPLICABLE FIRE AND SAFETY CODES.
- RELOCATION OF SPRINKLER HEADS SHALL BE PERFORMED BY SPRINKLER SUB-CONTRACTOR AND SHOULD COMPLY W/ ALL FIRE & SAFETY CODES.

COMMON LIGHT FIXTURE LEGEND

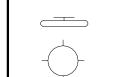






RESIDENT ROOM BATHROOM

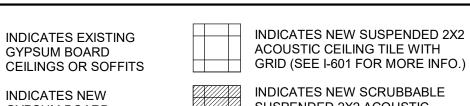
CEILING FIXTURE

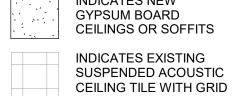


COMMON TOILET VANITY ---- UNDERCABINET LIGHTING BL— BL— BASEBOARD LIGHT FIXTURE

CEILING TYPE LEGEND

LIGHT FIXTURE





INDICATES NEW CEILINGS OR SOFFITS INDICATES EXISTING SUSPENDED ACOUSTIC

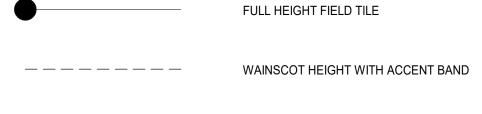
GYPSUM BOARD

SUSPENDED 2X2 ACOUSTIC CEILING TILE AND GRID (SEE ID0.1 FOR MORE INFO.) INDICATES SUSPENDED WOOD PANEL CEILING (SEE ID0.1 FOR MORE INFO.)

NEW WORK KEYNOTES - RCP'S (INDICATED THUS: X

- 1 ALIGN SOFFIT WITH WALL. ALL SIDES OF SOFFIT TO BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
- 2 VANITY LIGHT TO BE CENTERED ON SINK BELOW.
- 3 FURNISH AND INSTALL NEW PRIVACY CURTAIN TRACK.
- 4 INSTALL NEW SHOWER CURTAIN TRACK.
- 5 INSTALL NIGHT LIGHT @ 1'-0" A.F.F.
- 6 UNDERCABINET LIGHTING.
- 7 UPPER CABINETS BELOW SOFFIT COORDINATE WITH
- 8 EXIST. RATED ATTIC ACCESS @ UNDERSIDE OF EXIST. TRUSS ABOVE NEW ACT CEILING
- 9 INFILL CROWN MOLDING TO MATCH ADJACENT. MATCH PROFILE, HEIGHT, SPECIES, STAIN AND FINISH.

TILE DESIGNATION



FULL HEIGHT WITH ACCENT BAND

FLOOR PLAN GENERAL NOTES

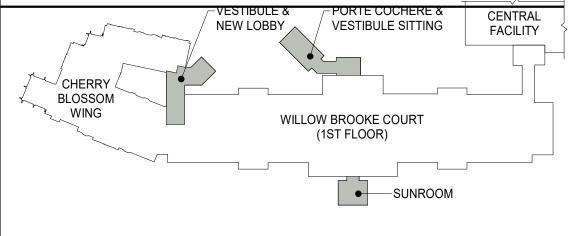
- REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- NOTIFY ARCHITECT IF UNCERTAIN AS TO THE STARTING POINT OF A DIMENSION. UNLESS INDICATED OTHERWISE: DIMENSIONS FOR EXISTING WALLS ARE TO THE FACE OF THE EXISTING FINISH; DIMENSIONS TO NEW WALLS ARE TO THE FACE OF MASONRY, FACE OF STUD, OR CENTERLINE OF COLUMN; DIMENSIONS TO EXTERIOR OPENINGS ARE TO THE ROUGH OPENING OR TO THE CENTERLINE OF THE SYSTEM. (EXCEPTION: DIMENSIONS NOTED "CLR." OR "MIN." ARE TO THE FINISHED SURFACE.)
- FOR INFORMATION ON WALL ASSEMBLIES, INCLUDING DEFAULT TYPES, REFER TO DRAWING SERIES "A0".
- THE OWNER WILL BE RESPONSIBLE FOR REMOVING & RE-HANGING ALL PICTURES
- EXISTING CLEANOUTS TRAPS TO REMAIN. G.C. TO REMOVE AND CLEAN TRAP GRILLS & REINSTALL. G.C. TO MAKE CERTAIN ALL CLEAN OUTS ARE ACCESSIBLE AFTER INSTALLATION OF FLOOR FINISH.
- G.C. TO PATCH & LEVEL FLOOR BEFORE INSTALLING NEW FLOOR FINISHES.
- G.C. TO VERIFY FIRE EXTINGUISHERS ARE LOCATED EVERY 75'-0" MAXIMUM IN CORRIDORS. G.C. TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS IF DISTANCE EXCEEDS 75'-0"
- ALL EXISTING TO REMAIN DOOR FRAMES & DOORS ALONG WORK AREA TO BE PREPARED TO RECEIVE NEW PAINT.
- RESIDENTS ROOM/NAME SIGNS AND DIRECTION SIGNS TO BE PROVIDED BY OWNERS SIGN VENDOR(TYP.). G.C. TO COORDINATE & INSTALL.
- G.C. TO INSTALL WATERPROOF MEMBRANE BEHIND TILE FLOORS & WALLS IN WET
- G.C. TO PATCH AND PREP WALLS TO RECEIVE NEW WALL FINISH. NEW WALL COVERING TO END AT INNER CORNERS. NO CUTS AT OUTER CORNER.
- 12. G.C. TO PROPERLY PROTECT ALL EXISTING FINISHES TO REMAIN
- 13. G.C. RESPONSIBLE TO REPAIR SURFACES BELOW & ABOVE THAT ARE DISTURBED IN ORDER TO INSTALL NEW FIXTURES.
- G.C. TO REPLACE ANY DAMAGED OR MISSING EXPANSION CONTROL JOINTS COORDINATE WITH ARCHITECT FOR STYLE AND COLOR
- 15. G.C. TO PAINT EXISTING ELECTRICAL PANELS
- PROVIDE PIPE WRAP AT ALL EXPOSED PIPING.
- G.C. TO REPLACE ALL OUTLETS, SWITCHES, DATA JACKS AND COVER PLATES IN RENOVATED AREAS. COLOR TO BE CONFIRMED WITH ARCHITECT.
- G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS. COLOR TO BE CONFIRMED BY ARCHITECT.
- 19. G.C. TO CLEAN FIXTURES THAT WILL BE REUSED IN RENOVATED AREAS
- 20. COORDINATE NURSE CALL LOCATIONS W/ VENDOR
- 21. G.C. TO INSTALL NONSKID STRIPS AT ALL BATHTUBS & SHOWERS IF NOT PRESENT
- 22. G.C. TO VERIFY HEIGHTS OF ALL ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO
- 23. THE NOTE ALIGN MEANS FINAL FINISHES OF ADJACENT WALLS ARE TO ALIGN.
- 24. GC TO CLEAN EXISTING WINDOW FRAMES, WINDOWS, DOORS & DOOR FRAMES THAT ARE EXISTING TO REMAIN.
- 25. G.C. TO PAINT EXISTING FIRE EXTINGUISHER CABINETS, HEATERS, AND ELECTRICAL
- G.C. RESPONSIBLE FOR FURNISH & INSTALLING ACCESS CONTROL DOOR HARDWARE & TYING INTO FACILITIES FIRE ALARM SYSTEM.
- 27. G.C. TO PROVIDE NEW BLINDS IN RESIDENT ROOMS (SEE ID DWGS).
- 28. G.C. TO PROVIDE FIRESTOPPING AT ANY EXISTING PENETRATIONS NOT PROPERLY

NEW WORK KEYNOTES - FLOOR PLANS

(INDICATED THUS: X)

- ALIGN NEW WALL OR PARTITION TO EXISTING WALL.
- PROVIDE CONDUIT IN WALL TO RUN WIRES FROM TV TO CONSOLE BELOW, COORDINATE W/ ELEC
- EXISTING DOOR/FRAME TO BE REFINISHED ON BOTH SIDES. INSTALL DOOR PROTECTION ON CORRIDOR SIDE AND PAINT AS PER ID DRAWINGS.
- 4 INSTALL HAT CHANNEL AND DRY WALL OVER EXISTING BRICK.
- INSTALL NEW ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- RELOCATE FIRE ANNUNCIATOR PANEL.
- NEW HANDRAIL MATCH HEIGHT/PROFILE TO EXISTING. GC TO ABUT NEW HANDRAIL AGAINST EXISTING, SAND AND STAIN TO MATCH EXISTING STAIN AND FINISH. PROVIDE BLOCKING FOR NEW BRACKETS/HANDRAIL

KEY PLAN



LAUNDRY

WBC

FARMS

GRANITE

 $\boldsymbol{\omega}$

RECEIVED

W.S. CUMBY

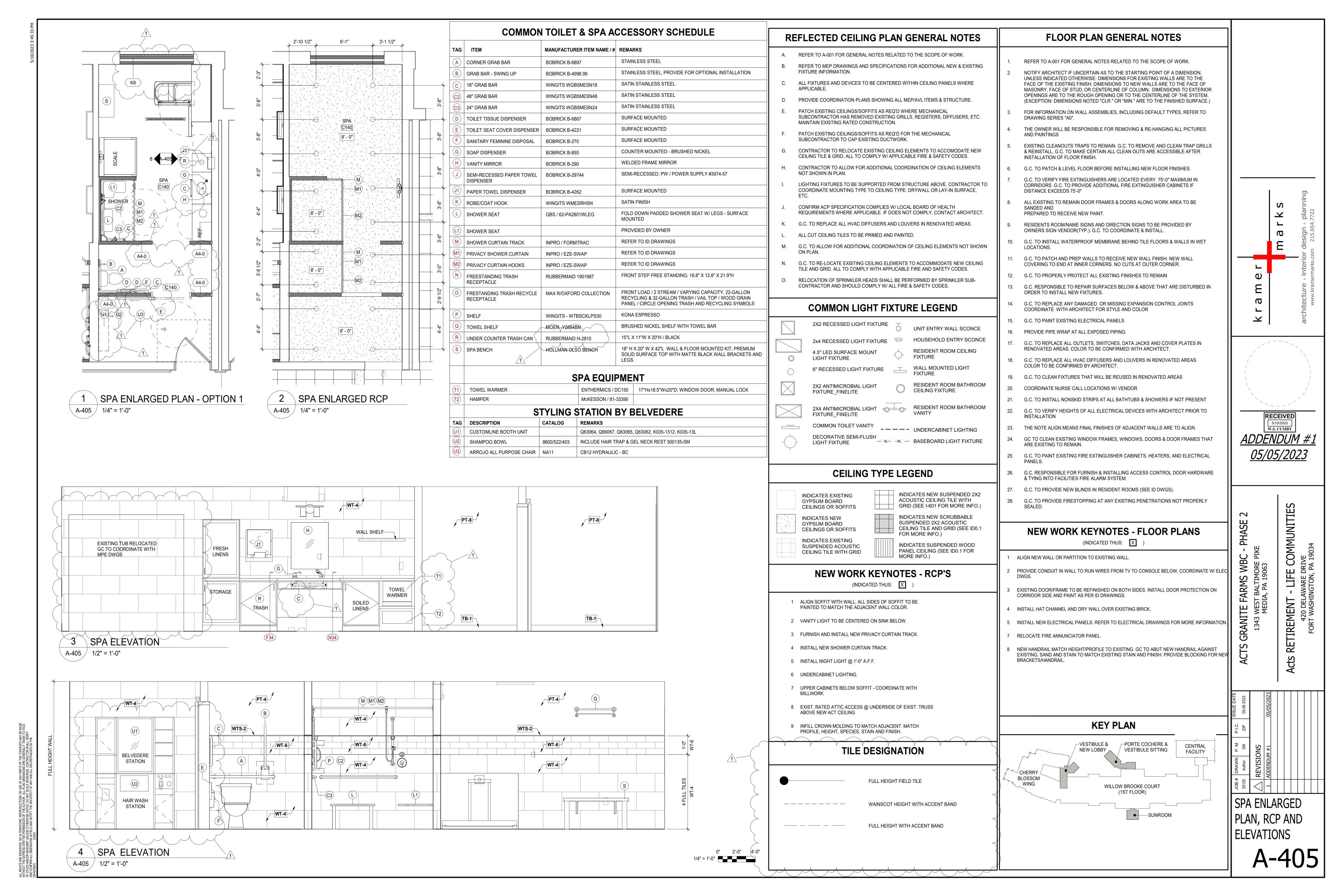
05/05/2023

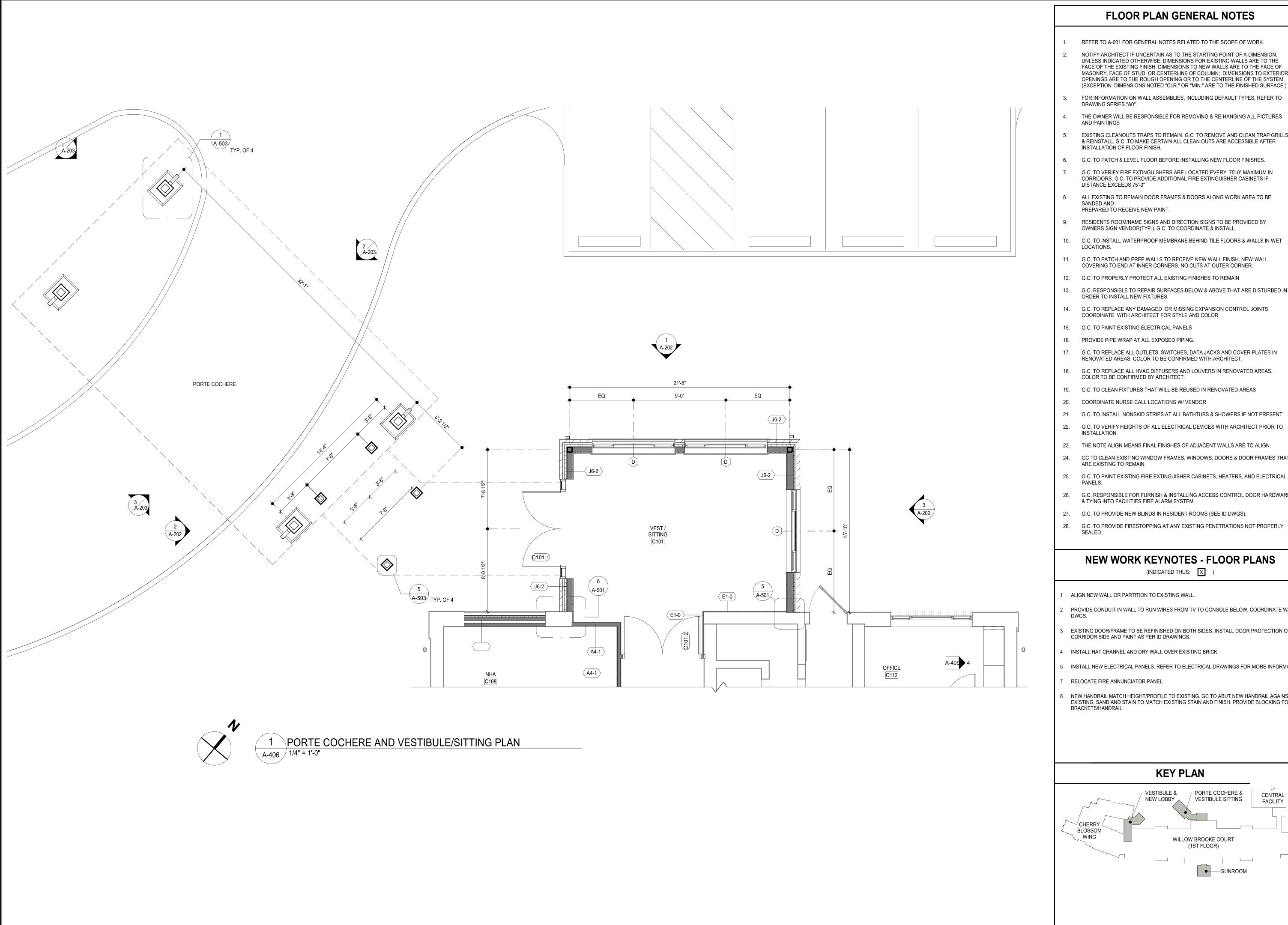
COMMUNITI

ETIREMENT

 $\overline{\mathbf{Z}}$

ENLARGED PLAN, RCP, ELEVATIONS





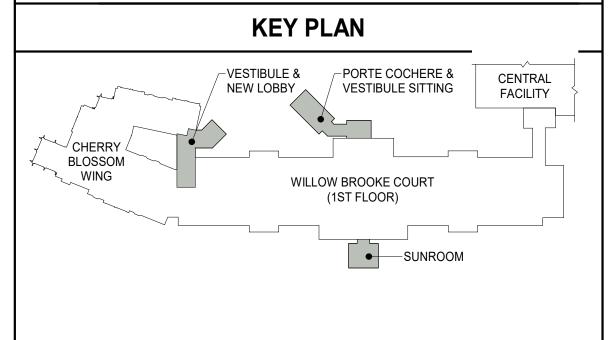
FLOOR PLAN GENERAL NOTES

- NOTIFY ARCHITECT IF UNCERTAIN AS TO THE STARTING POINT OF A DIMENSION. UNLESS INDICATED OTHERWISE: DIMENSIONS FOR EXISTING WALLS ARE TO THE FACE OF THE EXISTING FINISH; DIMENSIONS TO NEW WALLS ARE TO THE FACE OF MASONRY, FACE OF STUD, OR CENTERLINE OF COLUMN; DIMENSIONS TO EXTERIOR OPENINGS ARE TO THE ROUGH OPENING OR TO THE CENTERLINE OF THE SYSTEM.
- FOR INFORMATION ON WALL ASSEMBLIES, INCLUDING DEFAULT TYPES, REFER TO
- THE OWNER WILL BE RESPONSIBLE FOR REMOVING & RE-HANGING ALL PICTURES
- EXISTING CLEANOUTS TRAPS TO REMAIN. G.C. TO REMOVE AND CLEAN TRAP GRILLS & REINSTALL. G.C. TO MAKE CERTAIN ALL CLEAN OUTS ARE ACCESSIBLE AFTER
- G.C. TO PATCH & LEVEL FLOOR BEFORE INSTALLING NEW FLOOR FINISHES.
- G.C. TO VERIFY FIRE EXTINGUISHERS ARE LOCATED EVERY 75'-0" MAXIMUM IN CORRIDORS. G.C. TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS IF
- 8. ALL EXISTING TO REMAIN DOOR FRAMES & DOORS ALONG WORK AREA TO BE
- RESIDENTS ROOM/NAME SIGNS AND DIRECTION SIGNS TO BE PROVIDED BY
- 10. G.C. TO INSTALL WATERPROOF MEMBRANE BEHIND TILE FLOORS & WALLS IN WET
- G.C. TO PATCH AND PREP WALLS TO RECEIVE NEW WALL FINISH. NEW WALL COVERING TO END AT INNER CORNERS. NO CUTS AT OUTER CORNER.
- 13. G.C. RESPONSIBLE TO REPAIR SURFACES BELOW & ABOVE THAT ARE DISTURBED IN
- 14. G.C. TO REPLACE ANY DAMAGED OR MISSING EXPANSION CONTROL JOINTS COORDINATE WITH ARCHITECT FOR STYLE AND COLOR
- 17. G.C. TO REPLACE ALL OUTLETS, SWITCHES, DATA JACKS AND COVER PLATES IN RENOVATED AREAS. COLOR TO BE CONFIRMED WITH ARCHITECT.
- 18. G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.

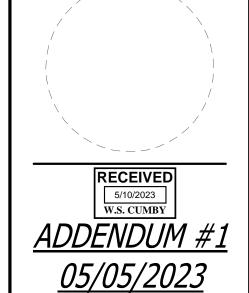
- 21. G.C. TO INSTALL NONSKID STRIPS AT ALL BATHTUBS & SHOWERS IF NOT PRESENT
- 22. G.C. TO VERIFY HEIGHTS OF ALL ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO
- 23. THE NOTE ALIGN MEANS FINAL FINISHES OF ADJACENT WALLS ARE TO ALIGN.
- 24. GC TO CLEAN EXISTING WINDOW FRAMES, WINDOWS, DOORS & DOOR FRAMES THAT
- 25. G.C. TO PAINT EXISTING FIRE EXTINGUISHER CABINETS, HEATERS, AND ELECTRICAL
- G.C. RESPONSIBLE FOR FURNISH & INSTALLING ACCESS CONTROL DOOR HARDWARE
- 27. G.C. TO PROVIDE NEW BLINDS IN RESIDENT ROOMS (SEE ID DWGS).
- 28. G.C. TO PROVIDE FIRESTOPPING AT ANY EXISTING PENETRATIONS NOT PROPERLY

NEW WORK KEYNOTES - FLOOR PLANS

- PROVIDE CONDUIT IN WALL TO RUN WIRES FROM TV TO CONSOLE BELOW, COORDINATE W/ ELEC
- EXISTING DOOR/FRAME TO BE REFINISHED ON BOTH SIDES. INSTALL DOOR PROTECTION ON
- 4 INSTALL HAT CHANNEL AND DRY WALL OVER EXISTING BRICK.
- 5 INSTALL NEW ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- NEW HANDRAIL MATCH HEIGHT/PROFILE TO EXISTING. GC TO ABUT NEW HANDRAIL AGAINST EXISTING, SAND AND STAIN TO MATCH EXISTING STAIN AND FINISH. PROVIDE BLOCKING FOR NEW

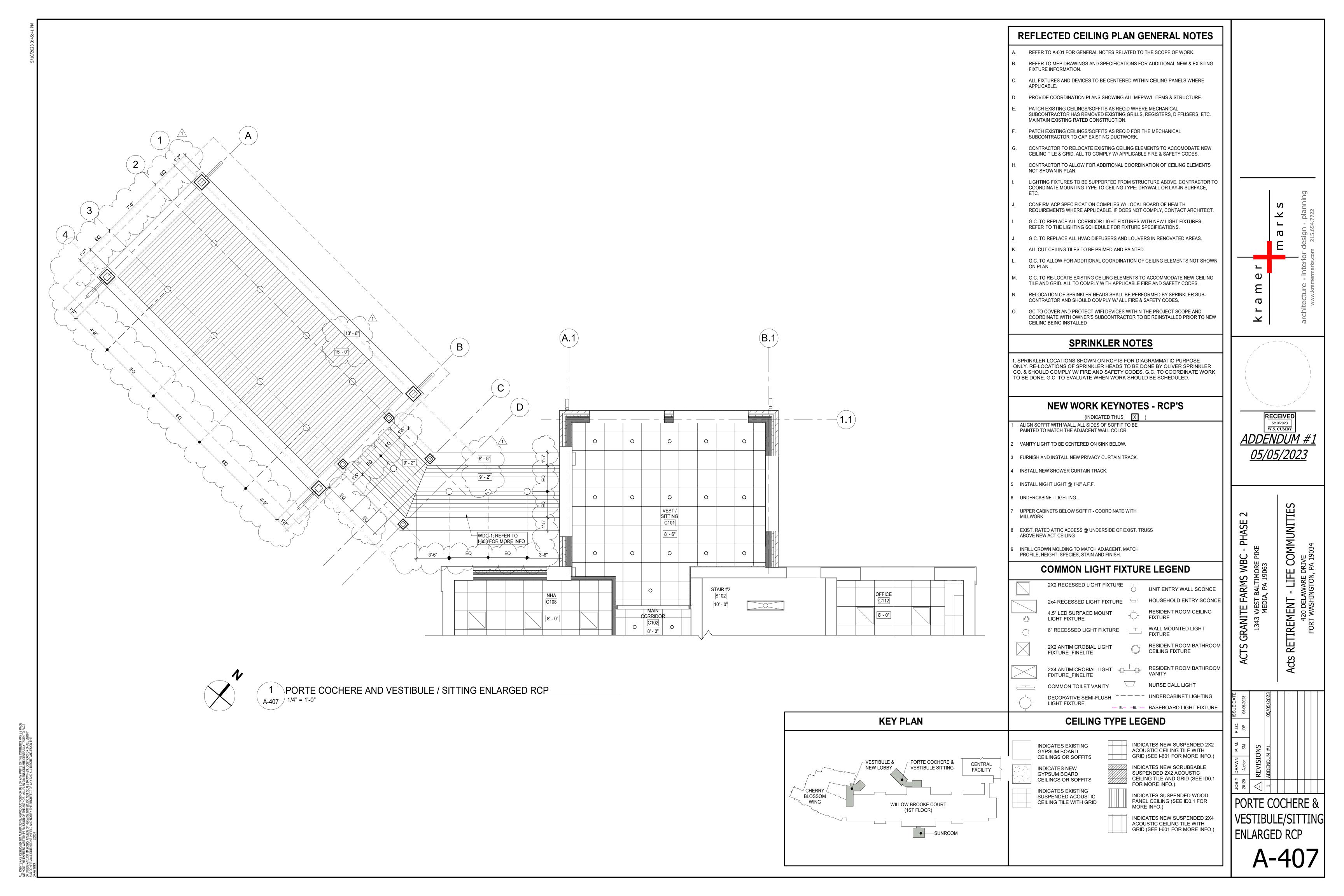


 $\boldsymbol{\omega}$



E COMMUNITIES
PA 19034 S RETIREMENT - LIFE 420 DELAWARE D FORT WASHINGTON,

PORTE COCHERE & VESTIBULE/SITTING ENLARGED PLAN



FLOOR PLAN GENERAL NOTES

- 1. REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- 2. NOTIFY ARCHITECT IF UNCERTAIN AS TO THE STARTING POINT OF A DIMENSION. UNLESS INDICATED OTHERWISE: DIMENSIONS FOR EXISTING WALLS ARE TO THE FACE OF THE EXISTING FINISH; DIMENSIONS TO NEW WALLS ARE TO THE FACE OF MASONRY, FACE OF STUD, OR CENTERLINE OF COLUMN; DIMENSIONS TO EXTERIOR OPENINGS ARE TO THE ROUGH OPENING OR TO THE CENTERLINE OF THE SYSTEM. (EXCEPTION: DIMENSIONS NOTED "CLR." OR "MIN." ARE TO THE FINISHED SURFACE.)
- 3. FOR INFORMATION ON WALL ASSEMBLIES, INCLUDING DEFAULT TYPES, REFER TO DRAWING SERIES "A0".
- 4. THE OWNER WILL BE RESPONSIBLE FOR REMOVING & RE-HANGING ALL PICTURES AND PAINTINGS
- 5. EXISTING CLEANOUTS TRAPS TO REMAIN. G.C. TO REMOVE AND CLEAN TRAP GRILLS & REINSTALL. G.C. TO MAKE CERTAIN ALL CLEAN OUTS ARE ACCESSIBLE AFTER INSTALLATION OF FLOOR FINISH.
- 6. G.C. TO PATCH & LEVEL FLOOR BEFORE INSTALLING NEW FLOOR FINISHES.
- G.C. TO VERIFY FIRE EXTINGUISHERS ARE LOCATED EVERY 75'-0" MAXIMUM IN CORRIDORS. G.C. TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS IF DISTANCE EXCEEDS 75'-0"
- 8. ALL EXISTING TO REMAIN DOOR FRAMES & DOORS ALONG WORK AREA TO BE SANDED AND PREPARED TO RECEIVE NEW PAINT.
- 9. RESIDENTS ROOM/NAME SIGNS AND DIRECTION SIGNS TO BE PROVIDED BY OWNERS SIGN VENDOR(TYP.). G.C. TO COORDINATE & INSTALL.
- 10. G.C. TO INSTALL WATERPROOF MEMBRANE BEHIND TILE FLOORS & WALLS IN WET LOCATIONS.
- 11. G.C. TO PATCH AND PREP WALLS TO RECEIVE NEW WALL FINISH. NEW WALL COVERING TO END AT INNER CORNERS. NO CUTS AT OUTER CORNER.
- 12. G.C. TO PROPERLY PROTECT ALL EXISTING FINISHES TO REMAIN
- 13. G.C. RESPONSIBLE TO REPAIR SURFACES BELOW & ABOVE THAT ARE DISTURBED IN ORDER TO INSTALL NEW FIXTURES.
- 14. G.C. TO REPLACE ANY DAMAGED OR MISSING EXPANSION CONTROL JOINTS COORDINATE WITH ARCHITECT FOR STYLE AND COLOR
- 15. G.C. TO PAINT EXISTING ELECTRICAL PANELS
- 16. PROVIDE PIPE WRAP AT ALL EXPOSED PIPING.
- 17. G.C. TO REPLACE ALL OUTLETS, SWITCHES, DATA JACKS AND COVER PLATES IN RENOVATED AREAS. COLOR TO BE CONFIRMED WITH ARCHITECT.

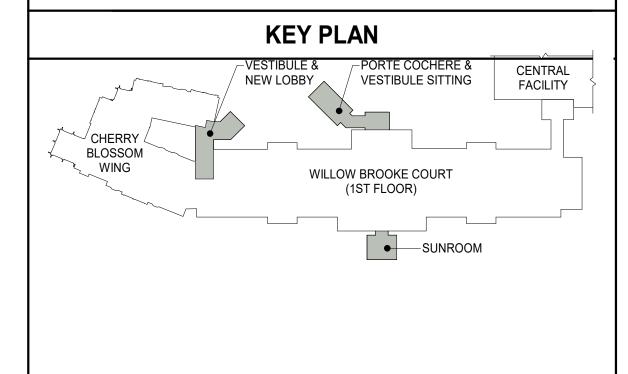
19. G.C. TO CLEAN FIXTURES THAT WILL BE REUSED IN RENOVATED AREAS

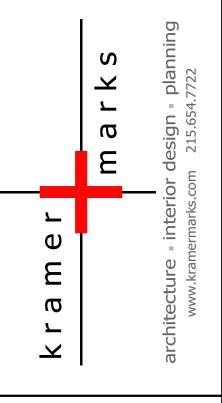
- 18. G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.
- COLOR TO BE CONFIRMED BY ARCHITECT.
- OCCUPINATE NUIDOE CALL LOCATIONO W///ENDOD
- 20. COORDINATE NURSE CALL LOCATIONS W/ VENDOR
- 21. G.C. TO INSTALL NONSKID STRIPS AT ALL BATHTUBS & SHOWERS IF NOT PRESENT
- 22. G.C. TO VERIFY HEIGHTS OF ALL ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO INSTALLATION
- 23. THE NOTE ALIGN MEANS FINAL FINISHES OF ADJACENT WALLS ARE TO ALIGN.
- 24. GC TO CLEAN EXISTING WINDOW FRAMES, WINDOWS, DOORS & DOOR FRAMES THAT ARE EXISTING TO REMAIN.
- 25. G.C. TO PAINT EXISTING FIRE EXTINGUISHER CABINETS, HEATERS, AND ELECTRICAL PANELS.
- 26. G.C. RESPONSIBLE FOR FURNISH & INSTALLING ACCESS CONTROL DOOR HARDWARE & TYING INTO FACILITIES FIRE ALARM SYSTEM.
- 27. G.C. TO PROVIDE NEW BLINDS IN RESIDENT ROOMS (SEE ID DWGS).
- 28. G.C. TO PROVIDE FIRESTOPPING AT ANY EXISTING PENETRATIONS NOT PROPERLY

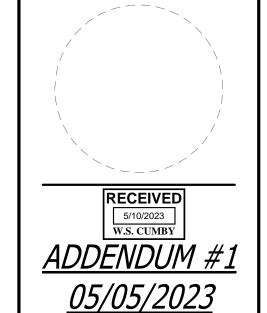
NEW WORK KEYNOTES - FLOOR PLANS

(INDICATED THUS: X)

- 1 ALIGN NEW WALL OR PARTITION TO EXISTING WALL.
- PROVIDE CONDUIT IN WALL TO RUN WIRES FROM TV TO CONSOLE BELOW, COORDINATE W/ ELEC.
- 3 EXISTING DOOR/FRAME TO BE REFINISHED ON BOTH SIDES. INSTALL DOOR PROTECTION ON CORRIDOR SIDE AND PAINT AS PER ID DRAWINGS.
- 4 INSTALL HAT CHANNEL AND DRY WALL OVER EXISTING BRICK.
- 5 INSTALL NEW ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 7 RELOCATE FIRE ANNUNCIATOR PANEL.
- 8 NEW HANDRAIL MATCH HEIGHT/PROFILE TO EXISTING. GC TO ABUT NEW HANDRAIL AGAINST EXISTING, SAND AND STAIN TO MATCH EXISTING STAIN AND FINISH. PROVIDE BLOCKING FOR NEW BRACKETS/HANDRAIL.







GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063

TIREMENT - LIFE COMMUNITIES
420 DELAWARE DRIVE

Acts RETIREMENT - LIFE

420 DELAWARE D
FORT WASHINGTON,

JOB # DRAWN P. M. P.I.C. ISSUE DATE
20120 Author SM JDP 05-05-2023

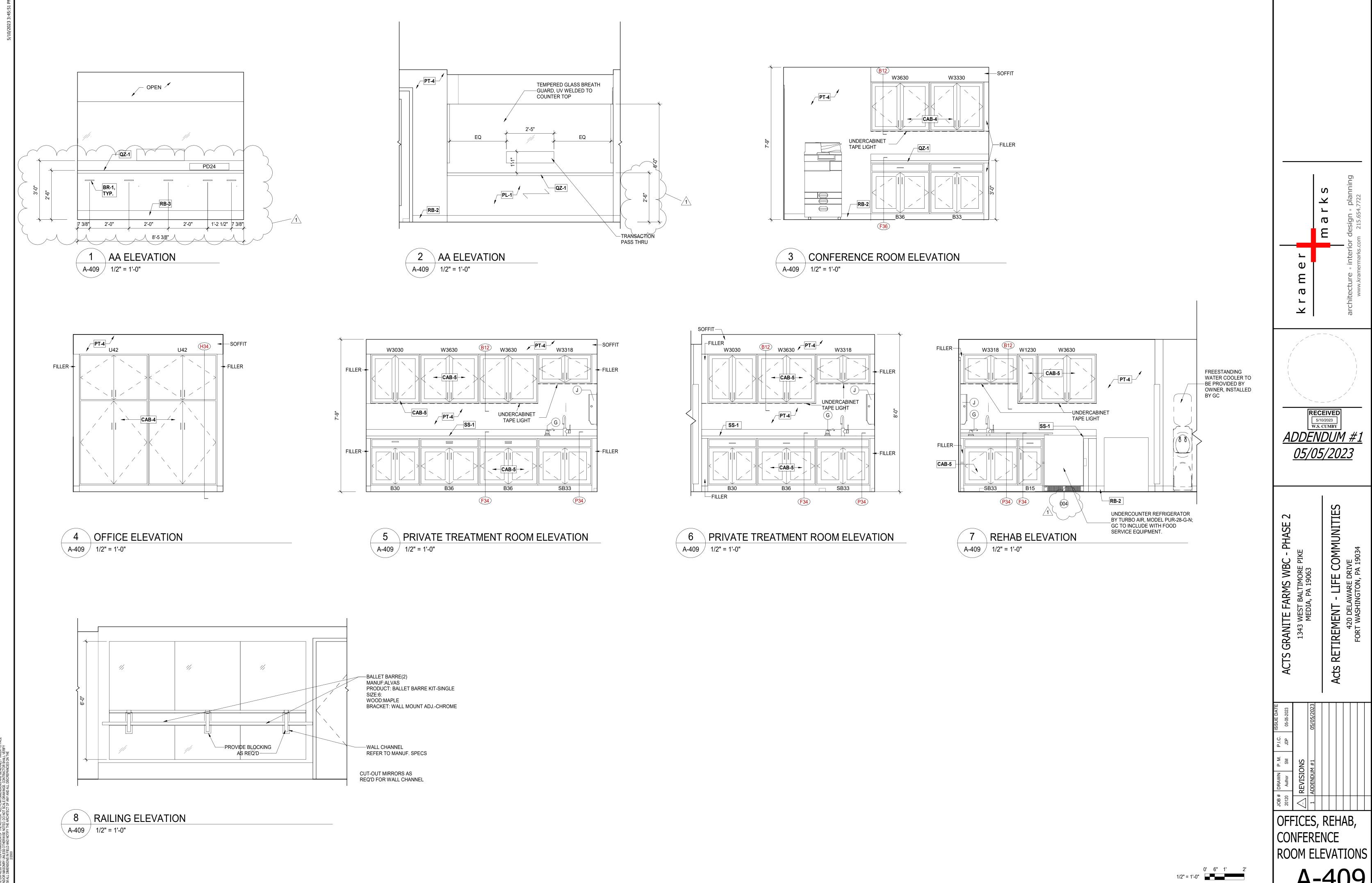
ADDENDUM #1 05/05/2023

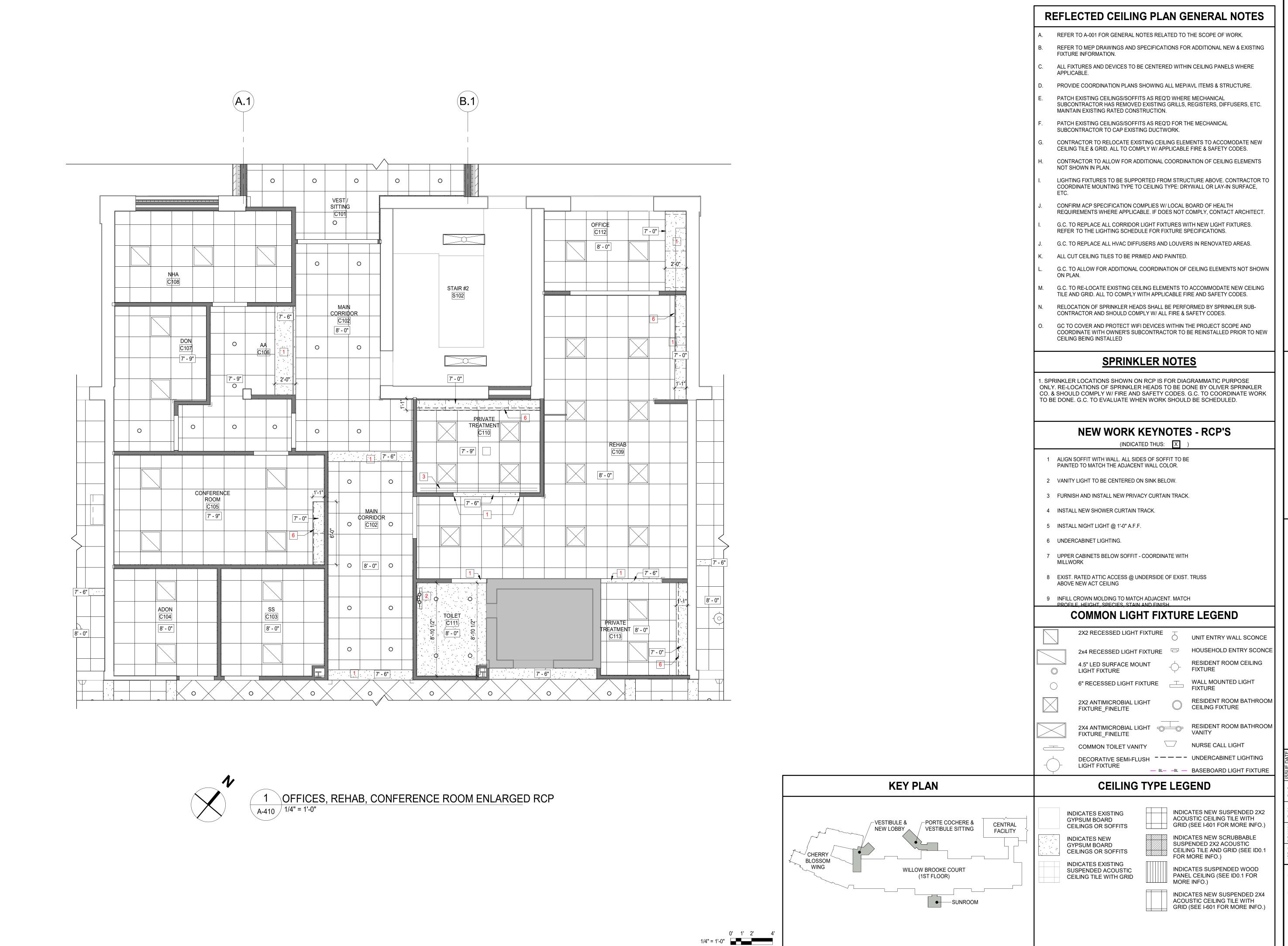
1 ADDENDUM #1 05/05/2023

OFFICES, REHAB, CONFERENCE ROOM PLAN

A-408

0' 1' 2' 4'





RECEIVED

5/10/2023

W.S. CUMBY

ADDENDUM #

Ð

 $\boldsymbol{\omega}$

 \checkmark

W.S. CUMBY

4DDENDUM #

05/05/2023

NITE FARMS WBC - PHASE 2
43 WEST BALTIMORE PIKE
MEDIA, PA 19063

FMENT - LIFE COMMUNITIES
AZO DELAWARE DRIVE
ST WASHINGTON, PA 19034

cts RETIREMENT - LIFE

420 DELAWARE D
FORT WASHINGTON,

REVISIONS

Author SM JDP 05-05-2023

REVISIONS

OFFICES, REHAB, CONFERENCE ROOM RCP

A-410

FLOOR PLAN GENERAL NOTES

- 1. REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- 2. NOTIFY ARCHITECT IF UNCERTAIN AS TO THE STARTING POINT OF A DIMENSION.
 UNLESS INDICATED OTHERWISE: DIMENSIONS FOR EXISTING WALLS ARE TO THE
 FACE OF THE EXISTING FINISH; DIMENSIONS TO NEW WALLS ARE TO THE FACE OF
 MASONRY, FACE OF STUD, OR CENTERLINE OF COLUMN; DIMENSIONS TO EXTERIOR
 OPENINGS ARE TO THE ROUGH OPENING OR TO THE CENTERLINE OF THE SYSTEM.
 (EXCEPTION: DIMENSIONS NOTED "CLR." OR "MIN." ARE TO THE FINISHED SURFACE.)
- 3. FOR INFORMATION ON WALL ASSEMBLIES, INCLUDING DEFAULT TYPES, REFER TO DRAWING SERIES "A0".
- 4. THE OWNER WILL BE RESPONSIBLE FOR REMOVING & RE-HANGING ALL PICTURES AND PAINTINGS
- 5. EXISTING CLEANOUTS TRAPS TO REMAIN. G.C. TO REMOVE AND CLEAN TRAP GRILLS & REINSTALL. G.C. TO MAKE CERTAIN ALL CLEAN OUTS ARE ACCESSIBLE AFTER INSTALLATION OF FLOOR FINISH.
- 6. G.C. TO PATCH & LEVEL FLOOR BEFORE INSTALLING NEW FLOOR FINISHES.
- 7. G.C. TO VERIFY FIRE EXTINGUISHERS ARE LOCATED EVERY 75'-0" MAXIMUM IN CORRIDORS. G.C. TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS IF DISTANCE EXCEEDS 75'-0"
- 8. ALL EXISTING TO REMAIN DOOR FRAMES & DOORS ALONG WORK AREA TO BE SANDED AND PREPARED TO RECEIVE NEW PAINT.
- 9. RESIDENTS ROOM/NAME SIGNS AND DIRECTION SIGNS TO BE PROVIDED BY OWNERS SIGN VENDOR(TYP.). G.C. TO COORDINATE & INSTALL.
- 10. G.C. TO INSTALL WATERPROOF MEMBRANE BEHIND TILE FLOORS & WALLS IN WET LOCATIONS.
- 11. G.C. TO PATCH AND PREP WALLS TO RECEIVE NEW WALL FINISH. NEW WALL COVERING TO END AT INNER CORNERS. NO CUTS AT OUTER CORNER.
- 12. G.C. TO PROPERLY PROTECT ALL EXISTING FINISHES TO REMAIN
- 13. G.C. RESPONSIBLE TO REPAIR SURFACES BELOW & ABOVE THAT ARE DISTURBED IN ORDER TO INSTALL NEW FIXTURES.
- 14. G.C. TO REPLACE ANY DAMAGED OR MISSING EXPANSION CONTROL JOINTS COORDINATE WITH ARCHITECT FOR STYLE AND COLOR
- 15. G.C. TO PAINT EXISTING ELECTRICAL PANELS
- 16. PROVIDE PIPE WRAP AT ALL EXPOSED PIPING.
- 17. G.C. TO REPLACE ALL OUTLETS, SWITCHES, DATA JACKS AND COVER PLATES IN RENOVATED AREAS. COLOR TO BE CONFIRMED WITH ARCHITECT.
- 18. G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS. COLOR TO BE CONFIRMED BY ARCHITECT.

19. G.C. TO CLEAN FIXTURES THAT WILL BE REUSED IN RENOVATED AREAS

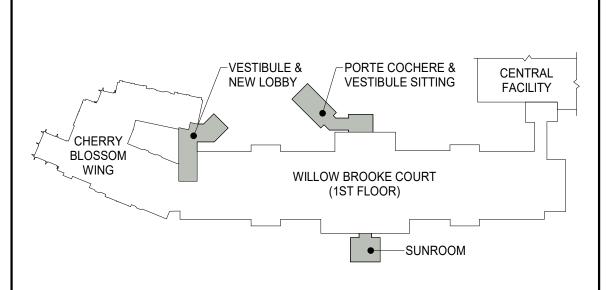
- COLOR TO BE CONFIRMED BY ARCHITECT.
- 20. COORDINATE NURSE CALL LOCATIONS W/ VENDOR
- 21. G.C. TO INSTALL NONSKID STRIPS AT ALL BATHTUBS & SHOWERS IF NOT PRESENT
- 22. G.C. TO VERIFY HEIGHTS OF ALL ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO INSTALLATION
- 23. THE NOTE ALIGN MEANS FINAL FINISHES OF ADJACENT WALLS ARE TO ALIGN.
- 24. GC TO CLEAN EXISTING WINDOW FRAMES, WINDOWS, DOORS & DOOR FRAMES THAT ARE EXISTING TO REMAIN.
- 25. G.C. TO PAINT EXISTING FIRE EXTINGUISHER CABINETS, HEATERS, AND ELECTRICAL PANELS.
- 26. G.C. RESPONSIBLE FOR FURNISH & INSTALLING ACCESS CONTROL DOOR HARDWARE & TYING INTO FACILITIES FIRE ALARM SYSTEM.
- 27. G.C. TO PROVIDE NEW BLINDS IN RESIDENT ROOMS (SEE ID DWGS).
- 28. G.C. TO PROVIDE FIRESTOPPING AT ANY EXISTING PENETRATIONS NOT PROPERLY

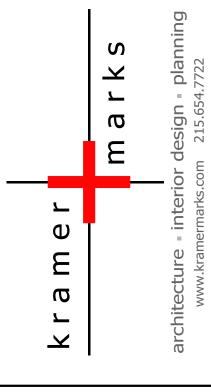
NEW WORK KEYNOTES - FLOOR PLANS

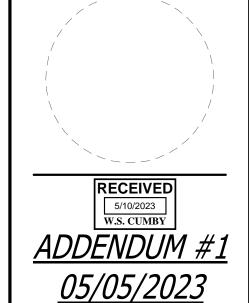
(INDICATED THUS: X)

- ALIGN NEW WALL OR PARTITION TO EXISTING WALL.
- PROVIDE CONDUIT IN WALL TO RUN WIRES FROM TV TO CONSOLE BELOW, COORDINATE W/ ELEC. DWGS.
- EXISTING DOOR/FRAME TO BE REFINISHED ON BOTH SIDES. INSTALL DOOR PROTECTION ON CORRIDOR SIDE AND PAINT AS PER ID DRAWINGS.
- 4 INSTALL HAT CHANNEL AND DRY WALL OVER EXISTING BRICK.
- INSTALL NEW ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 7 RELOCATE FIRE ANNUNCIATOR PANEL.
- NEW HANDRAIL MATCH HEIGHT/PROFILE TO EXISTING. GC TO ABUT NEW HANDRAIL AGAINST EXISTING, SAND AND STAIN TO MATCH EXISTING STAIN AND FINISH. PROVIDE BLOCKING FOR NEW BRACKETS/HANDRAIL.

KEY PLAN







TS GRANITE FARMS WBC - PHASE 2

1343 WEST BALTIMORE PIKE
MEDIA, PA 19063

RETIREMENT - LIFE COMMUNITIES

 3# DRAWN
 P. M. P.I.C.
 ISSUE DATE

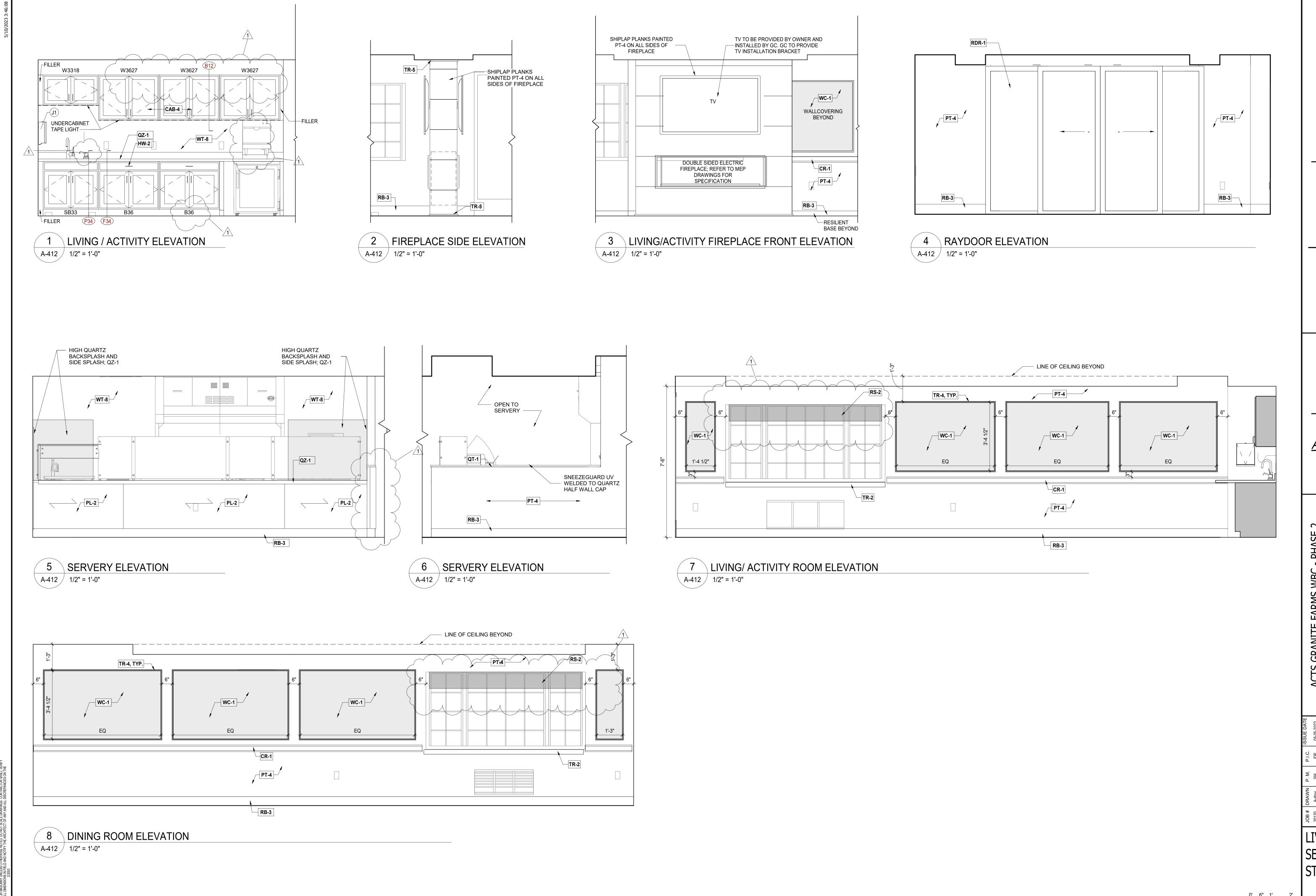
 20 Author
 SM JDP 05-05-2023

 ADDENDUM #1
 05/05/2023

LIVING / DINING, NURSE ST. PLAN & ADD ALT #4 PLAN

A-411

0' 1' 2' 4' 1/4" = 1'-0"

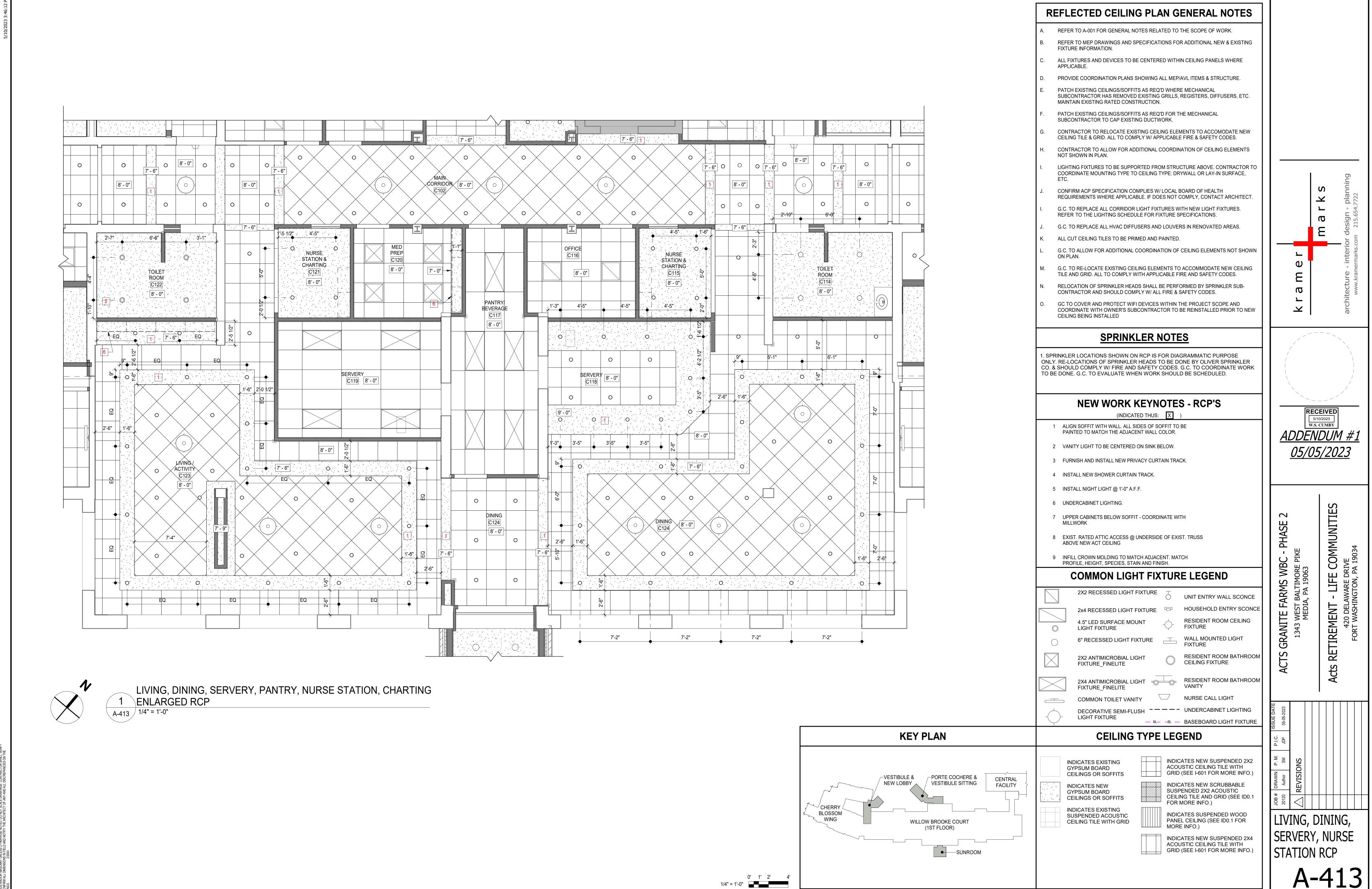


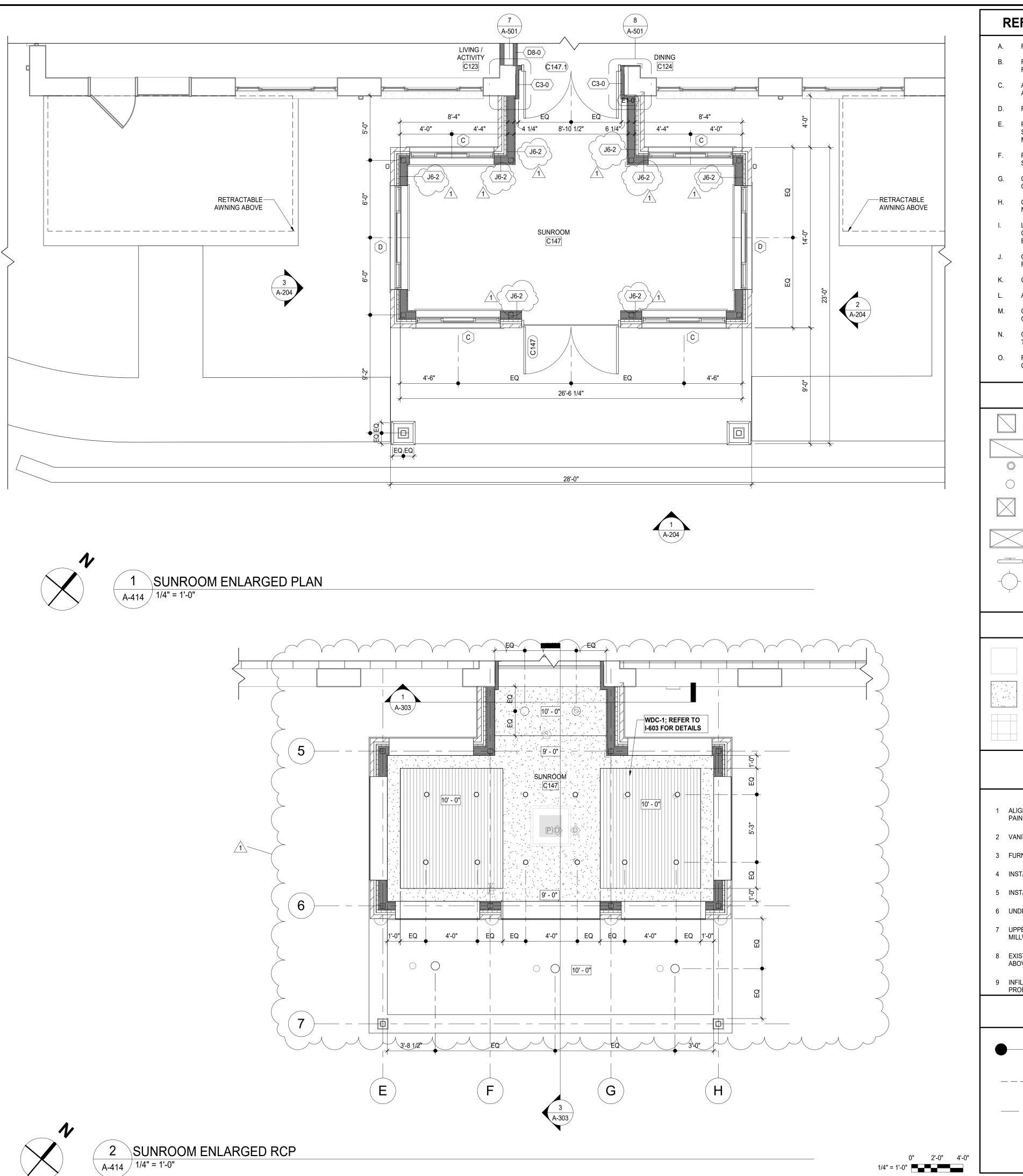
RECEIVED W.S. CUMBY *05/05/2023* ACTS GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063 Acts RETIREMENT LIVING, DINING, SERVERY, NURSE STATION ELEVAT. 1/2" = 1'-0"

 Φ

 $\boldsymbol{\omega}$

 \checkmark

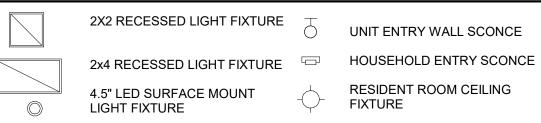




REFLECTED CEILING PLAN GENERAL NOTES

- REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- REFER TO MEP DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL NEW & EXISTING FIXTURE INFORMATION.
- ALL FIXTURES AND DEVICES TO BE CENTERED WITHIN CEILING PANELS WHERE APPLICABLE.
- PROVIDE COORDINATION PLANS SHOWING ALL MEP/AVL ITEMS & STRUCTURE.
- PATCH EXISTING CEILINGS/SOFFITS AS REQ'D WHERE MECHANICAL SUBCONTRACTOR HAS REMOVED EXISTING GRILLS, REGISTERS, DIFFUSERS, ETC. MAINTAIN EXISTING RATED CONSTRUCTION.
- PATCH EXISTING CEILINGS/SOFFITS AS REQ'D FOR THE MECHANICAL SUBCONTRACTOR TO CAP EXISTING DUCTWORK.
- CONTRACTOR TO RELOCATE EXISTING CEILING ELEMENTS TO ACCOMODATE NEW CEILING TILE & GRID. ALL TO COMPLY W/ APPLICABLE FIRE & SAFETY CODES.
- CONTRACTOR TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS NOT SHOWN IN PLAN.
- LIGHTING FIXTURES TO BE SUPPORTED FROM STRUCTURE ABOVE. CONTRACTOR TO COORDINATE MOUNTING TYPE TO CEILING TYPE: DRYWALL OR LAY-IN SURFACE,
- CONFIRM ACP SPECIFICATION COMPLIES W/ LOCAL BOARD OF HEALTH REQUIREMENTS WHERE APPLICABLE. IF DOES NOT COMPLY, CONTACT ARCHITECT.
- K. G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.
- ALL CUT CEILING TILES TO BE PRIMED AND PAINTED.
- G.C. TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS NOT SHOWN
- N. G.C. TO RE-LOCATE EXISTING CEILING ELEMENTS TO ACCOMMODATE NEW CEILING TILE AND GRID, ALL TO COMPLY WITH APPLICABLE FIRE AND SAFETY CODES.
- RELOCATION OF SPRINKLER HEADS SHALL BE PERFORMED BY SPRINKLER SUB-CONTRACTOR AND SHOULD COMPLY W/ ALL FIRE & SAFETY CODES.

COMMON LIGHT FIXTURE LEGEND



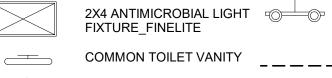


6" RECESSED LIGHT FIXTURE

RESIDENT ROOM BATHROOM CEILING FIXTURE

WALL MOUNTED LIGHT

RESIDENT ROOM BATHROOM



COMMON TOILET VANITY ---- UNDERCABINET LIGHTING — BL— →BL — BASEBOARD LIGHT FIXTURE LIGHT FIXTURE

CEILING TYPE LEGEND

INDICATES NEW SUSPENDED 2X2 INDICATES EXISTING ACOUSTIC CEILING TILE WITH GYPSUM BOARD GRID (SEE I-601 FOR MORE INFO.) CEILINGS OR SOFFITS **INDICATES NEW**

GYPSUM BOARD CEILINGS OR SOFFITS INDICATES EXISTING SUSPENDED ACOUSTIC CEILING TILE WITH GRID

INDICATES NEW SCRUBBABLE SUSPENDED 2X2 ACOUSTIC CEILING TILE AND GRID (SEE ID0.1 FOR MORE INFO.) INDICATES SUSPENDED WOOD PANEL CEILING (SEE ID0.1 FOR

MORE INFO.)

NEW WORK KEYNOTES - RCP'S

(INDICATED THUS: X

- 1 ALIGN SOFFIT WITH WALL. ALL SIDES OF SOFFIT TO BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
- 2 VANITY LIGHT TO BE CENTERED ON SINK BELOW.
- 3 FURNISH AND INSTALL NEW PRIVACY CURTAIN TRACK.
- 4 INSTALL NEW SHOWER CURTAIN TRACK.
- 5 INSTALL NIGHT LIGHT @ 1'-0" A.F.F.
- 6 UNDERCABINET LIGHTING.
- 7 UPPER CABINETS BELOW SOFFIT COORDINATE WITH
- 8 EXIST. RATED ATTIC ACCESS @ UNDERSIDE OF EXIST. TRUSS ABOVE NEW ACT CEILING
- 9 INFILL CROWN MOLDING TO MATCH ADJACENT. MATCH PROFILE, HEIGHT, SPECIES, STAIN AND FINISH.

TILE DESIGNATION



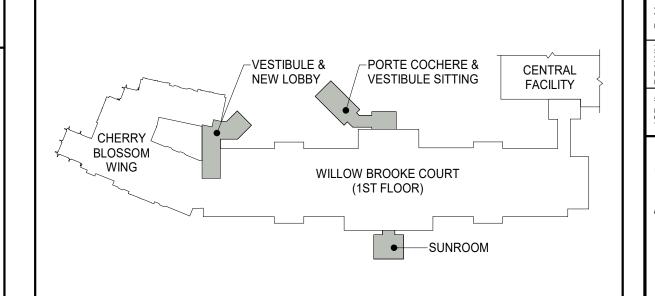
FLOOR PLAN GENERAL NOTES

- REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- NOTIFY ARCHITECT IF UNCERTAIN AS TO THE STARTING POINT OF A DIMENSION. UNLESS INDICATED OTHERWISE: DIMENSIONS FOR EXISTING WALLS ARE TO THE FACE OF THE EXISTING FINISH; DIMENSIONS TO NEW WALLS ARE TO THE FACE OF MASONRY, FACE OF STUD, OR CENTERLINE OF COLUMN; DIMENSIONS TO EXTERIOR OPENINGS ARE TO THE ROUGH OPENING OR TO THE CENTERLINE OF THE SYSTEM. (EXCEPTION: DIMENSIONS NOTED "CLR." OR "MIN." ARE TO THE FINISHED SURFACE.)
- FOR INFORMATION ON WALL ASSEMBLIES, INCLUDING DEFAULT TYPES, REFER TO DRAWING SERIES "A0".
- THE OWNER WILL BE RESPONSIBLE FOR REMOVING & RE-HANGING ALL PICTURES AND PAINTINGS
- EXISTING CLEANOUTS TRAPS TO REMAIN, G.C. TO REMOVE AND CLEAN TRAP GRILLS & REINSTALL. G.C. TO MAKE CERTAIN ALL CLEAN OUTS ARE ACCESSIBLE AFTER INSTALLATION OF FLOOR FINISH.
- G.C. TO PATCH & LEVEL FLOOR BEFORE INSTALLING NEW FLOOR FINISHES.
- G.C. TO VERIFY FIRE EXTINGUISHERS ARE LOCATED EVERY 75'-0" MAXIMUM IN CORRIDORS. G.C. TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS IF DISTANCE EXCEEDS 75'-0"
- ALL EXISTING TO REMAIN DOOR FRAMES & DOORS ALONG WORK AREA TO BE PREPARED TO RECEIVE NEW PAINT.
- RESIDENTS ROOM/NAME SIGNS AND DIRECTION SIGNS TO BE PROVIDED BY OWNERS SIGN VENDOR(TYP.). G.C. TO COORDINATE & INSTALL.
- G.C. TO INSTALL WATERPROOF MEMBRANE BEHIND TILE FLOORS & WALLS IN WET LOCATIONS.
- G.C. TO PATCH AND PREP WALLS TO RECEIVE NEW WALL FINISH. NEW WALL COVERING TO END AT INNER CORNERS. NO CUTS AT OUTER CORNER.
- 12. G.C. TO PROPERLY PROTECT ALL EXISTING FINISHES TO REMAIN
- 13. G.C. RESPONSIBLE TO REPAIR SURFACES BELOW & ABOVE THAT ARE DISTURBED IN ORDER TO INSTALL NEW FIXTURES.
- G.C. TO REPLACE ANY DAMAGED OR MISSING EXPANSION CONTROL JOINTS COORDINATE WITH ARCHITECT FOR STYLE AND COLOR
- 15. G.C. TO PAINT EXISTING ELECTRICAL PANELS
- 16. PROVIDE PIPE WRAP AT ALL EXPOSED PIPING.
- 17. G.C. TO REPLACE ALL OUTLETS, SWITCHES, DATA JACKS AND COVER PLATES IN RENOVATED AREAS. COLOR TO BE CONFIRMED WITH ARCHITECT.
- G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS. COLOR TO BE CONFIRMED BY ARCHITECT.
- 19. G.C. TO CLEAN FIXTURES THAT WILL BE REUSED IN RENOVATED AREAS
- 20. COORDINATE NURSE CALL LOCATIONS W/ VENDOR
- 21. G.C. TO INSTALL NONSKID STRIPS AT ALL BATHTUBS & SHOWERS IF NOT PRESENT
- G.C. TO VERIFY HEIGHTS OF ALL ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO INSTALLATION
- THE NOTE ALIGN MEANS FINAL FINISHES OF ADJACENT WALLS ARE TO ALIGN.
- 24. GC TO CLEAN EXISTING WINDOW FRAMES, WINDOWS, DOORS & DOOR FRAMES THAT ARE EXISTING TO REMAIN.
- 25. G.C. TO PAINT EXISTING FIRE EXTINGUISHER CABINETS, HEATERS, AND ELECTRICAL
- G.C. RESPONSIBLE FOR FURNISH & INSTALLING ACCESS CONTROL DOOR HARDWARE & TYING INTO FACILITIES FIRE ALARM SYSTEM.
- G.C. TO PROVIDE NEW BLINDS IN RESIDENT ROOMS (SEE ID DWGS).
- G.C. TO PROVIDE FIRESTOPPING AT ANY EXISTING PENETRATIONS NOT PROPERLY

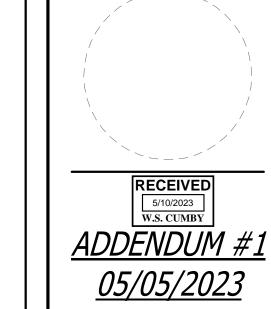
NEW WORK KEYNOTES - FLOOR PLANS (INDICATED THUS: X)

- ALIGN NEW WALL OR PARTITION TO EXISTING WALL
- PROVIDE CONDUIT IN WALL TO RUN WIRES FROM TV TO CONSOLE BELOW, COORDINATE W/ ELEC
- EXISTING DOOR/FRAME TO BE REFINISHED ON BOTH SIDES. INSTALL DOOR PROTECTION ON CORRIDOR SIDE AND PAINT AS PER ID DRAWINGS.
- INSTALL HAT CHANNEL AND DRY WALL OVER EXISTING BRICK
- INSTALL NEW ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- RELOCATE FIRE ANNUNCIATOR PANEL.
- NEW HANDRAIL MATCH HEIGHT/PROFILE TO EXISTING. GC TO ABUT NEW HANDRAIL AGAINST EXISTING, SAND AND STAIN TO MATCH EXISTING STAIN AND FINISH. PROVIDE BLOCKING FOR NEW

KEY PLAN



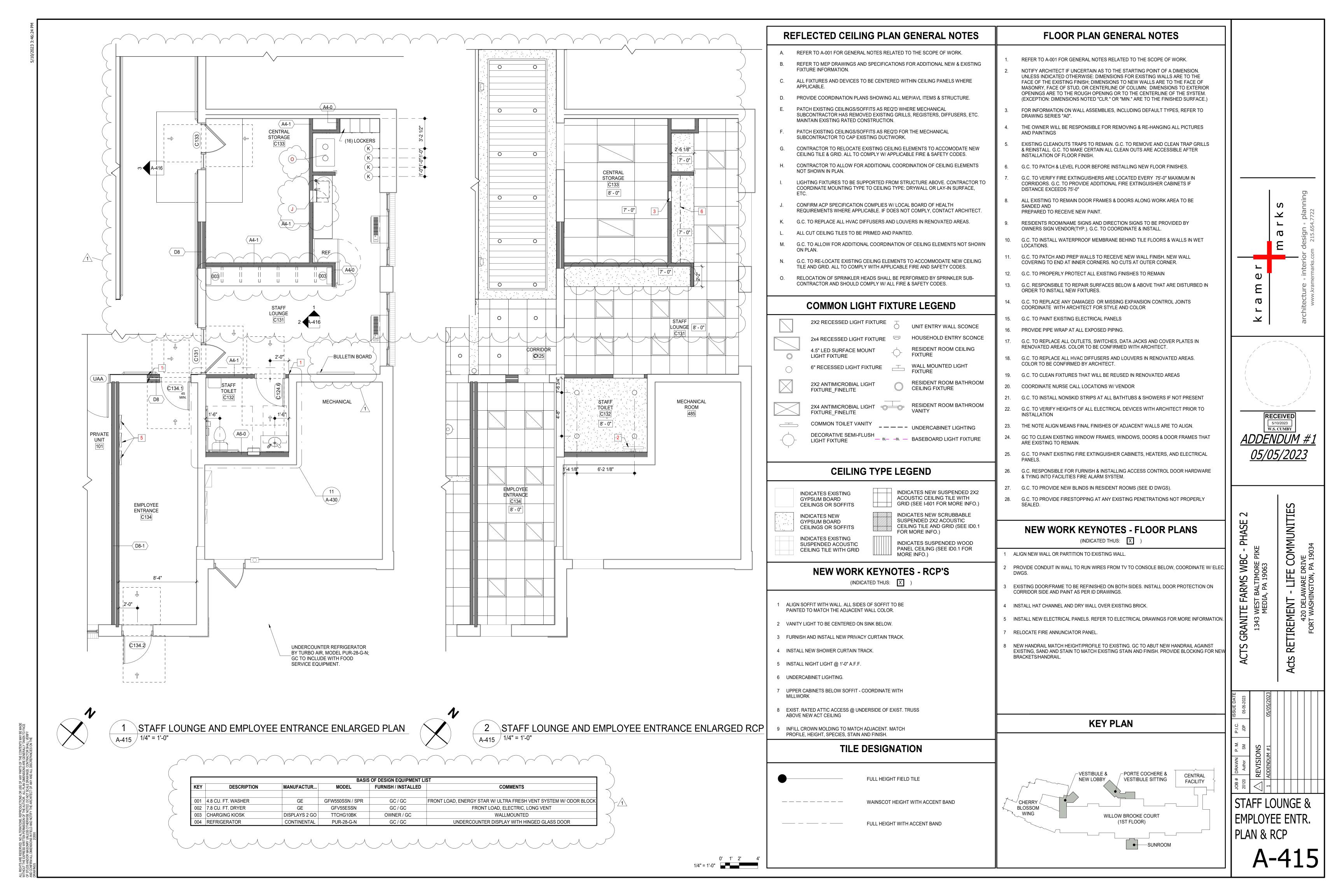
 $\boldsymbol{\omega}$

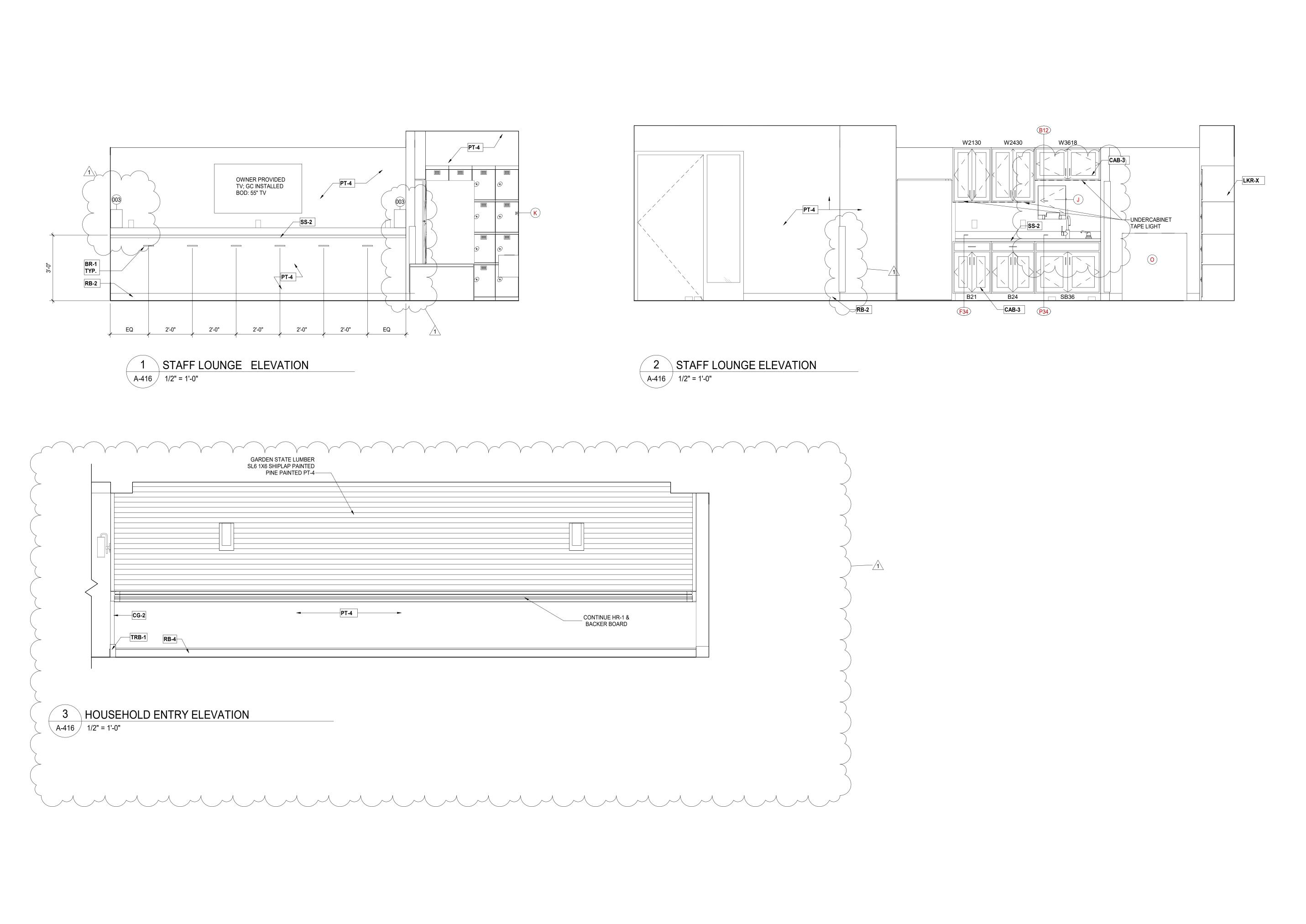


COMMUNITI **FARMS** GRANITE

ETIREMENT $\overline{\mathbf{Z}}$

SUNROOM PLAN AND RCP





Successions and the second and the s

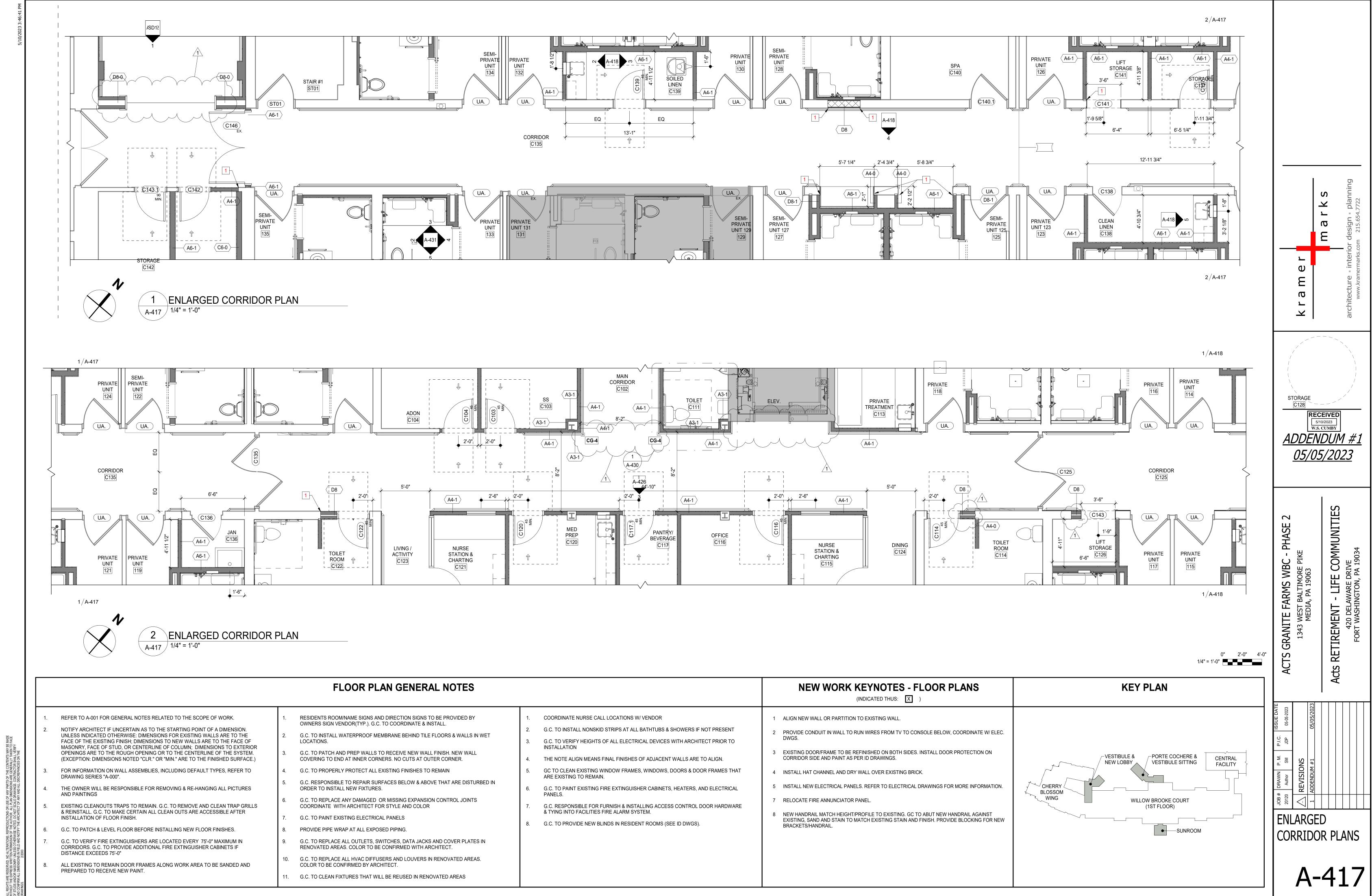
 $\boldsymbol{\sigma}$

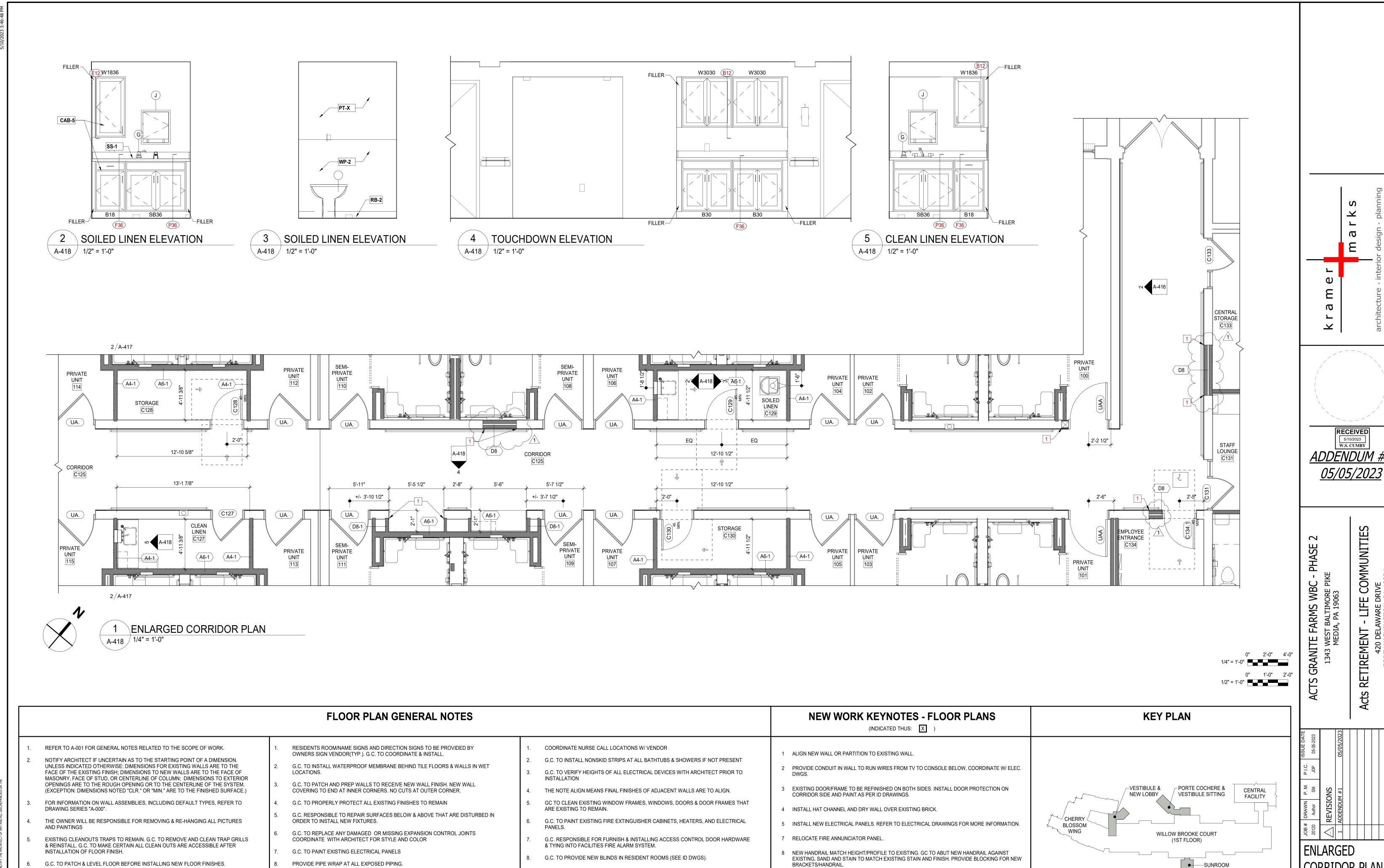
~

5/10/2023 W.S. CUMBY

ADDENDUM #1

05/05/2023





 $\overline{\mathbf{Z}}$

AND ELEVATIONS

G.C. TO VERIFY FIRE EXTINGUISHERS ARE LOCATED EVERY 75'-0" MAXIMUM IN

ALL EXISTING TO REMAIN DOOR FRAMES ALONG WORK AREA TO BE SANDED AND

CORRIDORS. G.C. TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS IF

DISTANCE EXCEEDS 75'-0"

PREPARED TO RECEIVE NEW PAINT.

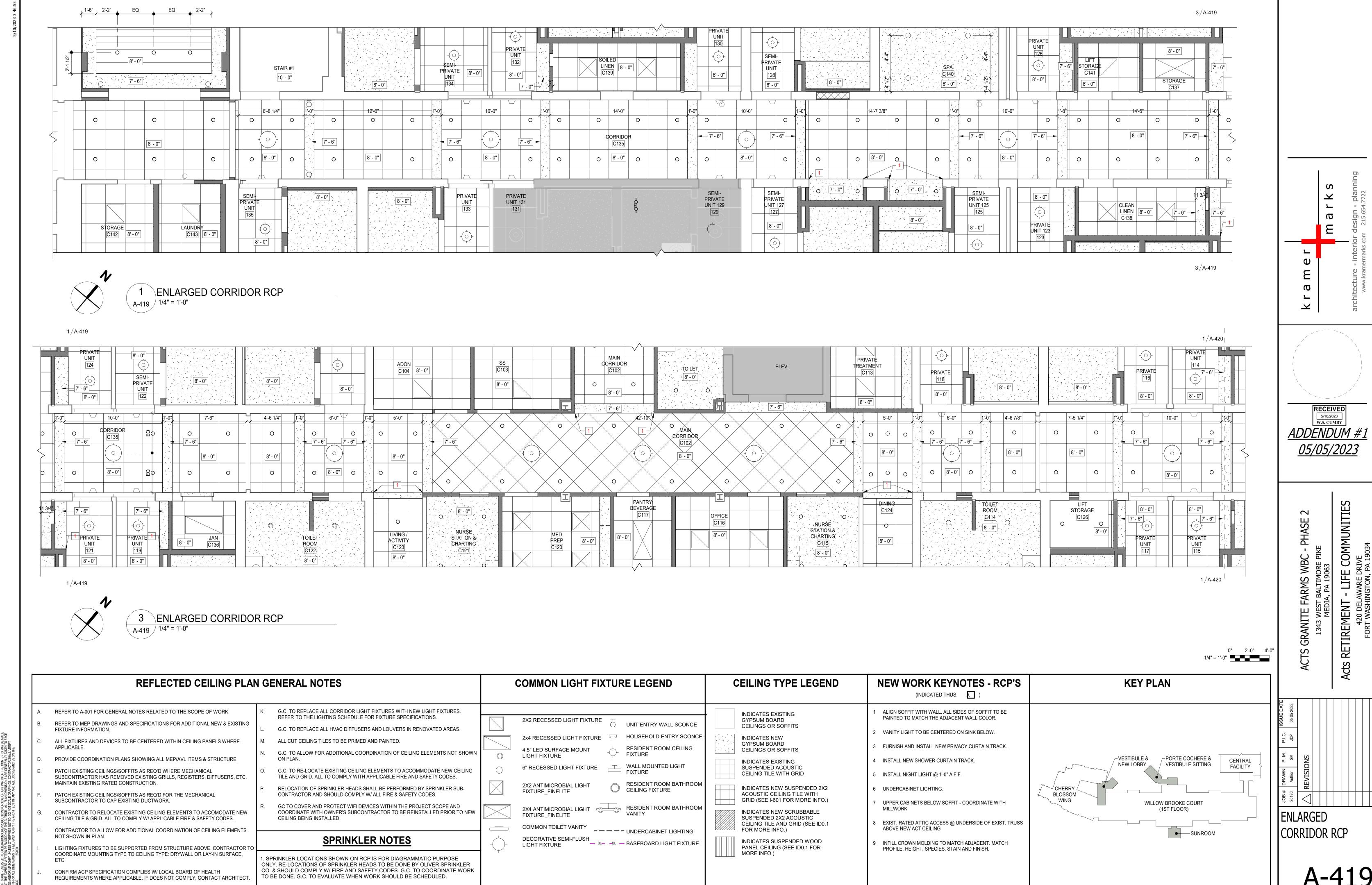
G.C. TO REPLACE ALL OUTLETS, SWITCHES, DATA JACKS AND COVER PLATES IN

G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.

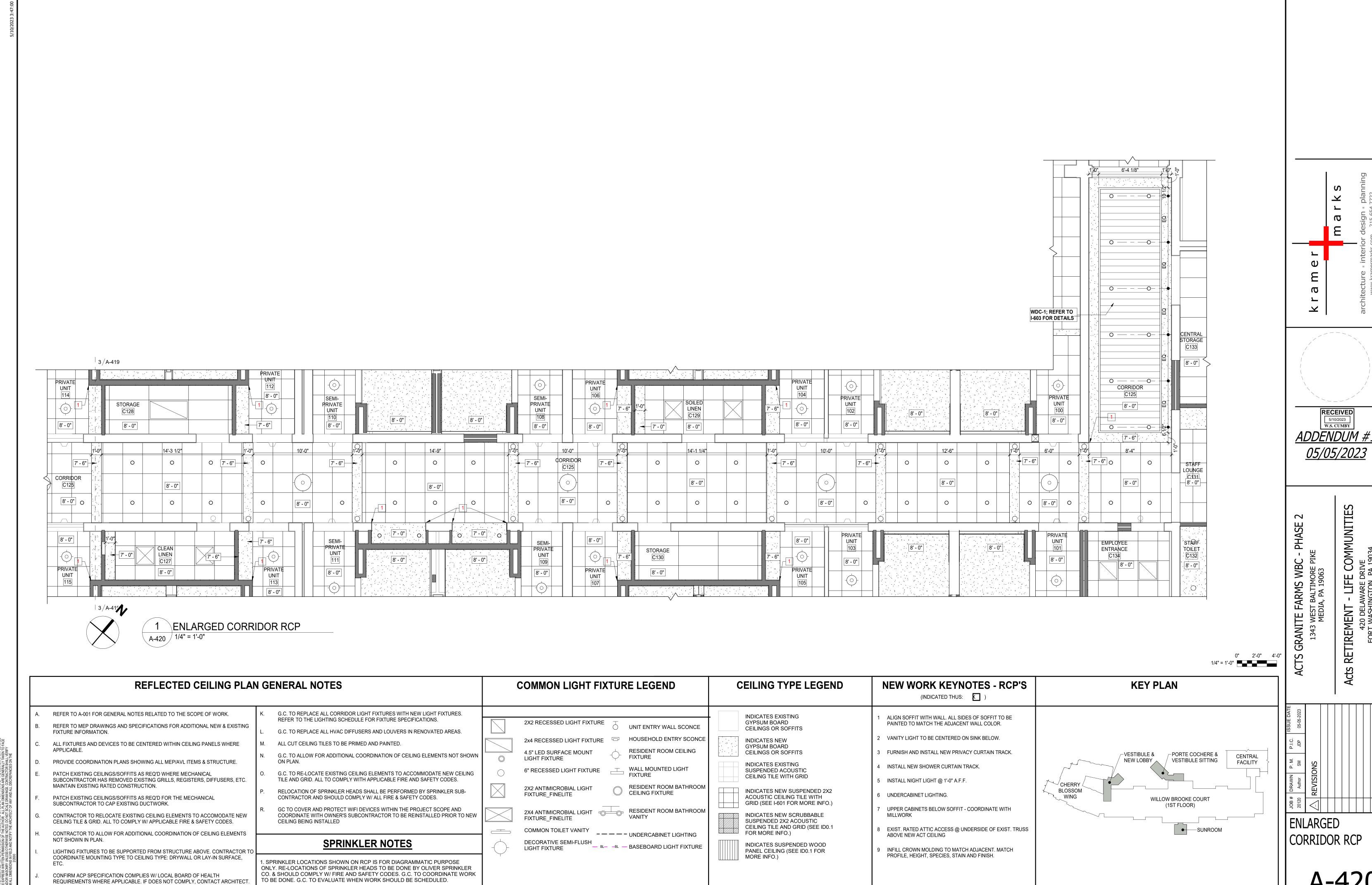
RENOVATED AREAS. COLOR TO BE CONFIRMED WITH ARCHITECT.

1. G.C. TO CLEAN FIXTURES THAT WILL BE REUSED IN RENOVATED AREAS

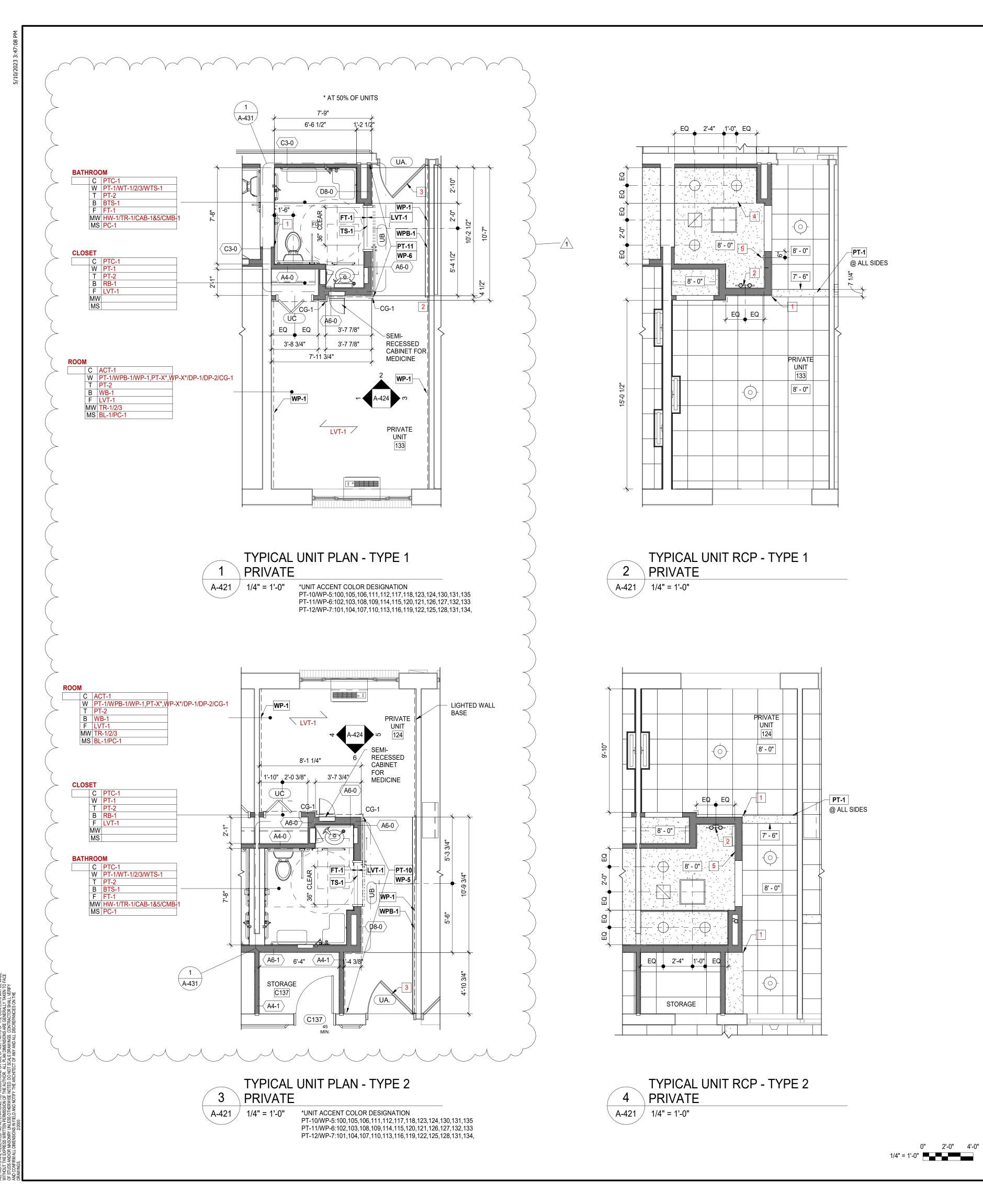
COLOR TO BE CONFIRMED BY ARCHITECT.



ALL RIGHTS ARE RESERVED. NO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE CONTENTS MAY BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ALTHOR ALL PLAN DIMENSIONS ARE GENERALLY TAKEN TO FACE



ALL RIGHTS ARE RESERVED. NO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE CONTENTS MAY BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE AUTHOR. ALL PLAN DIMENSIONS ARE GENERALLY TAKEN TO FACE





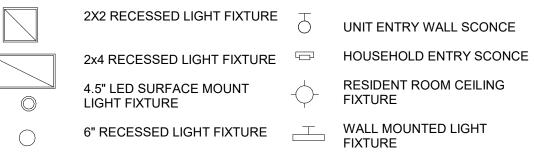
- A. REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- B. REFER TO MEP DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL NEW & EXISTING
- C. ALL FIXTURES AND DEVICES TO BE CENTERED WITHIN CEILING PANELS WHERE
- D. PROVIDE COORDINATION PLANS SHOWING ALL MEP/AVL ITEMS & STRUCTURE.
- E. PATCH EXISTING CEILINGS/SOFFITS AS REQ'D WHERE MECHANICAL SUBCONTRACTOR HAS REMOVED EXISTING GRILLS, REGISTERS, DIFFUSERS, ETC. MAINTAIN EXISTING RATED CONSTRUCTION.
- PATCH EXISTING CEILINGS/SOFFITS AS REQ'D FOR THE MECHANICAL SUBCONTRACTOR TO CAP EXISTING DUCTWORK.
- CONTRACTOR TO RELOCATE EXISTING CEILING ELEMENTS TO ACCOMODATE NEW CEILING TILE & GRID. ALL TO COMPLY W/ APPLICABLE FIRE & SAFETY CODES.
- CONTRACTOR TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS
- LIGHTING FIXTURES TO BE SUPPORTED FROM STRUCTURE ABOVE. CONTRACTOR TO
- COORDINATE MOUNTING TYPE TO CEILING TYPE: DRYWALL OR LAY-IN SURFACE, ETC.
- REQUIREMENTS WHERE APPLICABLE. IF DOES NOT COMPLY, CONTACT ARCHITECT.

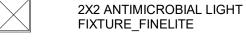
 G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.

CONFIRM ACP SPECIFICATION COMPLIES W/ LOCAL BOARD OF HEALTH

- ALL CUT CEILING TILES TO BE PRIMED AND PAINTED.
- G.C. TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS NOT SHOWN ON PLAN.
- G.C. TO RE-LOCATE EXISTING CEILING ELEMENTS TO ACCOMMODATE NEW CEILING TILE AND GRID. ALL TO COMPLY WITH APPLICABLE FIRE AND SAFETY CODES.
- RELOCATION OF SPRINKLER HEADS SHALL BE PERFORMED BY SPRINKLER SUB-CONTRACTOR AND SHOULD COMPLY W/ ALL FIRE & SAFETY CODES.

COMMON LIGHT FIXTURE LEGEND





2X4 ANTIMICROBIAL LIGHT RESIDENT ROOM BATHROOM VANITY

RESIDENT ROOM BATHROOM

CEILING FIXTURE



COMMON TOILET VANITY

----- UNDERCABINET LIGHTING

DECORATIVE SEMI-FLUSH
LIGHT FIXTURE

BL- -BL - BASEBOARD LIGHT FIXTURE

CEILING TYPE LEGEND

INDICATES EXISTING
GYPSUM BOARD
CEILINGS OR SOFFITS

INDICATES NEW
GYPSUM BOARD
CEILINGS OR SOFFITS

INDICATES EXISTING

SUSPENDED ACOUSTIC

CEILING TILE WITH GRID

INDICATES NEW SUSPENDED 2X2
ACOUSTIC CEILING TILE WITH
GRID (SEE I-601 FOR MORE INFO.)

INDICATES NEW SCRUBBABLE
SUSPENDED 2X2 ACOUSTIC

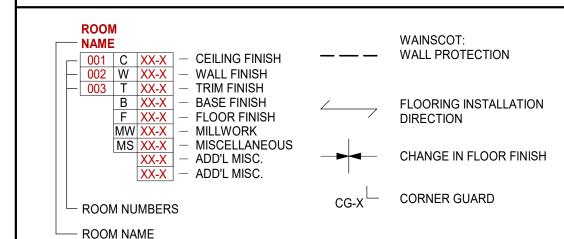
SUSPENDED 2X2 ACOUSTIC
CEILING TILE AND GRID (SEE ID0.1
FOR MORE INFO.)

INDICATES SUSPENDED WOOD PANEL CEILING (SEE ID0.1 FOR MORE INFO.)

NEW WORK KEYNOTES - RCP'S (INDICATED THUS: X)

- 1 ALIGN SOFFIT WITH WALL. ALL SIDES OF SOFFIT TO BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
- 2 VANITY LIGHT TO BE CENTERED ON SINK BELOW.
- 3 FURNISH AND INSTALL NEW PRIVACY CURTAIN TRACK.
- 4 INSTALL NEW SHOWER CURTAIN TRACK
- 5 INSTALL NIGHT LIGHT @ 1'-0" A.F.F.
- 6 UNDERCABINET LIGHTING.
- 7 UPPER CABINETS BELOW SOFFIT COORDINATE WITH MILLWORK
- 8 EXIST. RATED ATTIC ACCESS @ UNDERSIDE OF EXIST. TRUSS ABOVE NEW ACT CEILING
- 9 INFILL CROWN MOLDING TO MATCH ADJACENT. MATCH PROFILE, HEIGHT, SPECIES, STAIN AND FINISH.

INTERIOR DESIGN PLAN LEGEND



FLOOR PLAN GENERAL NOTES

- . REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- 2. NOTIFY ARCHITECT IF UNCERTAIN AS TO THE STARTING POINT OF A DIMENSION. UNLESS INDICATED OTHERWISE: DIMENSIONS FOR EXISTING WALLS ARE TO THE FACE OF THE EXISTING FINISH; DIMENSIONS TO NEW WALLS ARE TO THE FACE OF MASONRY, FACE OF STUD, OR CENTERLINE OF COLUMN; DIMENSIONS TO EXTERIOF OPENINGS ARE TO THE ROUGH OPENING OR TO THE CENTERLINE OF THE SYSTEM. (EXCEPTION: DIMENSIONS NOTED "CLR." OR "MIN." ARE TO THE FINISHED SURFACE.)
- 3. FOR INFORMATION ON WALL ASSEMBLIES, INCLUDING DEFAULT TYPES, REFER TO DRAWING SERIES "A0".
- THE OWNER WILL BE RESPONSIBLE FOR REMOVING & RE-HANGING ALL PICTURES AND PAINTINGS
- 5. EXISTING CLEANOUTS TRAPS TO REMAIN. G.C. TO REMOVE AND CLEAN TRAP GRILLS & REINSTALL. G.C. TO MAKE CERTAIN ALL CLEAN OUTS ARE ACCESSIBLE AFTER INSTALLATION OF FLOOR FINISH.
- G.C. TO PATCH & LEVEL FLOOR BEFORE INSTALLING NEW FLOOR FINISHES.
- 7. G.C. TO VERIFY FIRE EXTINGUISHERS ARE LOCATED EVERY 75'-0" MAXIMUM IN CORRIDORS. G.C. TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS IF DISTANCE EXCEEDS 75'-0"
- 8. ALL EXISTING TO REMAIN DOOR FRAMES & DOORS ALONG WORK AREA TO BE SANDED AND PREPARED TO RECEIVE NEW PAINT.
- 9. RESIDENTS ROOM/NAME SIGNS AND DIRECTION SIGNS TO BE PROVIDED BY OWNERS SIGN VENDOR(TYP.). G.C. TO COORDINATE & INSTALL.
- 10. G.C. TO INSTALL WATERPROOF MEMBRANE BEHIND TILE FLOORS & WALLS IN WET LOCATIONS.
- 11. G.C. TO PATCH AND PREP WALLS TO RECEIVE NEW WALL FINISH. NEW WALL
- COVERING TO END AT INNER CORNERS. NO CUTS AT OUTER CORNER.

12. G.C. TO PROPERLY PROTECT ALL EXISTING FINISHES TO REMAIN

- 13. G.C. RESPONSIBLE TO REPAIR SURFACES BELOW & ABOVE THAT ARE DISTURBED IN ORDER TO INSTALL NEW FIXTURES.
- G.C. TO REPLACE ANY DAMAGED OR MISSING EXPANSION CONTROL JOINTS COORDINATE WITH ARCHITECT FOR STYLE AND COLOR
- 15. G.C. TO PAINT EXISTING ELECTRICAL PANELS
- 16. PROVIDE PIPE WRAP AT ALL EXPOSED PIPING.
- 17. G.C. TO REPLACE ALL OUTLETS, SWITCHES, DATA JACKS AND COVER PLATES IN RENOVATED AREAS. COLOR TO BE CONFIRMED WITH ARCHITECT.
- 18. G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.
- COLOR TO BE CONFIRMED BY ARCHITECT.

19. G.C. TO CLEAN FIXTURES THAT WILL BE REUSED IN RENOVATED AREAS

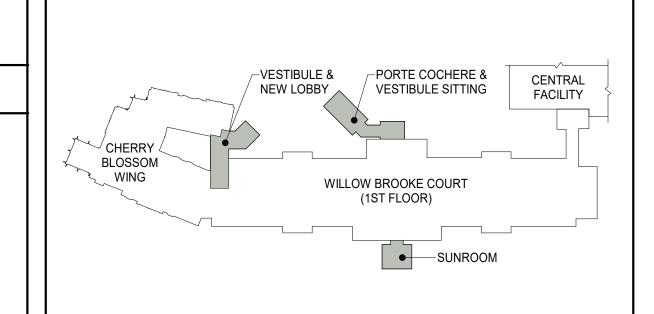
- 20. COORDINATE NURSE CALL LOCATIONS W/ VENDOR
- 21. G.C. TO INSTALL NONSKID STRIPS AT ALL BATHTUBS & SHOWERS IF NOT PRESENT
- 22. G.C. TO VERIFY HEIGHTS OF ALL ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO INSTALLATION
- 23. THE NOTE ALIGN MEANS FINAL FINISHES OF ADJACENT WALLS ARE TO ALIGN.
- 24. GC TO CLEAN EXISTING WINDOW FRAMES, WINDOWS, DOORS & DOOR FRAMES THAT ARE EXISTING TO REMAIN.
- 25. G.C. TO PAINT EXISTING FIRE EXTINGUISHER CABINETS, HEATERS, AND ELECTRICAL PANELS.
- 26. G.C. RESPONSIBLE FOR FURNISH & INSTALLING ACCESS CONTROL DOOR HARDWARE & TYING INTO FACILITIES FIRE ALARM SYSTEM.
- 27. G.C. TO PROVIDE NEW BLINDS IN RESIDENT ROOMS (SEE ID DWGS)
- 28. G.C. TO PROVIDE FIRESTOPPING AT ANY EXISTING PENETRATIONS NOT PROPERLY SEALED.

NEW WORK KEYNOTES - FLOOR PLANS

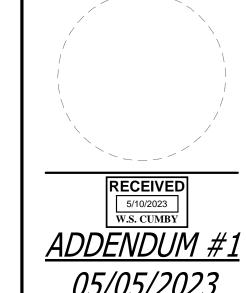
(INDICATED THUS: X

- ALIGN NEW WALL OR PARTITION TO EXISTING WALL.
- PROVIDE CONDUIT IN WALL TO RUN WIRES FROM TV TO CONSOLE BELOW, COORDINATE W/ ELECT DWGS
- EXISTING DOOR/FRAME TO BE REFINISHED ON BOTH SIDES. INSTALL DOOR PROTECTION ON CORRIDOR SIDE AND PAINT AS PER ID DRAWINGS.
- INSTALL HAT CHANNEL AND DRY WALL OVER EXISTING BRICK.
- INSTALL NEW ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- RELOCATE FIRE ANNUNCIATOR PANEL.
- 8 NEW HANDRAIL MATCH HEIGHT/PROFILE TO EXISTING. GC TO ABUT NEW HANDRAIL AGAINST EXISTING, SAND AND STAIN TO MATCH EXISTING STAIN AND FINISH. PROVIDE BLOCKING FOR NEW BRACKETS/HANDRAIL.

KEY PLAN



ramer | marks.com 215.654.7722



COMMUNITIES

SE PIKE

STATE

TO STAT

GRANITE FARMS WBC - PHASI
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063

Acts RETIREMENT - LI

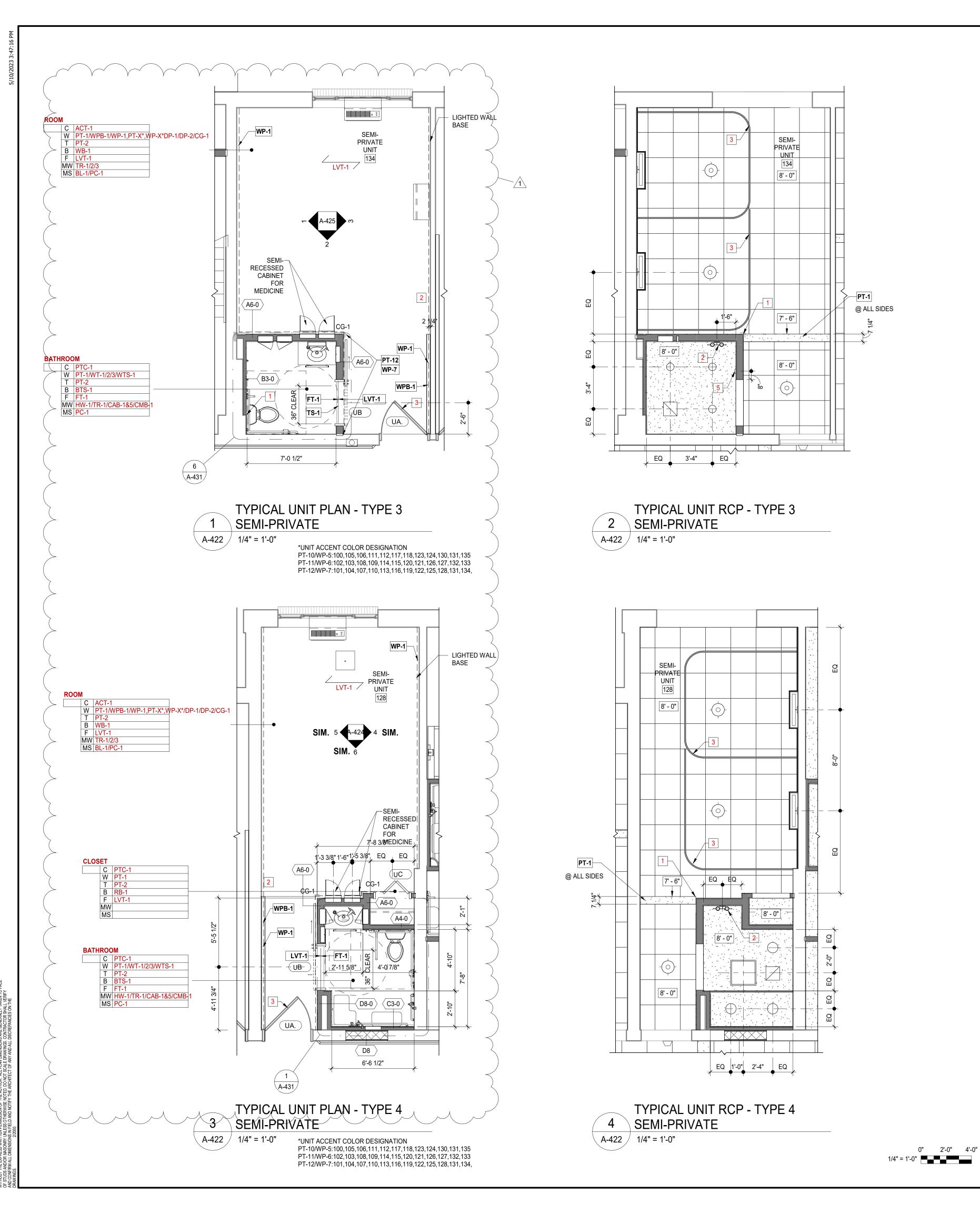
 JOB #
 DRAWN P. M.
 P. I.C.
 Concentration

 20120
 Author SM
 JDP
 05-05-2023

 1
 ADDENDUM #1
 05/05/2023

ENLARGED PLANS AND RCPS - UNITS

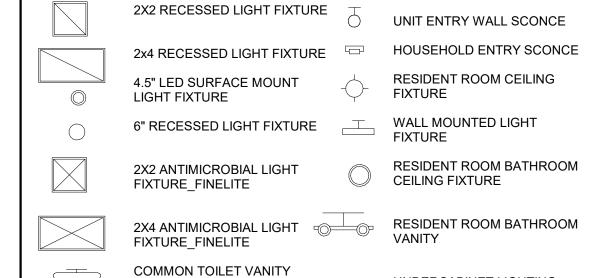
A-421



REFLECTED CEILING PLAN GENERAL NOTES

- A. REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- REFER TO MEP DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL NEW & EXISTING
- C. ALL FIXTURES AND DEVICES TO BE CENTERED WITHIN CEILING PANELS WHERE
- PROVIDE COORDINATION PLANS SHOWING ALL MEP/AVL ITEMS & STRUCTURE.
- PATCH EXISTING CEILINGS/SOFFITS AS REQ'D WHERE MECHANICAL SUBCONTRACTOR HAS REMOVED EXISTING GRILLS, REGISTERS, DIFFUSERS, ETC. MAINTAIN EXISTING RATED CONSTRUCTION.
- PATCH EXISTING CEILINGS/SOFFITS AS REQ'D FOR THE MECHANICAL SUBCONTRACTOR TO CAP EXISTING DUCTWORK.
- CONTRACTOR TO RELOCATE EXISTING CEILING ELEMENTS TO ACCOMODATE NEW CEILING TILE & GRID. ALL TO COMPLY W/ APPLICABLE FIRE & SAFETY CODES.
- CONTRACTOR TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS NOT SHOWN IN PLAN.
- LIGHTING FIXTURES TO BE SUPPORTED FROM STRUCTURE ABOVE. CONTRACTOR TO COORDINATE MOUNTING TYPE TO CEILING TYPE: DRYWALL OR LAY-IN SURFACE,
- CONFIRM ACP SPECIFICATION COMPLIES W/ LOCAL BOARD OF HEALTH REQUIREMENTS WHERE APPLICABLE. IF DOES NOT COMPLY, CONTACT ARCHITECT.
- K. G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.
- ALL CUT CEILING TILES TO BE PRIMED AND PAINTED.
- G.C. TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS NOT SHOWN ON PLAN.
- G.C. TO RE-LOCATE EXISTING CEILING ELEMENTS TO ACCOMMODATE NEW CEILING TILE AND GRID. ALL TO COMPLY WITH APPLICABLE FIRE AND SAFETY CODES.
- RELOCATION OF SPRINKLER HEADS SHALL BE PERFORMED BY SPRINKLER SUB-CONTRACTOR AND SHOULD COMPLY W/ ALL FIRE & SAFETY CODES.

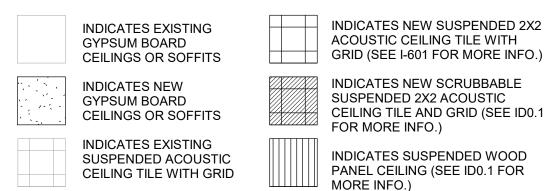
COMMON LIGHT FIXTURE LEGEND



CEILING TYPE LEGEND

---- undercabinet lighting

- BL- -BL - BASEBOARD LIGHT FIXTURE

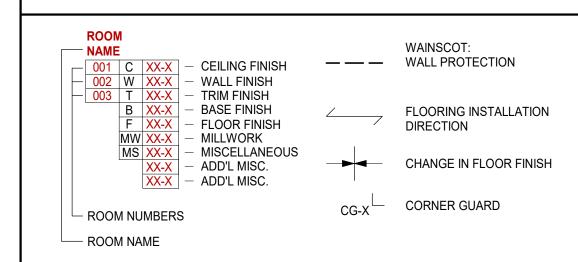


NEW WORK KEYNOTES - RCP'S

(INDICATED THUS: X)

- ALIGN SOFFIT WITH WALL. ALL SIDES OF SOFFIT TO BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
- 2 VANITY LIGHT TO BE CENTERED ON SINK BELOW.
- 3 FURNISH AND INSTALL NEW PRIVACY CURTAIN TRACK.
- 4 INSTALL NEW SHOWER CURTAIN TRACK.
- 5 INSTALL NIGHT LIGHT @ 1'-0" A.F.F.
- 6 UNDERCABINET LIGHTING.
- 7 UPPER CABINETS BELOW SOFFIT COORDINATE WITH
- 8 EXIST. RATED ATTIC ACCESS @ UNDERSIDE OF EXIST. TRUSS ABOVE NEW ACT CEILING
- INFILL CROWN MOLDING TO MATCH ADJACENT. MATCH PROFILE, HEIGHT, SPECIES, STAIN AND FINISH.

INTERIOR DESIGN PLAN LEGEND



FLOOR PLAN GENERAL NOTES

- REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- NOTIFY ARCHITECT IF UNCERTAIN AS TO THE STARTING POINT OF A DIMENSION. UNLESS INDICATED OTHERWISE: DIMENSIONS FOR EXISTING WALLS ARE TO THE FACE OF THE EXISTING FINISH; DIMENSIONS TO NEW WALLS ARE TO THE FACE OF MASONRY, FACE OF STUD, OR CENTERLINE OF COLUMN; DIMENSIONS TO EXTERIOR OPENINGS ARE TO THE ROUGH OPENING OR TO THE CENTERLINE OF THE SYSTEM.
- FOR INFORMATION ON WALL ASSEMBLIES, INCLUDING DEFAULT TYPES, REFER TO DRAWING SERIES "A0".

(EXCEPTION: DIMENSIONS NOTED "CLR." OR "MIN." ARE TO THE FINISHED SURFACE.)

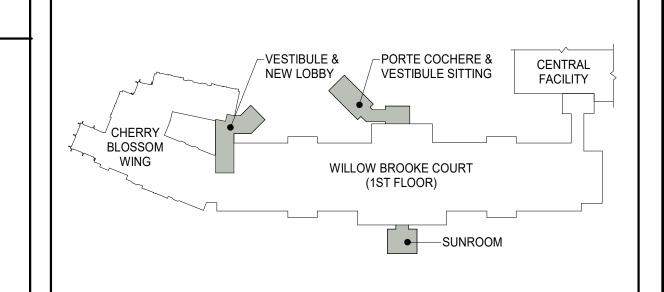
- THE OWNER WILL BE RESPONSIBLE FOR REMOVING & RE-HANGING ALL PICTURES AND PAINTINGS
- EXISTING CLEANOUTS TRAPS TO REMAIN. G.C. TO REMOVE AND CLEAN TRAP GRILLS & REINSTALL. G.C. TO MAKE CERTAIN ALL CLEAN OUTS ARE ACCESSIBLE AFTER INSTALLATION OF FLOOR FINISH.
- G.C. TO PATCH & LEVEL FLOOR BEFORE INSTALLING NEW FLOOR FINISHES.
- G.C. TO VERIFY FIRE EXTINGUISHERS ARE LOCATED EVERY 75'-0" MAXIMUM IN CORRIDORS. G.C. TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS IF DISTANCE EXCEEDS 75'-0"
- ALL EXISTING TO REMAIN DOOR FRAMES & DOORS ALONG WORK AREA TO BE SANDED AND PREPARED TO RECEIVE NEW PAINT.
- RESIDENTS ROOM/NAME SIGNS AND DIRECTION SIGNS TO BE PROVIDED BY OWNERS SIGN VENDOR(TYP.). G.C. TO COORDINATE & INSTALL.
- 10. G.C. TO INSTALL WATERPROOF MEMBRANE BEHIND TILE FLOORS & WALLS IN WET
- 11. G.C. TO PATCH AND PREP WALLS TO RECEIVE NEW WALL FINISH. NEW WALL COVERING TO END AT INNER CORNERS. NO CUTS AT OUTER CORNER.
- 12. G.C. TO PROPERLY PROTECT ALL EXISTING FINISHES TO REMAIN
- 13. G.C. RESPONSIBLE TO REPAIR SURFACES BELOW & ABOVE THAT ARE DISTURBED IN ORDER TO INSTALL NEW FIXTURES.
- G.C. TO REPLACE ANY DAMAGED OR MISSING EXPANSION CONTROL JOINTS COORDINATE WITH ARCHITECT FOR STYLE AND COLOR
- 15. G.C. TO PAINT EXISTING ELECTRICAL PANELS
- 16. PROVIDE PIPE WRAP AT ALL EXPOSED PIPING.
- 17. G.C. TO REPLACE ALL OUTLETS, SWITCHES, DATA JACKS AND COVER PLATES IN RENOVATED AREAS. COLOR TO BE CONFIRMED WITH ARCHITECT.
- 18. G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.
- COLOR TO BE CONFIRMED BY ARCHITECT.
- 19. G.C. TO CLEAN FIXTURES THAT WILL BE REUSED IN RENOVATED AREAS
- 20. COORDINATE NURSE CALL LOCATIONS W/ VENDOR
- 21. G.C. TO INSTALL NONSKID STRIPS AT ALL BATHTUBS & SHOWERS IF NOT PRESENT
- 22. G.C. TO VERIFY HEIGHTS OF ALL ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO
- 23. THE NOTE ALIGN MEANS FINAL FINISHES OF ADJACENT WALLS ARE TO ALIGN.
- GC TO CLEAN EXISTING WINDOW FRAMES, WINDOWS, DOORS & DOOR FRAMES THAT ARE EXISTING TO REMAIN.
- 25. G.C. TO PAINT EXISTING FIRE EXTINGUISHER CABINETS, HEATERS, AND ELECTRICAL
- G.C. RESPONSIBLE FOR FURNISH & INSTALLING ACCESS CONTROL DOOR HARDWARE
- & TYING INTO FACILITIES FIRE ALARM SYSTEM.
- 27. G.C. TO PROVIDE NEW BLINDS IN RESIDENT ROOMS (SEE ID DWGS)
- 28. G.C. TO PROVIDE FIRESTOPPING AT ANY EXISTING PENETRATIONS NOT PROPERLY

NEW WORK KEYNOTES - FLOOR PLANS

(INDICATED THUS: X

- ALIGN NEW WALL OR PARTITION TO EXISTING WALL
- PROVIDE CONDUIT IN WALL TO RUN WIRES FROM TV TO CONSOLE BELOW, COORDINATE W/ ELEC
- EXISTING DOOR/FRAME TO BE REFINISHED ON BOTH SIDES. INSTALL DOOR PROTECTION ON CORRIDOR SIDE AND PAINT AS PER ID DRAWINGS.
- INSTALL HAT CHANNEL AND DRY WALL OVER EXISTING BRICK
- INSTALL NEW ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- RELOCATE FIRE ANNUNCIATOR PANEL.
- NEW HANDRAIL MATCH HEIGHT/PROFILE TO EXISTING. GC TO ABUT NEW HANDRAIL AGAINST EXISTING, SAND AND STAIN TO MATCH EXISTING STAIN AND FINISH. PROVIDE BLOCKING FOR NEW BRACKETS/HANDRAIL

KEY PLAN



 $\boldsymbol{\omega}$ RECEIVED W.S. CUMBY

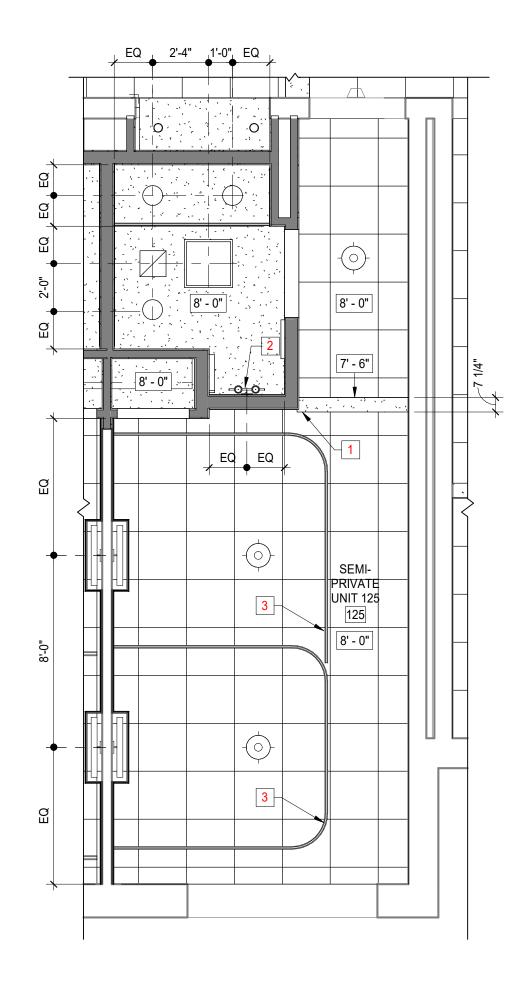
05/05/2023

COMMUNITIES

 $\overline{\mathbf{Z}}$

WBC FARMS ETIREMENT - 420 DELA FORT WASHIN

ENLARGED PLANS AND RCPS - UNITS



TYPICAL UNIT PLAN - TYPE 5 SEMI-PRIVATE

A-423 / 1/4" = 1'-0"

*UNIT ACCENT COLOR DESIGNATION PT-10/WP-5:100,105,106,111,112,117,118,123,124,130,131,135 PT-11/WP-6:102,103,108,109,114,115,120,121,126,127,132,133 PT-12/WP-7:101,104,107,110,113,116,119,122,125,128,131,134, TYPICAL UNIT RCP - TYPE 5

A-423 / 1/4" = 1'-0"

SEMI-PRIVATE

- REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- REFER TO MEP DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL NEW & EXISTING
- ALL FIXTURES AND DEVICES TO BE CENTERED WITHIN CEILING PANELS WHERE
- PROVIDE COORDINATION PLANS SHOWING ALL MEP/AVL ITEMS & STRUCTURE.
- PATCH EXISTING CEILINGS/SOFFITS AS REQ'D WHERE MECHANICAL SUBCONTRACTOR HAS REMOVED EXISTING GRILLS, REGISTERS, DIFFUSERS, ETC. MAINTAIN EXISTING RATED CONSTRUCTION.
- PATCH EXISTING CEILINGS/SOFFITS AS REQ'D FOR THE MECHANICAL SUBCONTRACTOR TO CAP EXISTING DUCTWORK.
- CONTRACTOR TO RELOCATE EXISTING CEILING ELEMENTS TO ACCOMODATE NEW CEILING TILE & GRID. ALL TO COMPLY W/ APPLICABLE FIRE & SAFETY CODES.
- CONTRACTOR TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS NOT SHOWN IN PLAN.
- LIGHTING FIXTURES TO BE SUPPORTED FROM STRUCTURE ABOVE. CONTRACTOR TO COORDINATE MOUNTING TYPE TO CEILING TYPE: DRYWALL OR LAY-IN SURFACE,
- CONFIRM ACP SPECIFICATION COMPLIES W/ LOCAL BOARD OF HEALTH REQUIREMENTS WHERE APPLICABLE. IF DOES NOT COMPLY, CONTACT ARCHITECT.
- K. G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.
- ALL CUT CEILING TILES TO BE PRIMED AND PAINTED.
- G.C. TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS NOT SHOWN
- G.C. TO RE-LOCATE EXISTING CEILING ELEMENTS TO ACCOMMODATE NEW CEILING TILE AND GRID. ALL TO COMPLY WITH APPLICABLE FIRE AND SAFETY CODES.
- RELOCATION OF SPRINKLER HEADS SHALL BE PERFORMED BY SPRINKLER SUB-CONTRACTOR AND SHOULD COMPLY W/ ALL FIRE & SAFETY CODES.

COMMON LIGHT FIXTURE LEGEND

2X2 RECESSED LIGHT FIXTURE UNIT ENTRY WALL SCONCE 2x4 RECESSED LIGHT FIXTURE HOUSEHOLD ENTRY SCONCE RESIDENT ROOM CEILING 4.5" LED SURFACE MOUNT LIGHT FIXTURE

WALL MOUNTED LIGHT 6" RECESSED LIGHT FIXTURE RESIDENT ROOM BATHROOM 2X2 ANTIMICROBIAL LIGHT

CEILING FIXTURE FIXTURE_FINELITE RESIDENT ROOM BATHROOM 2X4 ANTIMICROBIAL LIGHT

COMMON TOILET VANITY ---- UNDERCABINET LIGHTING DECORATIVE SEMI-FLUSH

CEILING TYPE LEGEND

— BL— →BL — BASEBOARD LIGHT FIXTURE

PANEL CEILING (SEE ID0.1 FOR

MORE INFO.)

INDICATES NEW SUSPENDED 2X2 INDICATES EXISTING ACOUSTIC CEILING TILE WITH GYPSUM BOARD GRID (SEE I-601 FOR MORE INFO.) CEILINGS OR SOFFITS INDICATES NEW SCRUBBABLE INDICATES NEW SUSPENDED 2X2 ACOUSTIC GYPSUM BOARD CEILING TILE AND GRID (SEE ID0.1 CEILINGS OR SOFFITS FOR MORE INFO.) INDICATES EXISTING INDICATES SUSPENDED WOOD SUSPENDED ACOUSTIC

NEW WORK KEYNOTES - RCP'S

(INDICATED THUS: X)

PAINTED TO MATCH THE ADJACENT WALL COLOR.

2 VANITY LIGHT TO BE CENTERED ON SINK BELOW.

3 FURNISH AND INSTALL NEW PRIVACY CURTAIN TRACK.

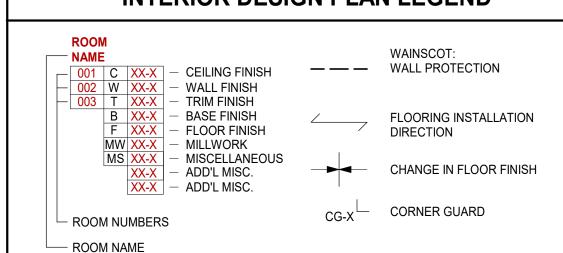
4 INSTALL NEW SHOWER CURTAIN TRACK.

CEILING TILE WITH GRID

FIXTURE_FINELITE

- 5 INSTALL NIGHT LIGHT @ 1'-0" A.F.F.
- 6 UNDERCABINET LIGHTING.
- 7 UPPER CABINETS BELOW SOFFIT COORDINATE WITH
- 8 EXIST. RATED ATTIC ACCESS @ UNDERSIDE OF EXIST. TRUSS ABOVE NEW ACT CEILING
- 9 INFILL CROWN MOLDING TO MATCH ADJACENT. MATCH PROFILE, HEIGHT, SPECIES, STAIN AND FINISH.

INTERIOR DESIGN PLAN LEGEND



FLOOR PLAN GENERAL NOTES

- REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- NOTIFY ARCHITECT IF UNCERTAIN AS TO THE STARTING POINT OF A DIMENSION. UNLESS INDICATED OTHERWISE: DIMENSIONS FOR EXISTING WALLS ARE TO THE FACE OF THE EXISTING FINISH; DIMENSIONS TO NEW WALLS ARE TO THE FACE OF MASONRY, FACE OF STUD, OR CENTERLINE OF COLUMN; DIMENSIONS TO EXTERIOR OPENINGS ARE TO THE ROUGH OPENING OR TO THE CENTERLINE OF THE SYSTEM. (EXCEPTION: DIMENSIONS NOTED "CLR." OR "MIN." ARE TO THE FINISHED SURFACE.)
- FOR INFORMATION ON WALL ASSEMBLIES, INCLUDING DEFAULT TYPES, REFER TO DRAWING SERIES "A0".
- THE OWNER WILL BE RESPONSIBLE FOR REMOVING & RE-HANGING ALL PICTURES
- EXISTING CLEANOUTS TRAPS TO REMAIN. G.C. TO REMOVE AND CLEAN TRAP GRILLS & REINSTALL. G.C. TO MAKE CERTAIN ALL CLEAN OUTS ARE ACCESSIBLE AFTER INSTALLATION OF FLOOR FINISH.
- G.C. TO PATCH & LEVEL FLOOR BEFORE INSTALLING NEW FLOOR FINISHES.
- G.C. TO VERIFY FIRE EXTINGUISHERS ARE LOCATED EVERY 75'-0" MAXIMUM IN CORRIDORS. G.C. TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS IF DISTANCE EXCEEDS 75'-0"
- ALL EXISTING TO REMAIN DOOR FRAMES & DOORS ALONG WORK AREA TO BE SANDED AND PREPARED TO RECEIVE NEW PAINT.
- RESIDENTS ROOM/NAME SIGNS AND DIRECTION SIGNS TO BE PROVIDED BY OWNERS SIGN VENDOR(TYP.). G.C. TO COORDINATE & INSTALL.
- G.C. TO INSTALL WATERPROOF MEMBRANE BEHIND TILE FLOORS & WALLS IN WET LOCATIONS.
- G.C. TO PATCH AND PREP WALLS TO RECEIVE NEW WALL FINISH. NEW WALL COVERING TO END AT INNER CORNERS. NO CUTS AT OUTER CORNER.
- G.C. TO PROPERLY PROTECT ALL EXISTING FINISHES TO REMAIN
- G.C. RESPONSIBLE TO REPAIR SURFACES BELOW & ABOVE THAT ARE DISTURBED IN ORDER TO INSTALL NEW FIXTURES.
- G.C. TO REPLACE ANY DAMAGED OR MISSING EXPANSION CONTROL JOINTS COORDINATE WITH ARCHITECT FOR STYLE AND COLOR
- 15. G.C. TO PAINT EXISTING ELECTRICAL PANELS
- PROVIDE PIPE WRAP AT ALL EXPOSED PIPING.
- G.C. TO REPLACE ALL OUTLETS, SWITCHES, DATA JACKS AND COVER PLATES IN RENOVATED AREAS. COLOR TO BE CONFIRMED WITH ARCHITECT.
- G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS. COLOR TO BE CONFIRMED BY ARCHITECT.
- G.C. TO CLEAN FIXTURES THAT WILL BE REUSED IN RENOVATED AREAS
- COORDINATE NURSE CALL LOCATIONS W/ VENDOR
- G.C. TO INSTALL NONSKID STRIPS AT ALL BATHTUBS & SHOWERS IF NOT PRESENT
- G.C. TO VERIFY HEIGHTS OF ALL ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO INSTALLATION
- THE NOTE ALIGN MEANS FINAL FINISHES OF ADJACENT WALLS ARE TO ALIGN.
- GC TO CLEAN EXISTING WINDOW FRAMES, WINDOWS, DOORS & DOOR FRAMES THAT ARE EXISTING TO REMAIN.
- G.C. TO PAINT EXISTING FIRE EXTINGUISHER CABINETS, HEATERS, AND ELECTRICAL
- G.C. RESPONSIBLE FOR FURNISH & INSTALLING ACCESS CONTROL DOOR HARDWARE & TYING INTO FACILITIES FIRE ALARM SYSTEM.
- G.C. TO PROVIDE NEW BLINDS IN RESIDENT ROOMS (SEE ID DWGS).
- G.C. TO PROVIDE FIRESTOPPING AT ANY EXISTING PENETRATIONS NOT PROPERLY

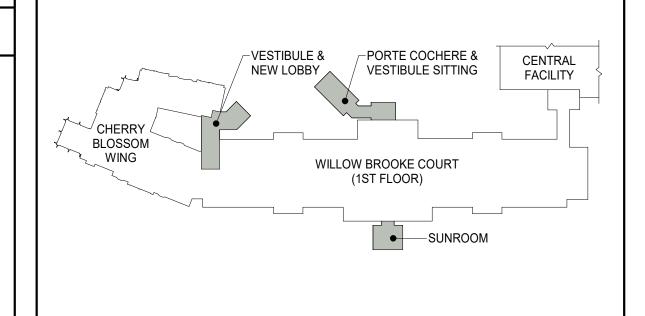
NEW WORK KEYNOTES - FLOOR PLANS

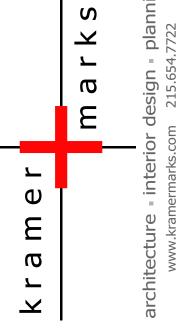
(INDICATED THUS: X)

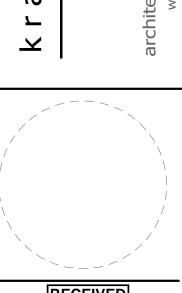
ALIGN NEW WALL OR PARTITION TO EXISTING WALL.

- PROVIDE CONDUIT IN WALL TO RUN WIRES FROM TV TO CONSOLE BELOW, COORDINATE W/ ELEC
- EXISTING DOOR/FRAME TO BE REFINISHED ON BOTH SIDES. INSTALL DOOR PROTECTION ON CORRIDOR SIDE AND PAINT AS PER ID DRAWINGS.
- INSTALL HAT CHANNEL AND DRY WALL OVER EXISTING BRICK.
- INSTALL NEW ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- RELOCATE FIRE ANNUNCIATOR PANEL.
- NEW HANDRAIL MATCH HEIGHT/PROFILE TO EXISTING. GC TO ABUT NEW HANDRAIL AGAINST EXISTING, SAND AND STAIN TO MATCH EXISTING STAIN AND FINISH. PROVIDE BLOCKING FOR NEW BRACKETS/HANDRAIL.

KEY PLAN







RECEIVED W.S. CUMBY 05/05/2023

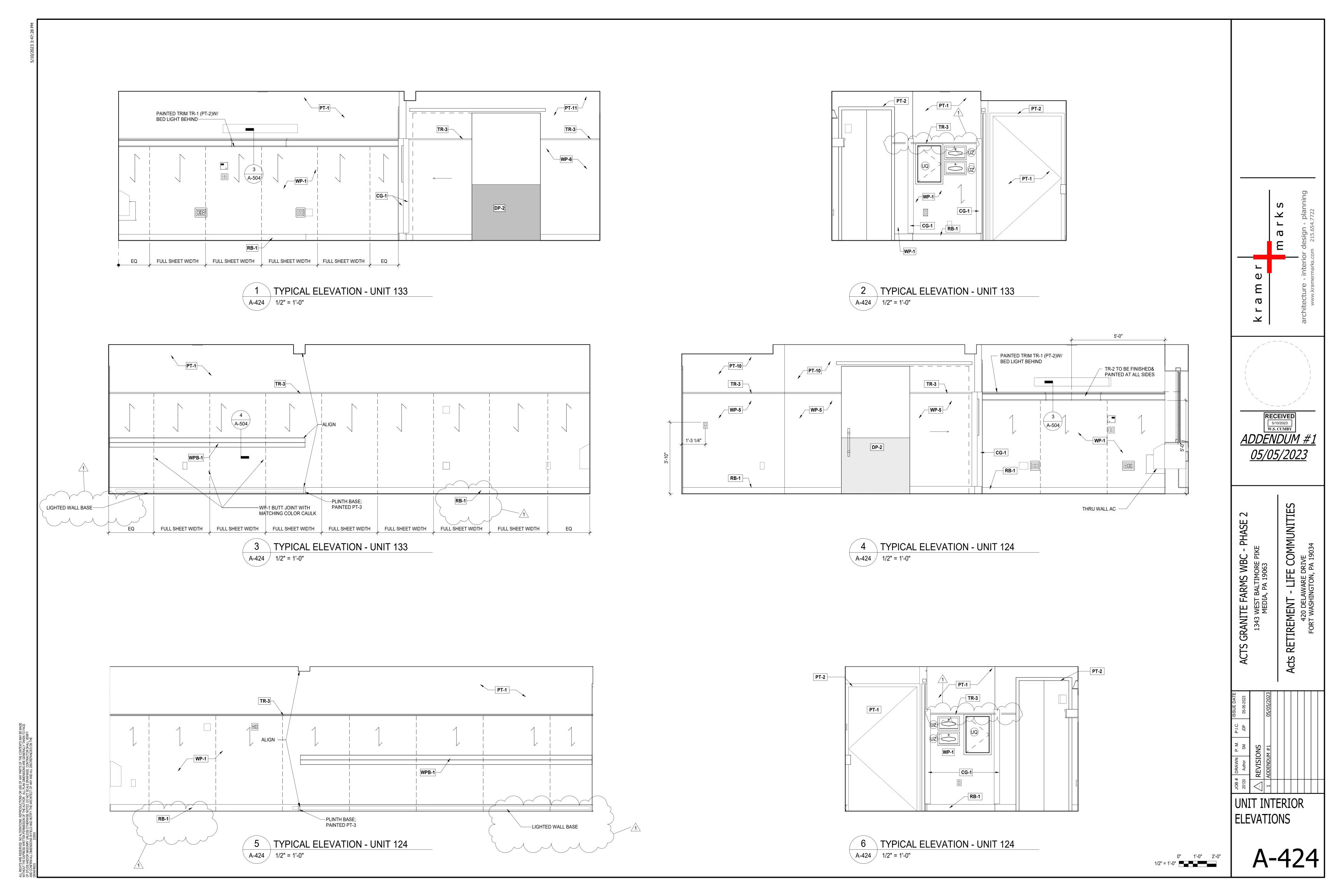
COMMUNITIES
RIVE
PA 19034 **PHASE** WBC EARMS
EST BALTIM
EDIA, PA 19 GRANITE 1343 WES

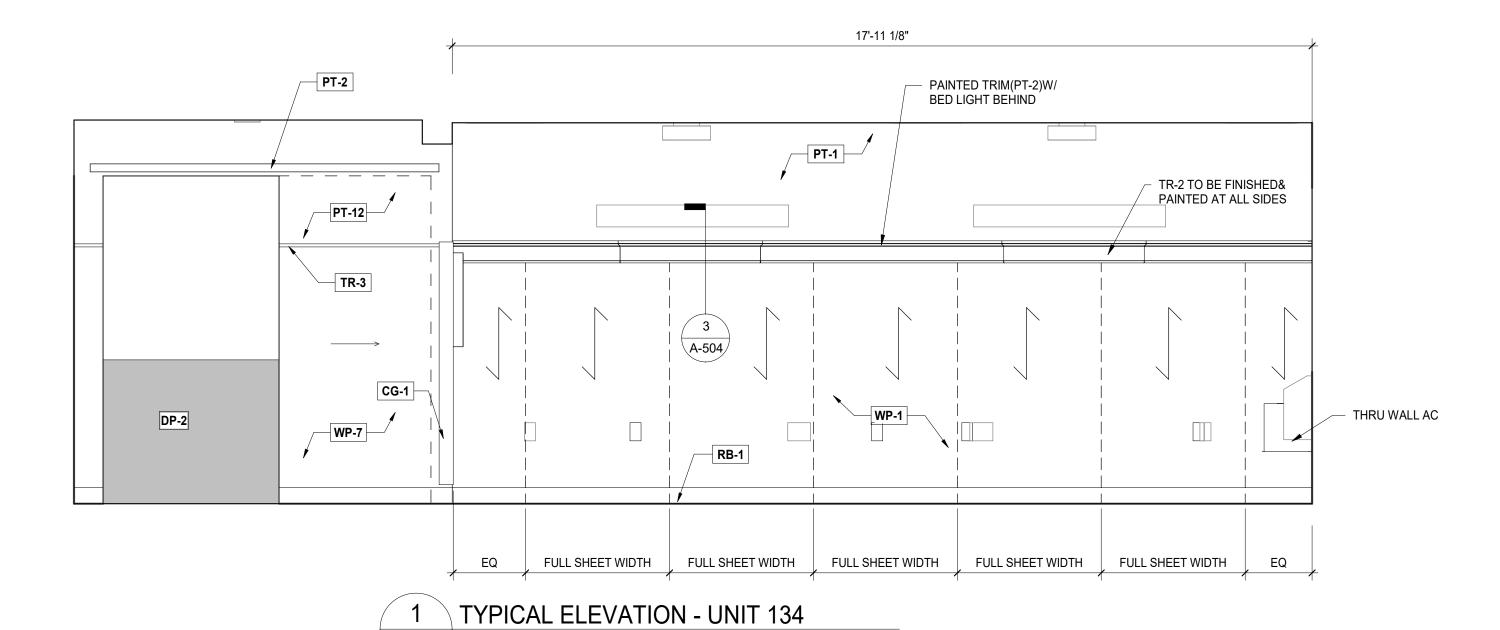
ETIREMENT - L420 DELAWA
FORT WASHINGT $\overline{\mathbf{Z}}$

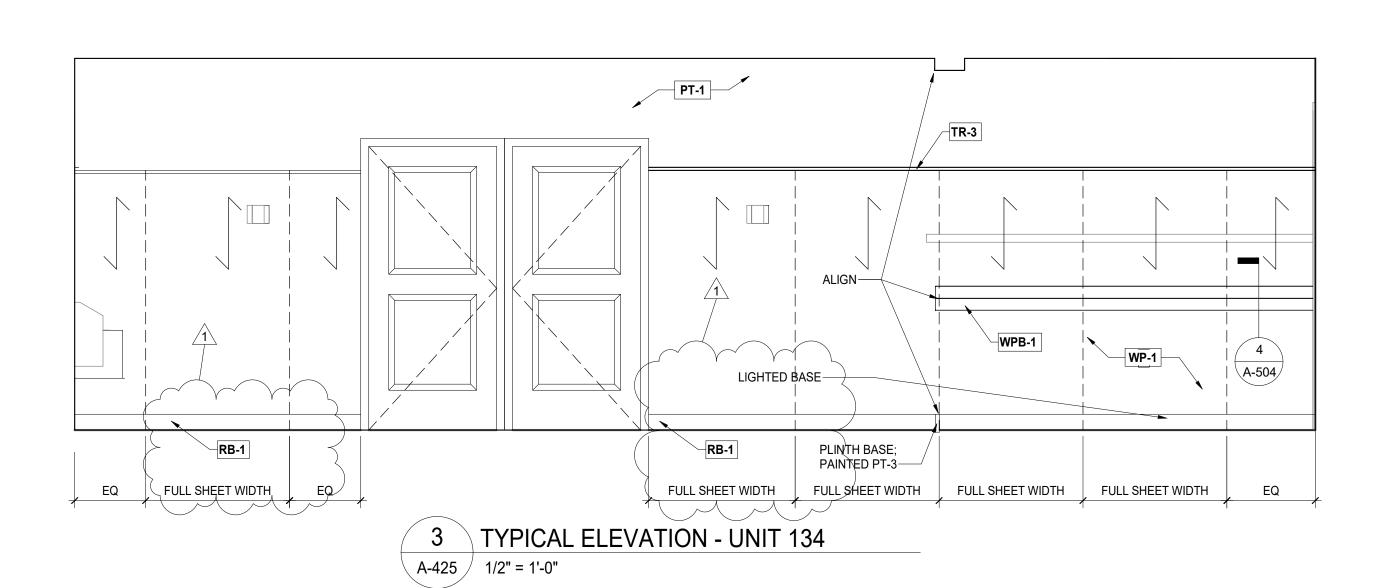
S

ENLARGED PLANS AND RCPS - UNITS

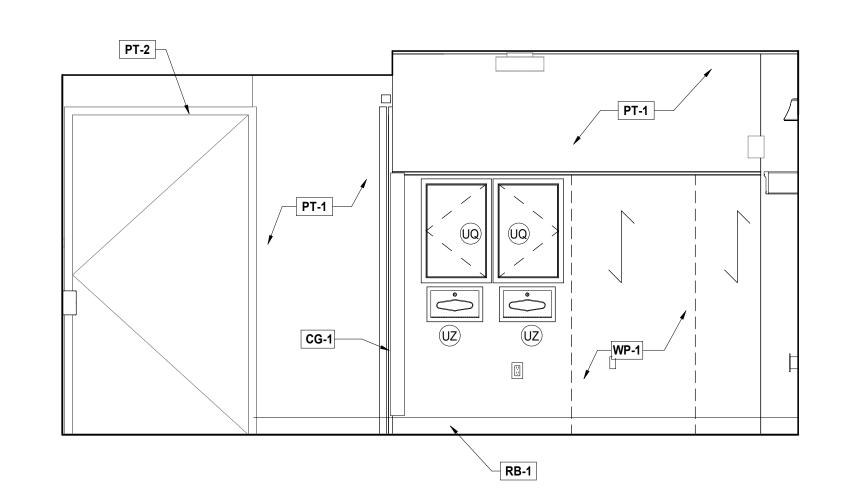
0" 2'-0" 4'-0' 1/4" = 1'-0"



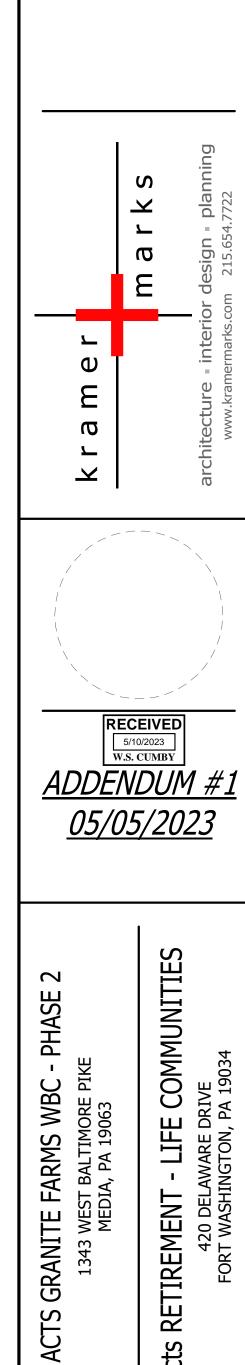


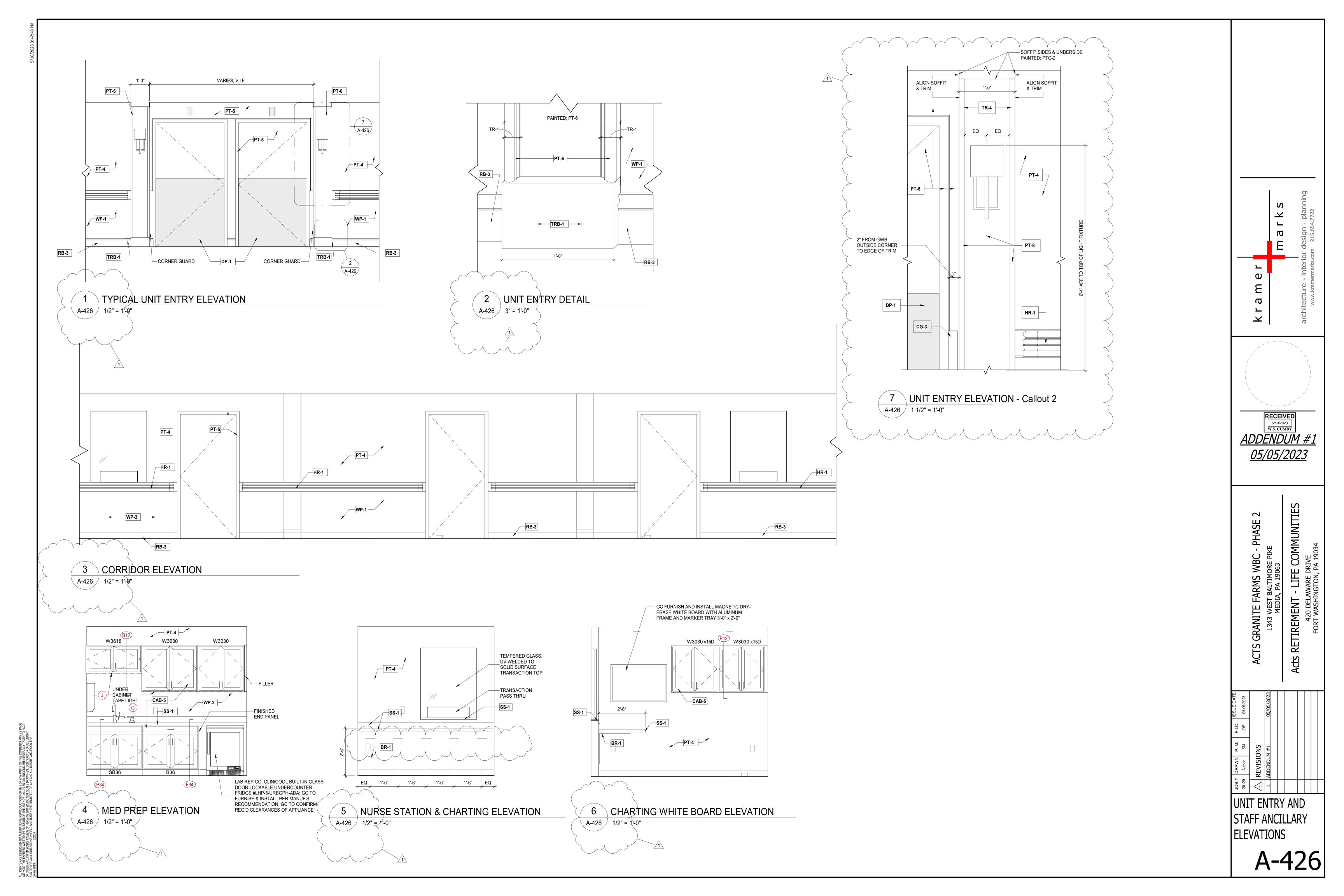


A-425 1/2" = 1'-0"

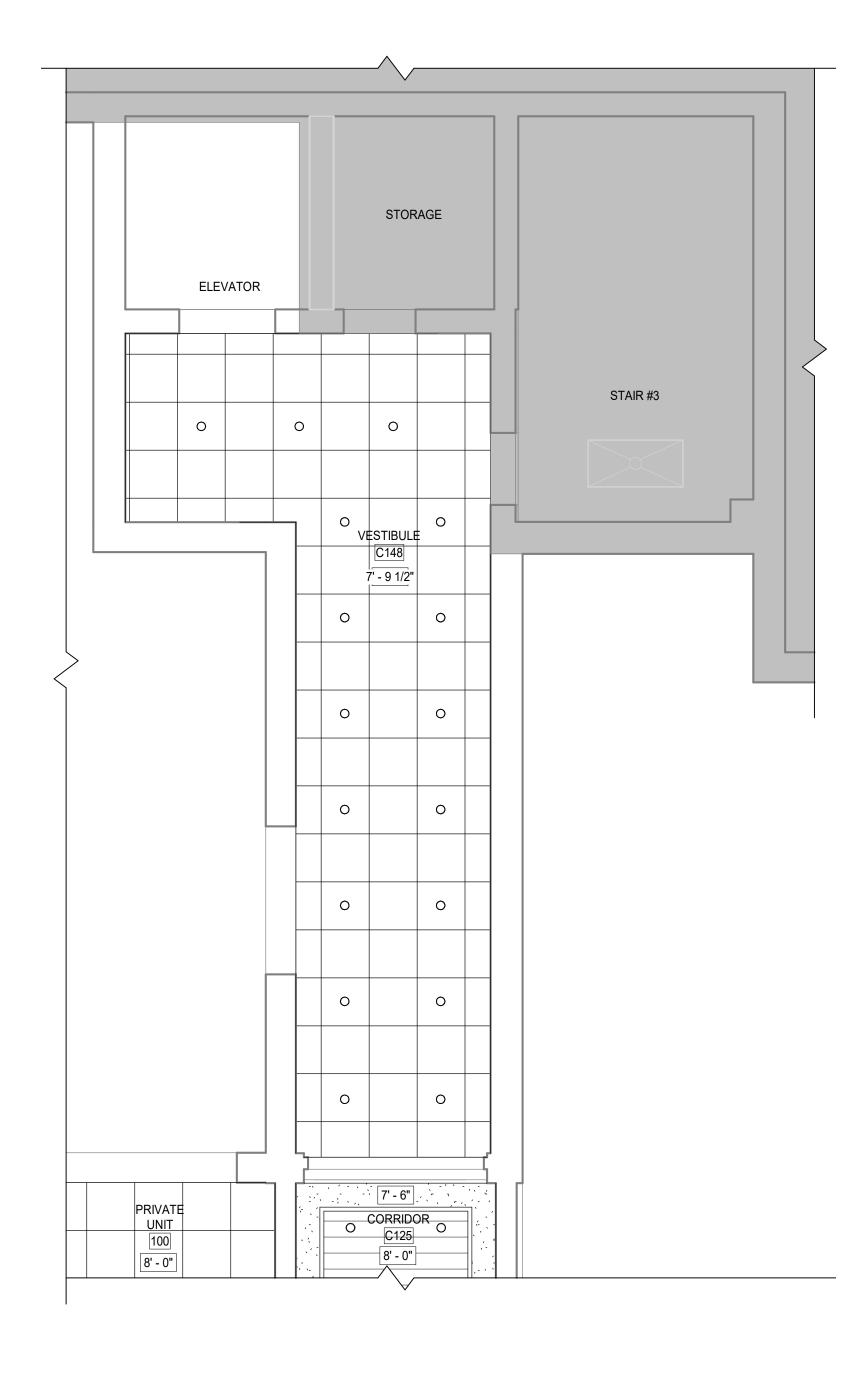










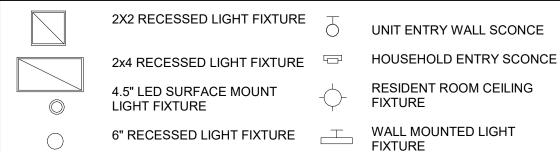


2 ELEVATOR LOBBY & CORRIDOR RCP

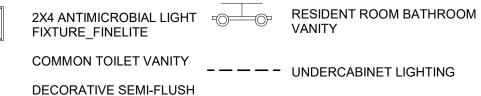
1/4" = 1'-0"

- A. REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- B. REFER TO MEP DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL NEW & EXISTING FIXTURE INFORMATION.
- C. ALL FIXTURES AND DEVICES TO BE CENTERED WITHIN CEILING PANELS WHERE APPLICABLE.
- D. PROVIDE COORDINATION PLANS SHOWING ALL MEP/AVL ITEMS & STRUCTURE.
- E. PATCH EXISTING CEILINGS/SOFFITS AS REQ'D WHERE MECHANICAL SUBCONTRACTOR HAS REMOVED EXISTING GRILLS, REGISTERS, DIFFUSERS, ETC. MAINTAIN EXISTING RATED CONSTRUCTION.
- PATCH EXISTING CEILINGS/SOFFITS AS REQ'D FOR THE MECHANICAL SUBCONTRACTOR TO CAP EXISTING DUCTWORK.
- CONTRACTOR TO RELOCATE EXISTING CEILING ELEMENTS TO ACCOMODATE NEW CEILING TILE & GRID. ALL TO COMPLY W/ APPLICABLE FIRE & SAFETY CODES.
- CONTRACTOR TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS NOT SHOWN IN PLAN.
- LIGHTING FIXTURES TO BE SUPPORTED FROM STRUCTURE ABOVE. CONTRACTOR TO COORDINATE MOUNTING TYPE TO CEILING TYPE: DRYWALL OR LAY-IN SURFACE,
- CONFIRM ACP SPECIFICATION COMPLIES W/ LOCAL BOARD OF HEALTH REQUIREMENTS WHERE APPLICABLE. IF DOES NOT COMPLY, CONTACT ARCHITECT.
- K. G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS.
- ALL CUT CEILING TILES TO BE PRIMED AND PAINTED.
- G.C. TO ALLOW FOR ADDITIONAL COORDINATION OF CEILING ELEMENTS NOT SHOWN ON PLAN.
- N. G.C. TO RE-LOCATE EXISTING CEILING ELEMENTS TO ACCOMMODATE NEW CEILING TILE AND GRID. ALL TO COMPLY WITH APPLICABLE FIRE AND SAFETY CODES.
- RELOCATION OF SPRINKLER HEADS SHALL BE PERFORMED BY SPRINKLER SUB-CONTRACTOR AND SHOULD COMPLY W/ ALL FIRE & SAFETY CODES.

COMMON LIGHT FIXTURE LEGEND







LIGHT FIXTURE

— BL— — BASEBOARD LIGHT FIXTURE

CEILING TYPE LEGEND

INDICATES EXISTING
GYPSUM BOARD
CEILINGS OR SOFFITS
INDICATES NEW SUSPENDED 2X2
ACOUSTIC CEILING TILE WITH
GRID (SEE I-601 FOR MORE INFO.)
INDICATES NEW
INDICATES NEW SCRUBBABLE

GYPSUM BOARD
CEILINGS OR SOFFITS

INDICATES EXISTING
SUSPENDED ACOUSTIC
CEILING TILE WITH GRID

INDICATES NEW SCRUBBABLE
SUSPENDED 2X2 ACOUSTIC
CEILING TILE AND GRID (SEE ID0.1
FOR MORE INFO.)

INDICATES SUSPENDED WOOD
PANEL CEILING (SEE ID0.1 FOR

NEW WORK KEYNOTES - RCP'S (INDICATED THUS: X)

- 1 ALIGN SOFFIT WITH WALL. ALL SIDES OF SOFFIT TO BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
- TAINTED TO MATCH THE ADJACENT WALL COLOR.

2 VANITY LIGHT TO BE CENTERED ON SINK BELOW.

- 3 FURNISH AND INSTALL NEW PRIVACY CURTAIN TRACK.
- 4 INSTALL NEW SHOWER CURTAIN TRACK.
- 5 INSTALL NIGHT LIGHT @ 1'-0" A.F.F.
- 6 UNDERCABINET LIGHTING.
- 7 UPPER CABINETS BELOW SOFFIT COORDINATE WITH MILLWORK
- 8 EXIST. RATED ATTIC ACCESS @ UNDERSIDE OF EXIST. TRUSS ABOVE NEW ACT CEILING
- 9 INFILL CROWN MOLDING TO MATCH ADJACENT. MATCH PROFILE, HEIGHT, SPECIES, STAIN AND FINISH.

TILE DESIGNATION

FLOOR PLAN GENERAL NOTES

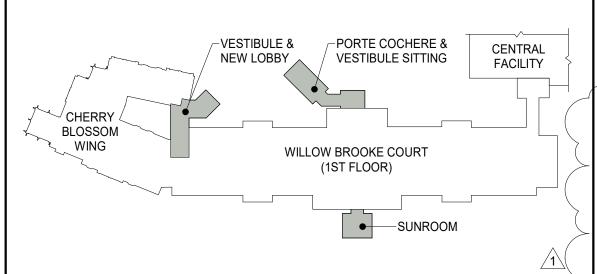
- REFER TO A-001 FOR GENERAL NOTES RELATED TO THE SCOPE OF WORK.
- 2. NOTIFY ARCHITECT IF UNCERTAIN AS TO THE STARTING POINT OF A DIMENSION. UNLESS INDICATED OTHERWISE: DIMENSIONS FOR EXISTING WALLS ARE TO THE FACE OF THE EXISTING FINISH; DIMENSIONS TO NEW WALLS ARE TO THE FACE OF MASONRY, FACE OF STUD, OR CENTERLINE OF COLUMN; DIMENSIONS TO EXTERIOR OPENINGS ARE TO THE ROUGH OPENING OR TO THE CENTERLINE OF THE SYSTEM. (EXCEPTION: DIMENSIONS NOTED "CLR." OR "MIN." ARE TO THE FINISHED SURFACE.)
- 3. FOR INFORMATION ON WALL ASSEMBLIES, INCLUDING DEFAULT TYPES, REFER TO DRAWING SERIES "A0".
- THE OWNER WILL BE RESPONSIBLE FOR REMOVING & RE-HANGING ALL PICTURES AND PAINTINGS
- EXISTING CLEANOUTS TRAPS TO REMAIN. G.C. TO REMOVE AND CLEAN TRAP GRILLS & REINSTALL. G.C. TO MAKE CERTAIN ALL CLEAN OUTS ARE ACCESSIBLE AFTER INSTALLATION OF FLOOR FINISH.
- G.C. TO PATCH & LEVEL FLOOR BEFORE INSTALLING NEW FLOOR FINISHES.
- G.C. TO VERIFY FIRE EXTINGUISHERS ARE LOCATED EVERY 75'-0" MAXIMUM IN CORRIDORS. G.C. TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS IF DISTANCE EXCEEDS 75'-0"
- 8. ALL EXISTING TO REMAIN DOOR FRAMES & DOORS ALONG WORK AREA TO BE SANDED AND PREPARED TO RECEIVE NEW PAINT.
- RESIDENTS ROOM/NAME SIGNS AND DIRECTION SIGNS TO BE PROVIDED BY OWNERS SIGN VENDOR(TYP.). G.C. TO COORDINATE & INSTALL.
- 10. G.C. TO INSTALL WATERPROOF MEMBRANE BEHIND TILE FLOORS & WALLS IN WET LOCATIONS.
- G.C. TO PATCH AND PREP WALLS TO RECEIVE NEW WALL FINISH. NEW WALL COVERING TO END AT INNER CORNERS. NO CUTS AT OUTER CORNER.
- 12. G.C. TO PROPERLY PROTECT ALL EXISTING FINISHES TO REMAIN
- 13. G.C. RESPONSIBLE TO REPAIR SURFACES BELOW & ABOVE THAT ARE DISTURBED IN ORDER TO INSTALL NEW FIXTURES.
- . G.C. TO REPLACE ANY DAMAGED OR MISSING EXPANSION CONTROL JOINTS COORDINATE WITH ARCHITECT FOR STYLE AND COLOR
- 15. G.C. TO PAINT EXISTING ELECTRICAL PANELS
- 16. PROVIDE PIPE WRAP AT ALL EXPOSED PIPING.
- 17. G.C. TO REPLACE ALL OUTLETS, SWITCHES, DATA JACKS AND COVER PLATES IN RENOVATED AREAS. COLOR TO BE CONFIRMED WITH ARCHITECT.
- 18. G.C. TO REPLACE ALL HVAC DIFFUSERS AND LOUVERS IN RENOVATED AREAS. COLOR TO BE CONFIRMED BY ARCHITECT.
- 19. G.C. TO CLEAN FIXTURES THAT WILL BE REUSED IN RENOVATED AREAS
- 20. COORDINATE NURSE CALL LOCATIONS W/ VENDOR
- 21. G.C. TO INSTALL NONSKID STRIPS AT ALL BATHTUBS & SHOWERS IF NOT PRESENT
- 22. G.C. TO VERIFY HEIGHTS OF ALL ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO INSTALLATION
- 23. THE NOTE ALIGN MEANS FINAL FINISHES OF ADJACENT WALLS ARE TO ALIGN.
- 24. GC TO CLEAN EXISTING WINDOW FRAMES, WINDOWS, DOORS & DOOR FRAMES THAT ARE EXISTING TO REMAIN.
- 25. G.C. TO PAINT EXISTING FIRE EXTINGUISHER CABINETS, HEATERS, AND ELECTRICAL PANELS.
- 26. G.C. RESPONSIBLE FOR FURNISH & INSTALLING ACCESS CONTROL DOOR HARDWARE & TYING INTO FACILITIES FIRE ALARM SYSTEM.
- 27. G.C. TO PROVIDE NEW BLINDS IN RESIDENT ROOMS (SEE ID DWGS).
- 28. G.C. TO PROVIDE FIRESTOPPING AT ANY EXISTING PENETRATIONS NOT PROPERLY

NEW WORK KEYNOTES - FLOOR PLANS

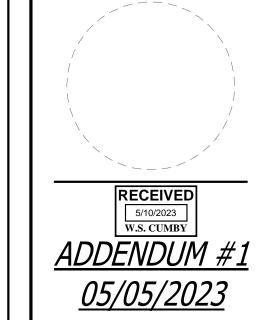
(INDICATED THUS: X)

- ALIGN NEW WALL OR PARTITION TO EXISTING WALL.
- PROVIDE CONDUIT IN WALL TO RUN WIRES FROM TV TO CONSOLE BELOW, COORDINATE W/ ELEC
- EXISTING DOOR/FRAME TO BE REFINISHED ON BOTH SIDES. INSTALL DOOR PROTECTION ON CORRIDOR SIDE AND PAINT AS PER ID DRAWINGS.
- 4 INSTALL HAT CHANNEL AND DRY WALL OVER EXISTING BRICK.
- INSTALL NEW ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 7 RELOCATE FIRE ANNUNCIATOR PANEL.
- 8 NEW HANDRAIL MATCH HEIGHT/PROFILE TO EXISTING. GC TO ABUT NEW HANDRAIL AGAINST EXISTING, SAND AND STAIN TO MATCH EXISTING STAIN AND FINISH. PROVIDE BLOCKING FOR NEW BRACKETS/HANDRAIL.

KEY PLAN



kramer rermarks.com 215.654.7722



GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063
TIREMENT - LIFE COMMUNITIES

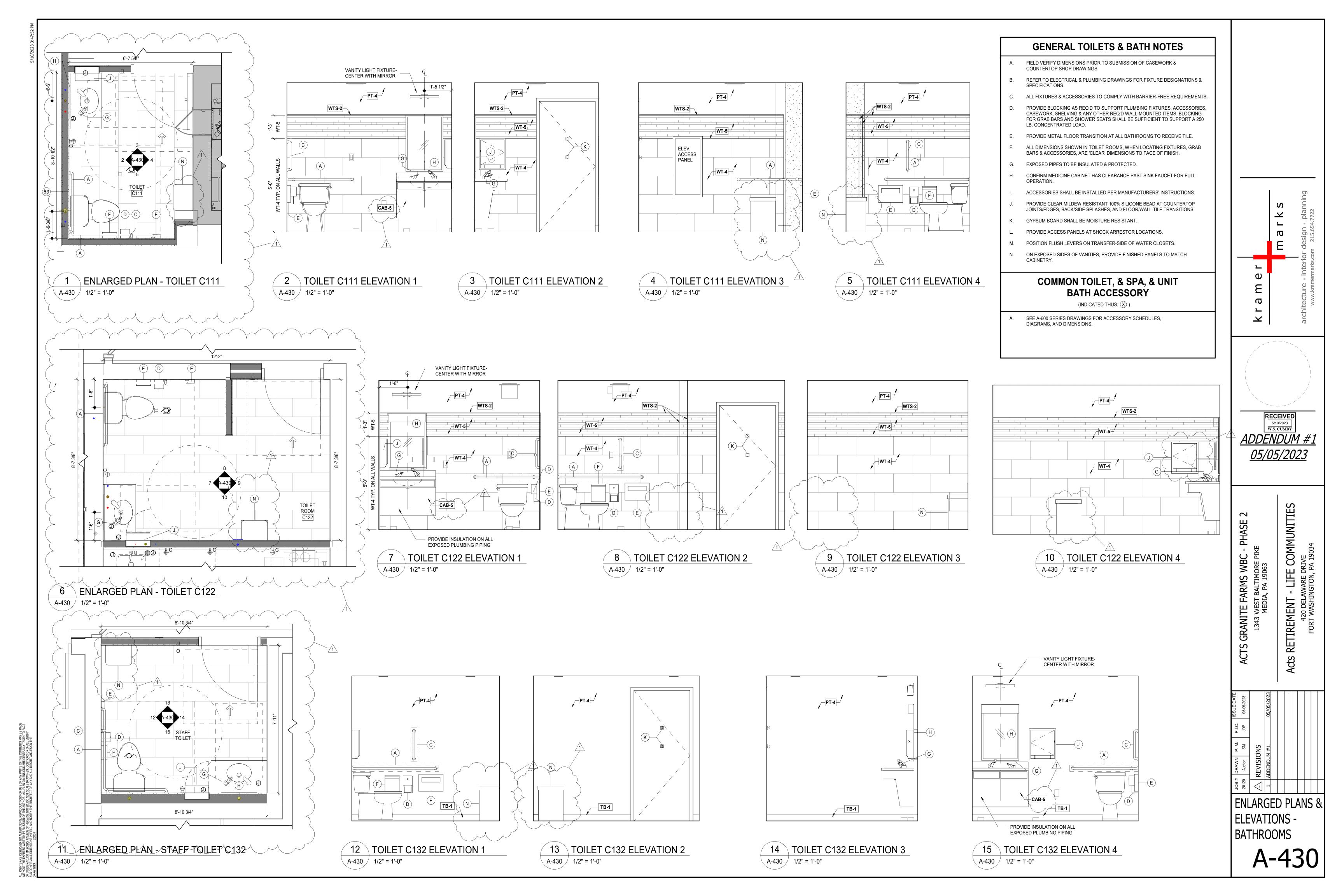
Acts RETIREMENT - L

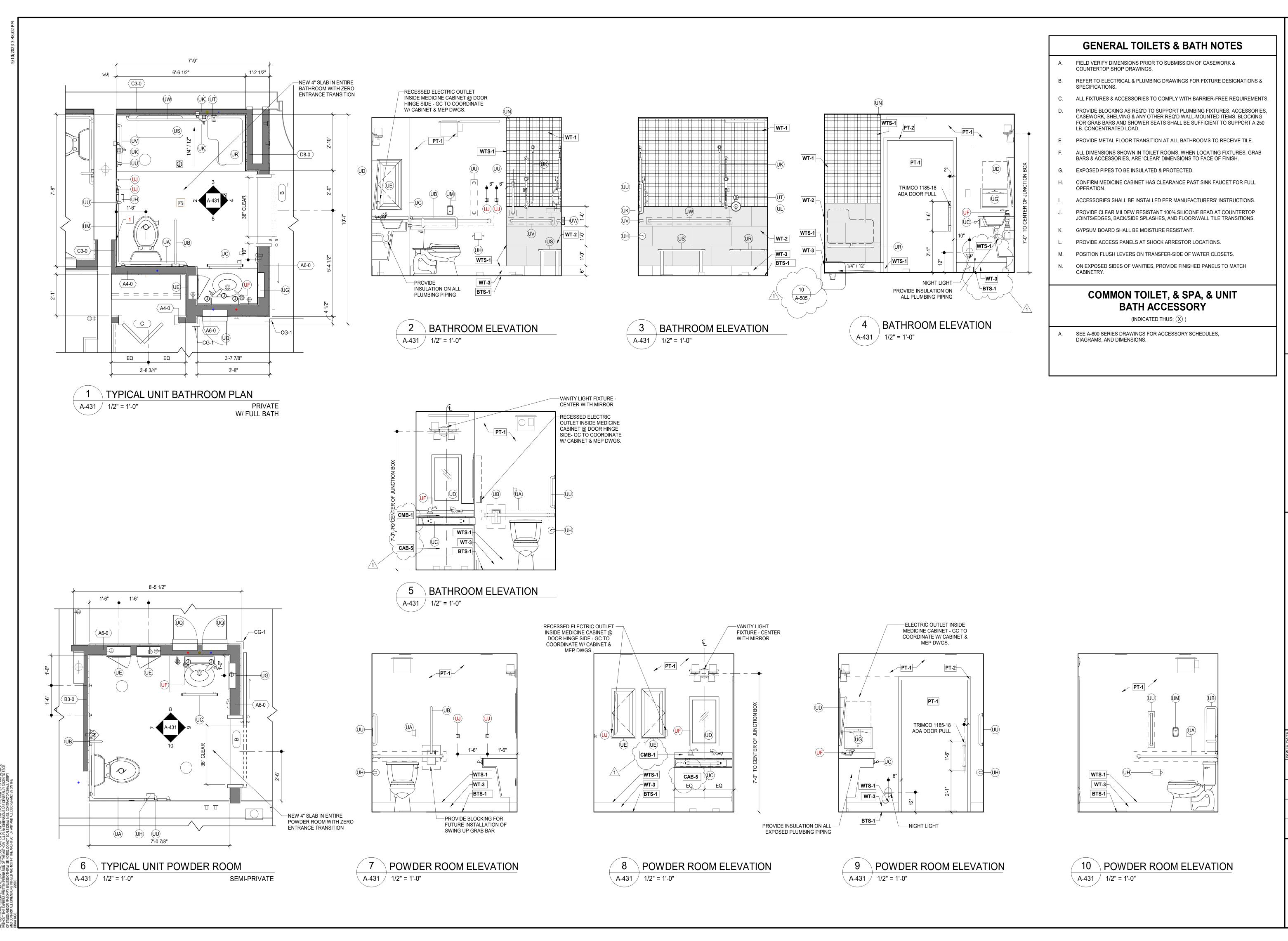
420 DELAWA
FORT WASHINGT

20 Author SM P.I.C. ISSUE DATE
20 Author SM JDP 05-05-2023
ADDENDUM #1 05/05/2023

ELEVATOR LOBBY AND CORRIDOR







kramer rerier design = planning www.kramermarks.com 215.654.7722

RECEIVED

5/10/2023
W.S. CUMBY

ADDENDUM #1

05/05/2023

GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063

Acts RETIREMENT - LIF

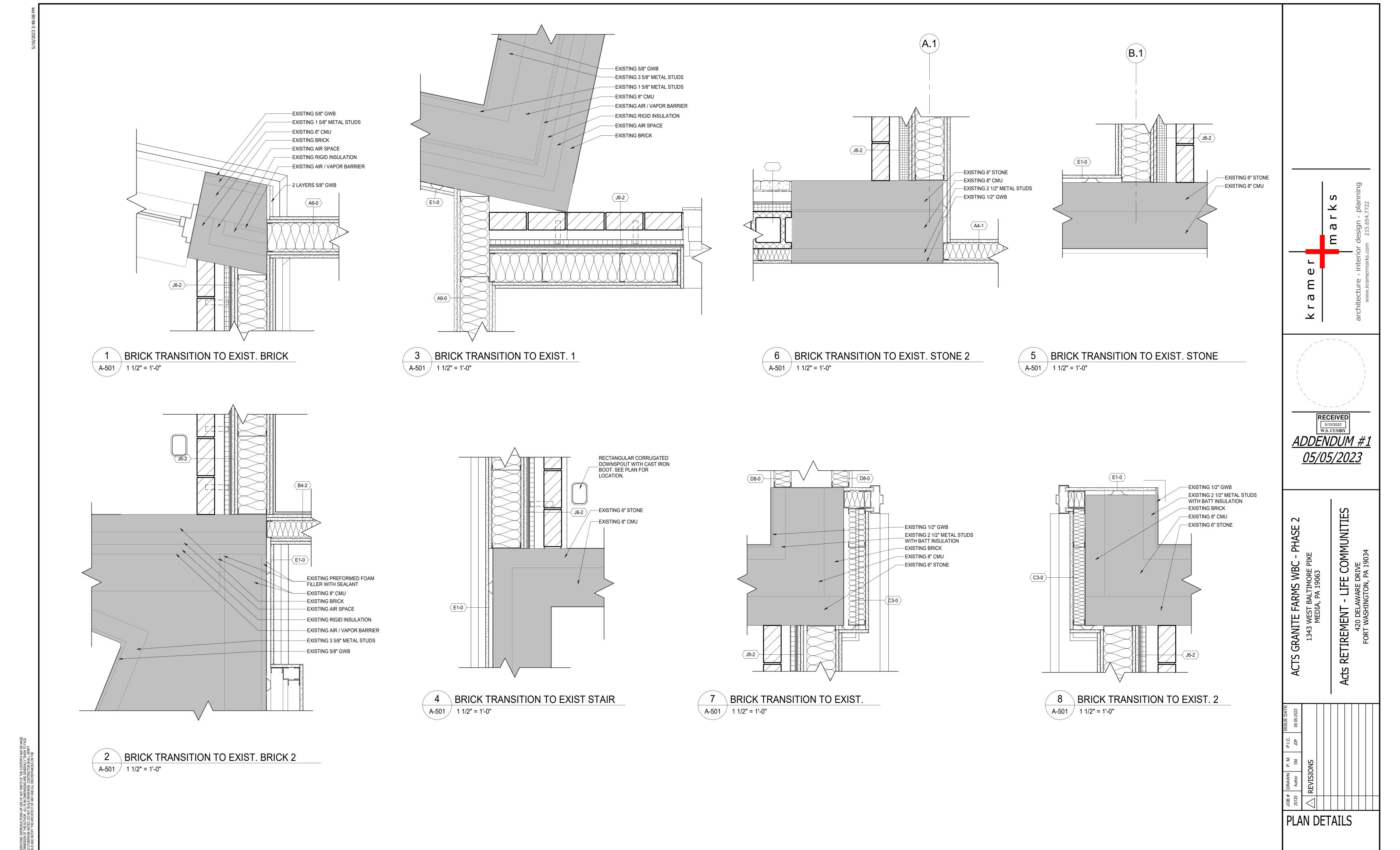
20120 Author SM JDP 05-05-2023

A REVISIONS

1 ADDENDUM #1 05/05/2023

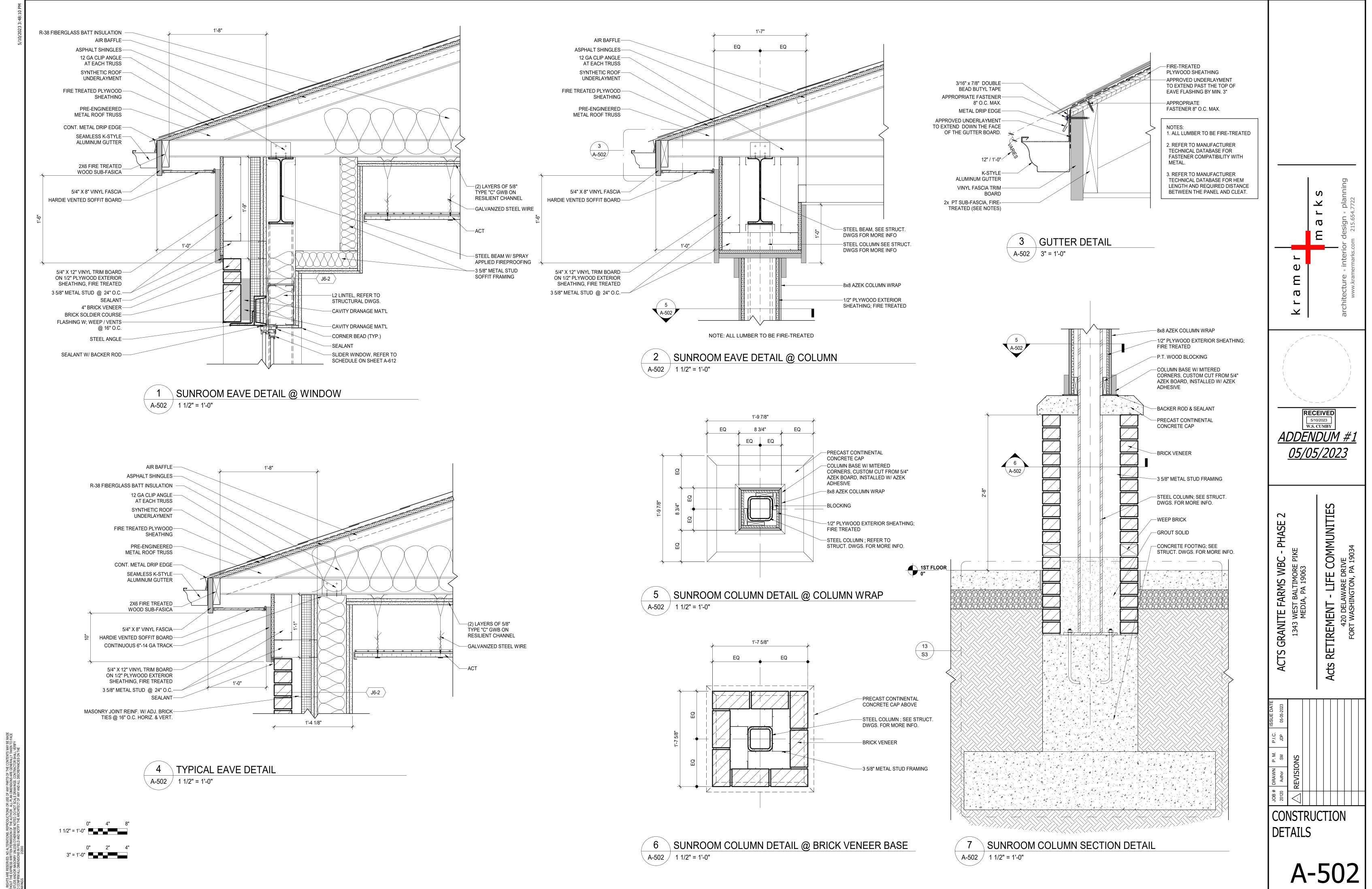
ENLARGED PLANS & ELEVATIONS - UNIT BATHROOMS

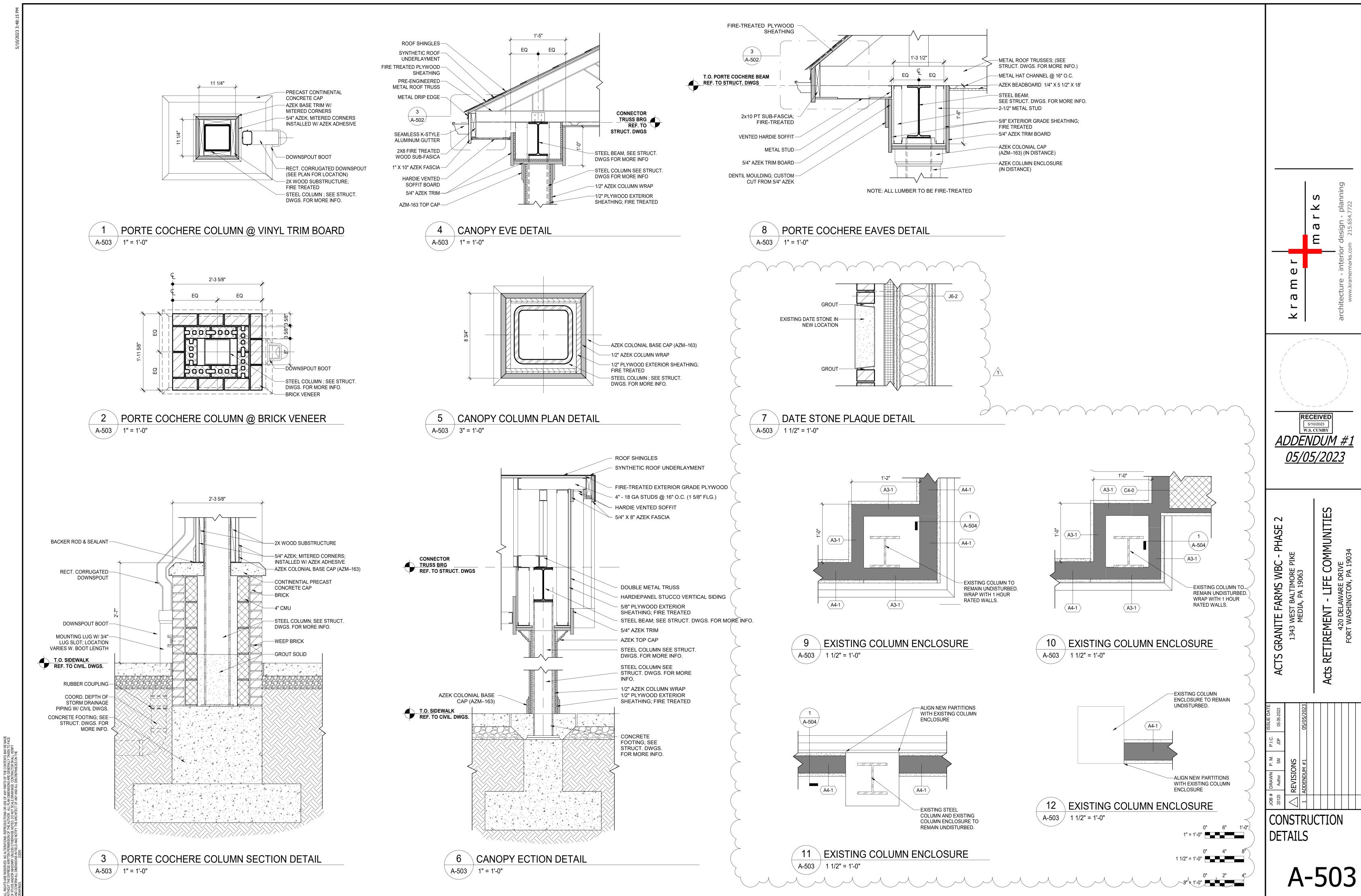
A-43

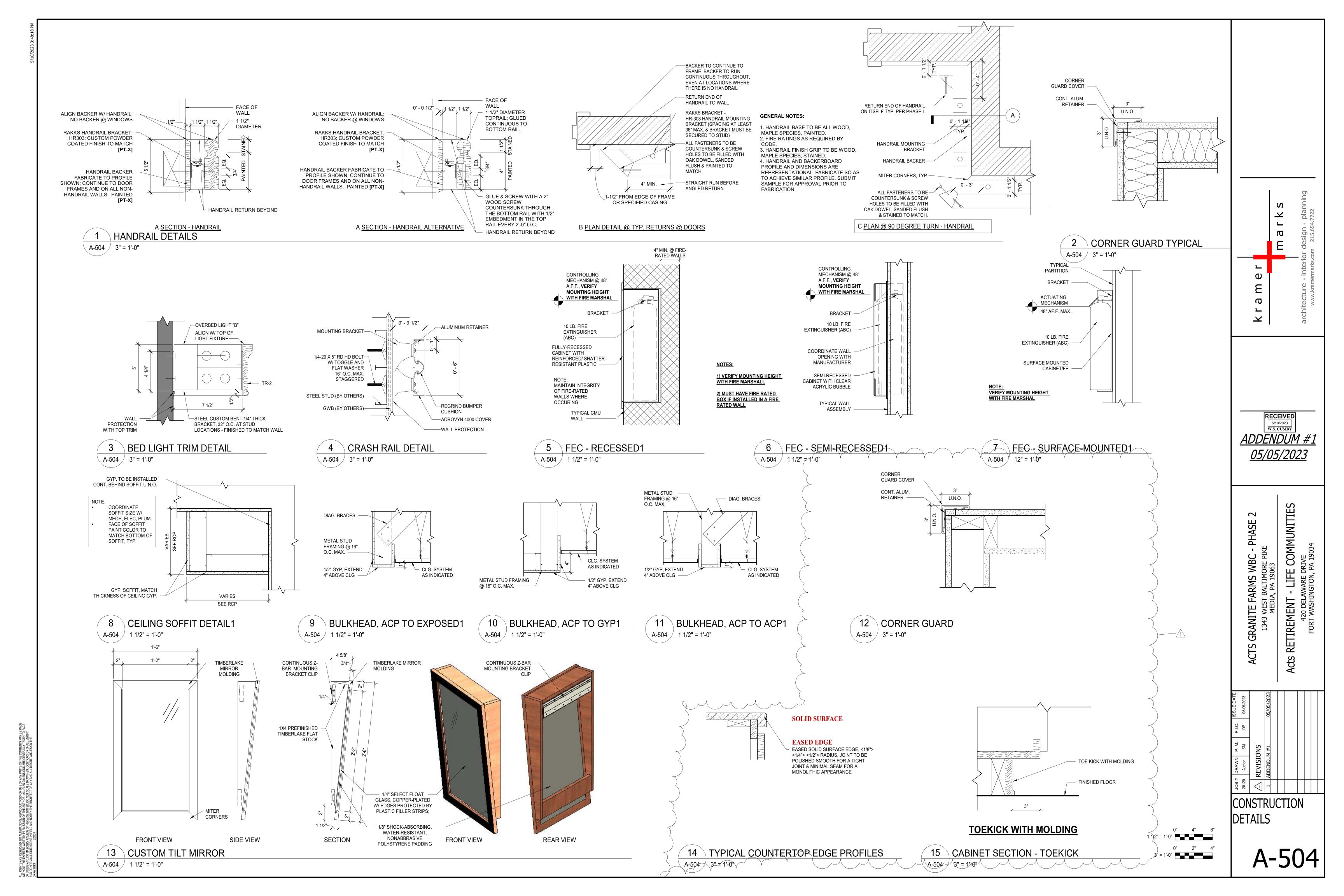


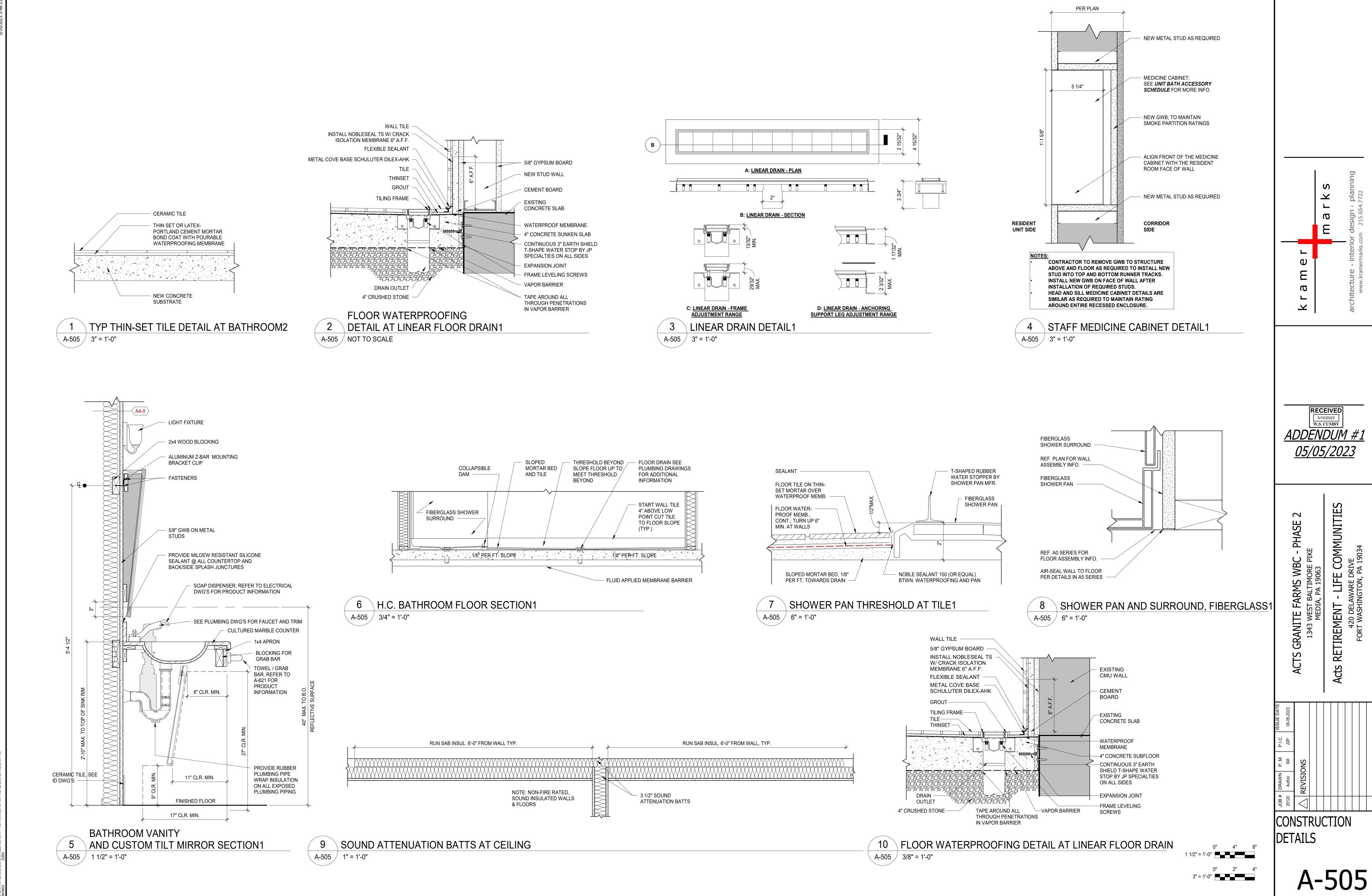
0" 8'-0" 16'-0" 1/16" = 1'-0"

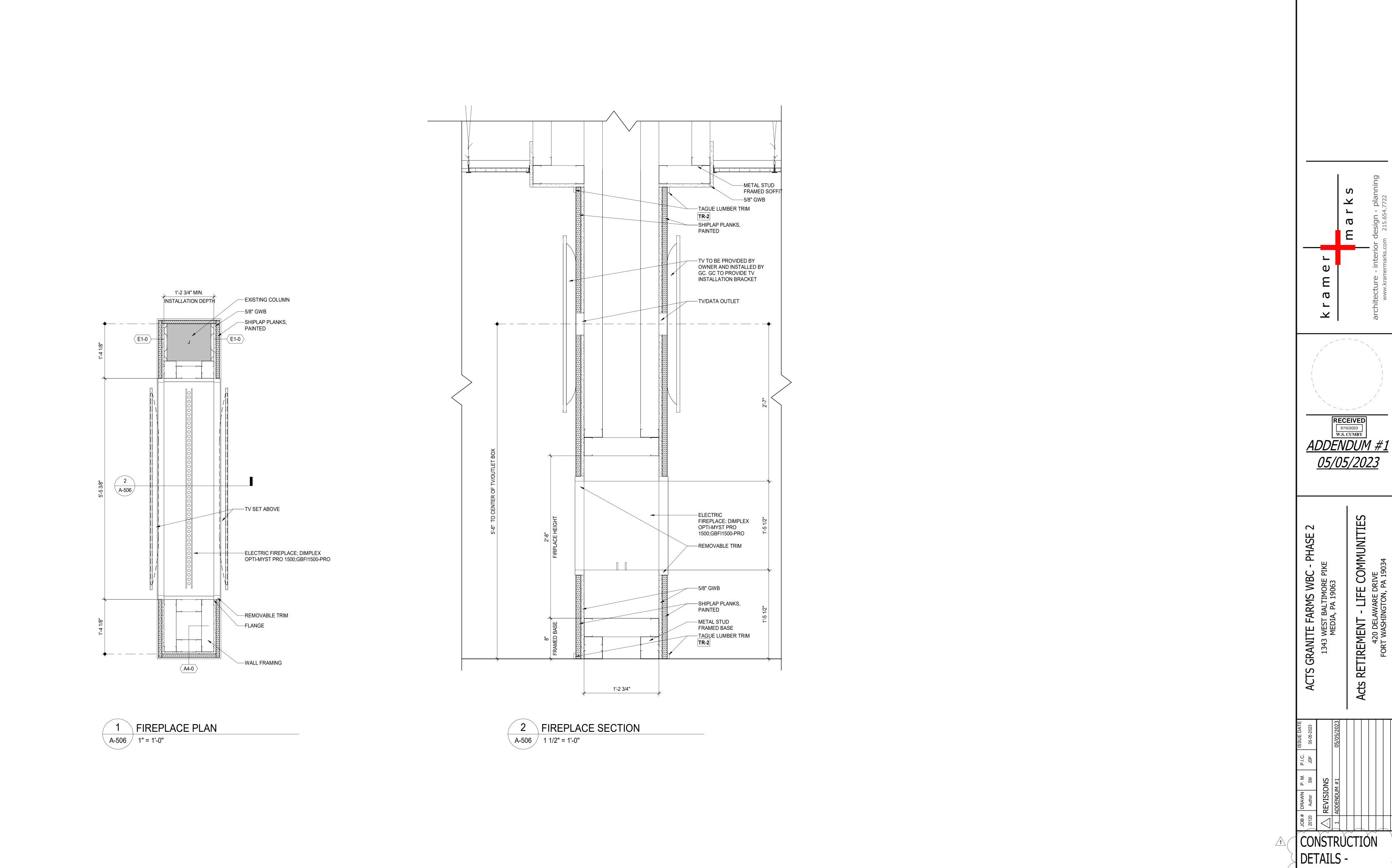
A-501









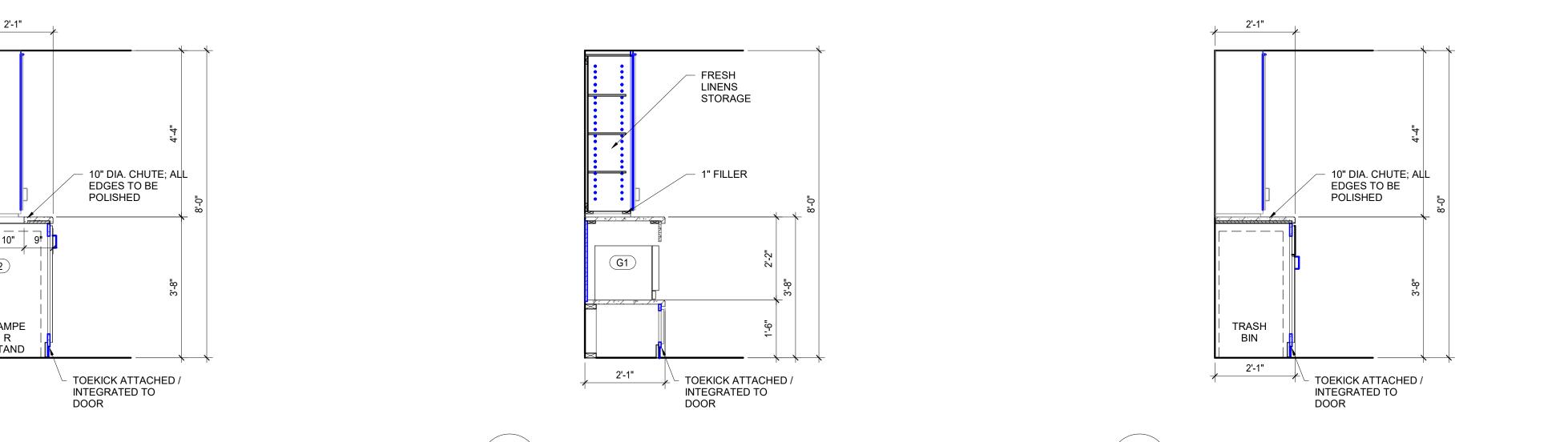


FIREPLACE

REFER TO FINISH SCHEDULE & FINISH PLAN FOR ALL SPECIFICATIONS

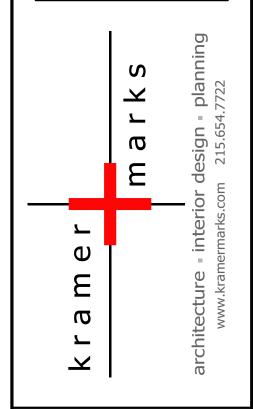
TYPICAL CASEWORK HARDWARE INSTALLATION

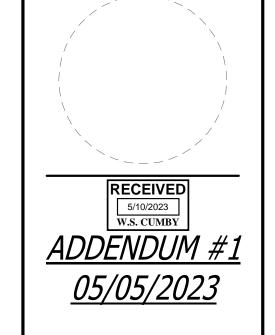
A-506a / 1" = 1'-0"



CASEWORK GENERAL NOTES

- PROVIDE SHOP DWG'S FOR ALL MILLWORK BASED ON FIELD DIMENSIONS. PROVIDE GROMMETS FOR ALL COUNTERTOP EQUIPMENT WHERE OUTLETS ARE NOT SHOWN
- ABOVE COUNTER HEIGHT. ALL SHELVING INSIDE CABINETS (NOT PRE-MANUFACTURED) SHALL HAVE A BLACK MELAMINE
- FINISH WITH PLASTIC LAMINATE EDGES & FLUSH MOUNT ADJACENT STANDARD BRACKETS. COORDINATE UNDER CABINET & COUNTER LIGHTING WITH ELECTRICAL CONTRACTOR TO
- CONCEAL WIRING. MILLWORK CONTRACTOR TO BE RESPONSIBLE FOR ALL NECESSARY ROUGH WOOD BLOCKING.
- GC TO BE RESPONSIBLE FOR REINFORCING METAL STUDS WITH WOOD STUDS FOR FLOOR TO CEILING VERTICALLY AT WALL-HUNG OVERHEAD CABINETS & SHELVING.
- COORDINATE ELECTRICAL OUTLET LOCATIONS IN FIELD & PROVIDE GROMMETS AS REQ'D. PROVIDE HEAVY DUTY FULL EXTENSION DRAWER GLIDES AT ALL DRAWERS.
- ALL DRAWER BASES TO BE 4 DRAWER, U.N.O. SHOP FINISH ALL PAINTED MILLWORK. COORDINATE FINISH WITH PAINT SUB-CONTRACTOR.
- ALL CABINETRY TO BE ALL PLYWOOD CONSTRUCTION, U.N.O. ALL COUNTERTOPS TO HAVE AN EASED EDGE, U.N.O.
- SHIM CABINETS AS REQ'D FOR LEVEL INSTALLATION. PROVIDE SHOE MOLDING OR RESILIENT BASE AS SPECIFIED.
- FOR CABINET CONSTRUCTION TYPE, REFER TO FINISH SCHEDULE, TYP. ALL MILLWORK TO HAVE MITERED RETURNS FOR CASING, WINDOW APRONS, ETC. WHERE
- ALL STAINED WOOD TO BE STAIN GRADE; POPLAR IS NOT AN ACCEPTABLE SPECIES. MILLWORK TO BE INSTALLED DIRECTLY ON TOP OF RESILIENT OR TILE FLOORING TO BE
- CONSTRUCTED OF EXTERIOR GRADE PLYWOOD U.N.O. MILLWORK TO BE INSTALLED DIRECTLY ON TOP OF RESILIENT OR TILE HAVE CLEAR 100%
- MILDREW RESISTANT SILICONE BEAD AT FLOOR / MILLWORK TRANSITION, TYP.
- REFER TO ARCHITECTURAL PLAN FOR WALL CONSTRUCTION. 20. GC TO PROVIDE ALL WALL BLOCKING AS REQ'D.

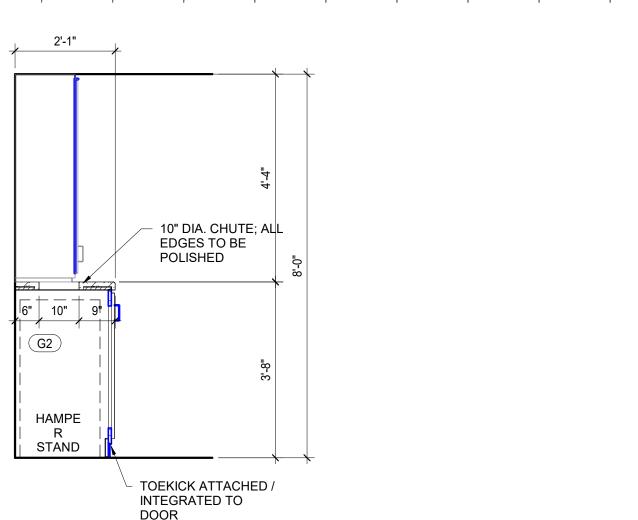




COMMUNITIES ACTS GRANITE FARMS WBC - 1343 WEST BALTIMORE PIKE RETIREMENT

MILLWORK & **CASEWORK** DETAILS

0" 8'-0" 16'-0" 0" 8'-0" 16'-0" 1/16" = 1'-0"

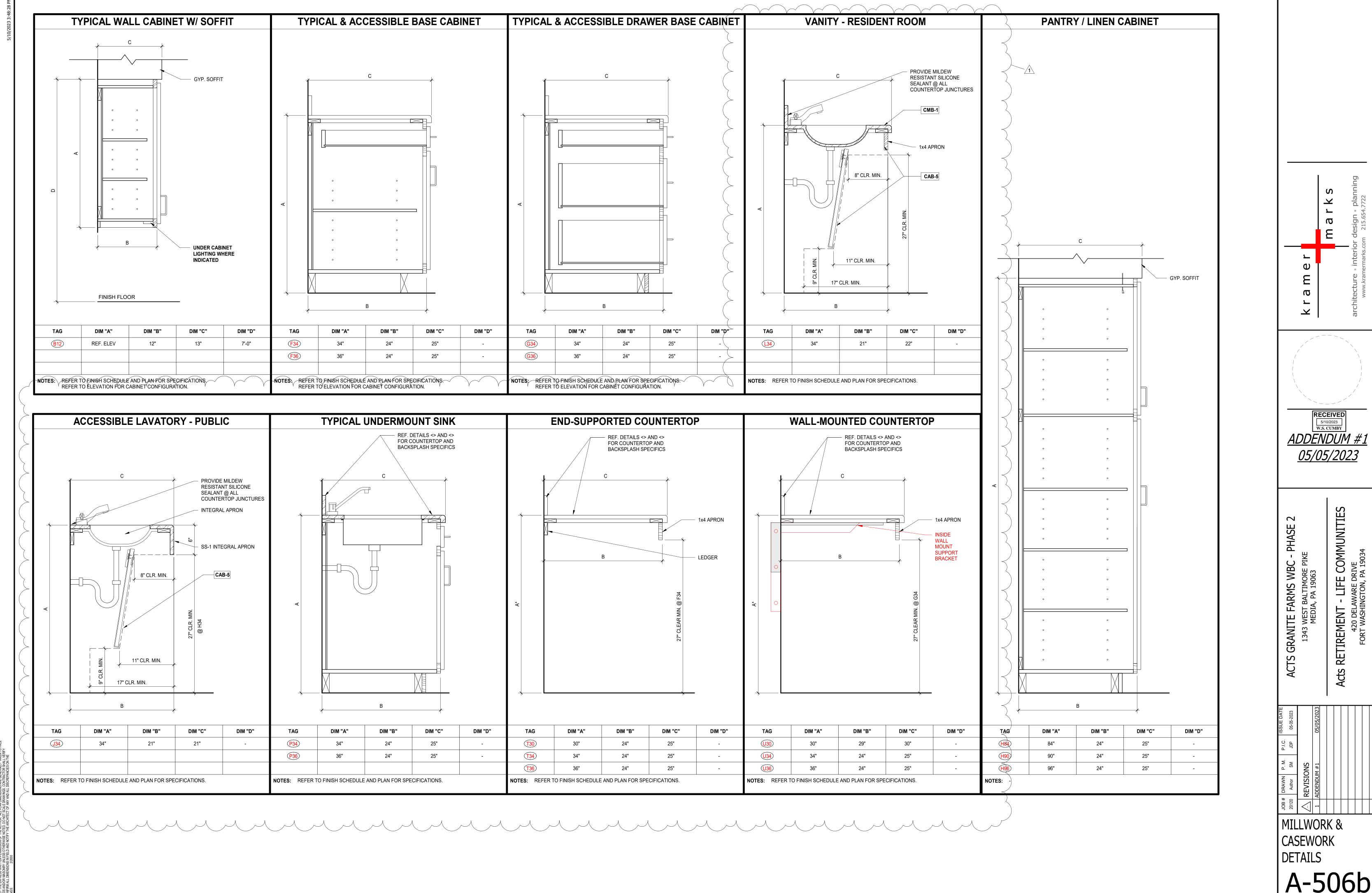


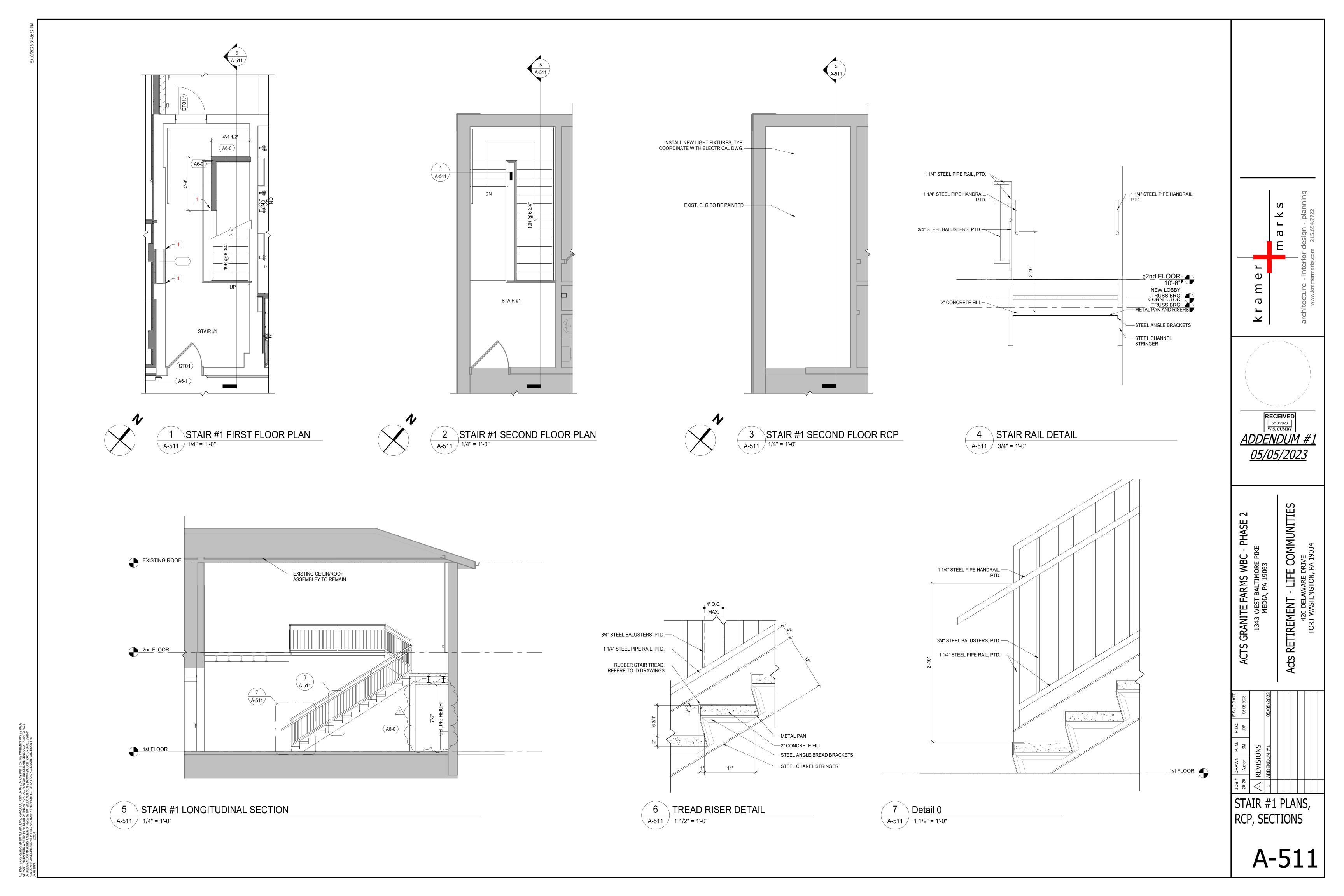
4 CASEWORK SECTION DETAIL @ TRASH BIN

CASEWORK SECTION DETAIL @ SOILED LINEN HAMPER

3 CASEWORK SECTION DETAIL @ TOWEL WARMER

A-506a 1/2" = 1'-0"





WD HDPL HM PTD 1 H-1 J-1

--- --- WD PTD

PR 3'-8"x7'-0"x1-3/4" | F | EX | EX. | EX | PTD | EX | EX

9.0 90 MIN.

EX.

CLOSER: CARD SWIPE AND ELECTRONIC STRIKE

CASED OPENING; REFER TO FINISH SCHEDULE FOR CASING INFO.

SALVAGED DOOR, FRAME, HARDWARE TO BE INSTALLED

CASED OPENING; REFER TO FINISH SCHEDULE FOR CASING INFO.

OPERATOR, LOW PROFILE PANIC;

SIDES AND ALL EDGES EXISTING DOOR FACE.

1/4" = 1'-0"

WIDTH AS

SCHEDULED

WIDTH AS

SCHEDULED

WIDTH AS

SCHEDULED

WIDTH AS

SCHEDULED

WIDTH AS

- AT LABELED DOORS

REQUIRED BY FIRE-

, 10" / DOOR WIDTH AS SCHEDULED \ 10" 2"

FINAL SIZE AND

GLASS TYPE AS

RATING LABEL

TYPE-N1

NARROW LITE

SCHEDULED

REF FLR PLANS DOOR WIDTH DOOR WIDTH JAS SCHEDULĘD 2" 2'-4" AS SCHEDULED 2" 5'-0" TEMPERED TEMPERED GLAZING GLAZING

WIDTH AS

SCHEDULED

TYPE-BF-F

BIFOLD FLUSH

DOOR WIDTH AS SCHEDULED 2"

<u>4</u>

DOOR AND FRAME GENERAL NOTES

- AT HINGED DOORS, PROVIDE A MINIMUM OF (3) HINGES PER DOOR SLAB FOR DOOR'S UP TO 7'-0" TALL, AND (4)HINGES PER DOOR SLAB FOR DOORS ABOVE 7'-0" TALL. AT FRAMES, PROVIDE (3) JAMB ANCHORS AND (1) FLOOR ANCHOR PER JAMB,
- LOUVERS IN DOORS TO BE WIDTH OF DOOR LESS 12". HEIGHT TO BE DETERMINED BY VENTILATION REQUIREMENTS. REFERTO MECH. DWGS. FOR SQUARE FEET OF FREE
- TEMPERED GLASS TO BE USED AT NON-RATED DOORS & APPROPRIATE FIRE
 - PROTECTIVE GLAZING TO BE USED AT RATED DOORS U.N.O. VERIFY AND COORDINATE ALL DOOR HARDWARE REQUIREMENTS FOR ALL FRAMES INDICATED. SUMBITTALS ISSUED TO THE ARCHITECT SHALL REFLECT THIS FIELD-VERIFIED COORDINATION.
- ALL EXTERIOR DOORS TO RECEIVE THRESHOLDS, WEATHER STRIPPING & OVERHEAD RAII DRIP
- EXTERIOR DOORS/FRAMES INDICATED TO BE HOLLOW METAL SHALL BE GALVANIZED
- EXTERIOR DOOR PANELS SHALL BE INSULATED. R-11 MIN. EXTERIOR DOUBLE-PANE GLAZING SHALL HAVE A U-VALUE OF .265 OR BETTER. EXTERIOR TRIPLE-PANE
- GLAZING TO HAVE A U-VALUE OF .194 OR BETTER. FRAMES SHALL BE SHIMMED / CAULKED IN ACCORDANCE WITH ACCEPTED PRACTICES.
- HOLLOW METAL FRAMES IN MASONRY WALLS ARE TO BE GROUTED SOLID. WOOD DOOR EDGES SHALL BE FACTORY FINISHED AND SHALL MATCH DOOR FACE
- VENEER AND FINISH. VERIFY ALL DOOR UNDERCUT AND LOUVER LOCATIONS WITH MECHANICAL
- COORDINATE WHERE DOORS / FRAMES REQUIRE CONDUITS OR WIRING INSTALLED
- DURING FRAME INSTALLATION FOR ELECTRICAL CONNECTIONS FOR LOCKS, STRIKES,
- 'B' LABEL DOORS WITH VISION LITES SHALL NOT EXCEED 100 SQ. IN. FIELD VERIFY DIMENSIONS OF EXISTING OPENINGS PRIOR TO BID AND PRIOR TO
- WHERE SCHEDULED TO BE REUSED, VERIEY CONDITION OF EXISTING DOOR PANELS. FRAMES, STRIKES, TRIM, HARDWARE, ETC. WHERE EXISTING ELEMENTS ARE UNSUITABLE FOR REUSE, PROVIDE NEW ELEMENTS TO MATCH. WHERE EXISTING FRAMES ARE TO RECEIVE NEW DOOR PANELS, MODIFY EXISTING ELEMENTS AS REQUIRED TO ACHIEVE PROPER FUNCTION.
- DOOR TRIM HAS BEEN OMITTED FROM MOST DOOR DETAILS IN THIS SERIES FOR CLARITY. REFER TO ID-SERIES DRAWINGS FOR TRIM LOCATIONS AND PROFILES. TYPICALLY SET EDGE OF TRIM BACK 1/4" FROM CASING. PROVIDE POWER WHERE REQUIRED FOR ELECTRIFIED DOOR HARDWARE. CONNECT

ACCESS CONTROL DOOR HARDWARE TO FIRE ALARM SYSTEM.

RECEIVED W.S. CUMBY 05/05/202

COMMUNITIES

ETIREMENT - L
420 DELAWA
FORT WASHINGT

 $\overline{\mathbf{Z}}$

 $\boldsymbol{\omega}$

DOOR SCHEDULE ABBREVIATIONS

AL ALUMINUM **AUTOMATIC OPENER** CARD READER EXISTING MANUFACTURER'S FINISH PTD PRIMED & PAINTED STL STEEL

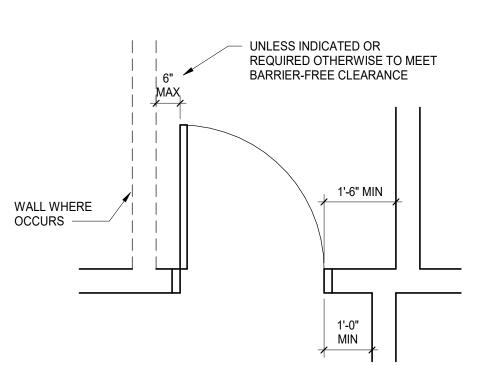
FGL FIBERGLASS HM HOLLOW METAL HW HOLLOW CORE WOOD KP KICK PLATE

SPEC SEE SPECIFICATION ST STAINED FINISH WD SOLID WOOD

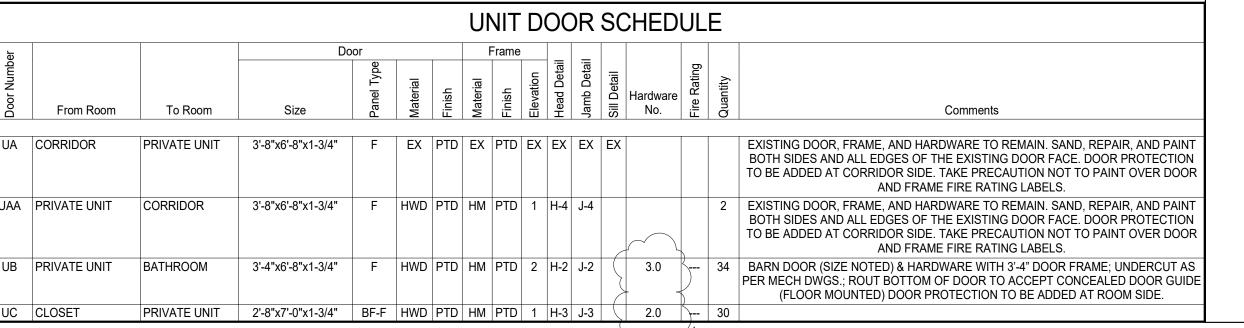
DOOR SCHEDULE COMMENTS

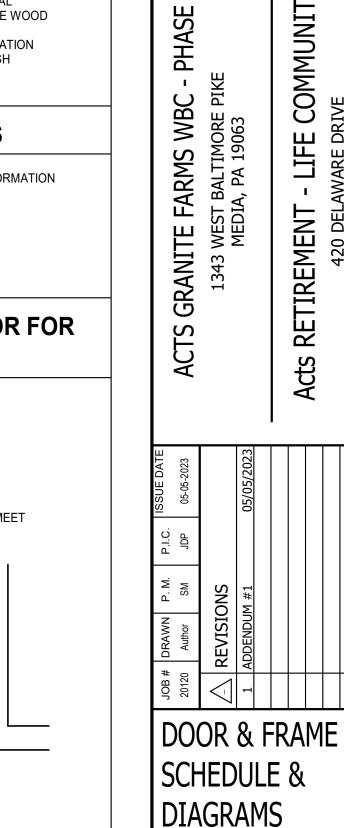
- REFER TO ALUMINIUM FRAME ELEVATIONS FOR ADDITIONAL INFORMATION CARD ACCESS SECTIONAL DOOR
- OVERHEAD DOOR UNDERCUT DOOR (1" 170 DEGREE HINGES LOUVER IN DOOR

MANEUVERING CLEARANCE AT DOOR FOR **BARRIER-FREE ACCESS**



			COMM	ON	I SF	PAC	EΙ	EXI	ST	ΊN	G ⁻	ΓΟ	REM	AIN	N DOOR SCHEDULE	
			Do	or				Frame								
Door Number	From Room	To Room	Size	Panel Type	Material	Finish	Material	Finish	Elevation	Head Detail	Jamb Detail	Sill Detail	Hardware No.	Fire Rating	Comments	
EXTER	IOR															
	LIVING / ACTIVITY	EXTERIOR	3'-6"x7'-0"x1-3/4"	EX			Т								BASE: EXISTING DOOR, FRAME, HW TO REMAIN	
			ADD-ALT	FG	AL	MF	AL	MF	1						ADD ALT: CLOSER; WANDERGUARD; KEYPAD; LOW PROFILE PANIC; ENTRY LOCK SET; ACT LOGO DETAIL	
C124.2	DINING	EXTERIOR	3'-6"x7'-0"x1-3/4"	EX											BASE: EXISTING DOOR, FRAME, HW TO REMAIN	
			ADD-ALT	FG	AL	MF	AL	MF	1						ADD ALT: CLOSER; WANDERGUARD; KEYPAD; LOW PROFILE PANIC; ENTRY LOCK SET; ACT LOGO DETAIL	
ST02.2	STAIR #2	EXTERIOR	3-8 x 7-0 Glass	EX											EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN	Г
INTERI	OR					'		'		•				•		
C125	MAIN CORRIDOR	CORRIDOR	PR 3'-7"x6'-8"x1-3/4"	' F	EX	PTD	EX	PTD		EX	EX	EX			EXISTING DOOR TO HAVE CLOSER, WAVE OPERATOR SWITCH, AUTOMATIC OPERATOR, AND WANDERGUARD	
C127	CORRIDOR	CLEAN LINEN	3'-0"x6'-8"x1-3/4"	F											EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN. SAND, REPAIR, AND PAINT BOTH SIDES AND ALL EDGES EXISTING DOOR FACE.	
C131	CORRIDOR	STAFF LOUNGE	3'-0"x6'-8"x1-3/4"	F											EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN. SAND, REPAIR, AND PAINT BOTH SIDES AND ALL EDGES EXISTING DOOR FACE.	
C133	CORRIDOR	CENTRAL STORAGE	3'-0"x6'-8"x1-3/4"	F	EX	PTD	EX	PTD		EX	EX	EX			EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN. SAND, REPAIR, AND PAINT BOTH SIDES AND ALL EDGES EXISTING DOOR FACE.	
C135	MAIN CORRIDOR	CORRIDOR	PR 3'-7"x6'-8"x1-3/4"	' F	EX	PTD	EX	PTD		EX	EX	EX			EXISTING DOOR TO HAVE CLOSER, WAVE OPERATOR SWITCH, AUTOMATIC OPERATOR, AND WANDERGUARD	
C136	CORRIDOR	JAN	3-0 x 6'-8" Solid													\vdash
C138	CORRIDOR	CLEAN LINEN	3-0 x 6'-8" Solid													1
C140.1	CORRIDOR	SPA	3'-8"x6'-8"x1-3/4"	F	EX	PTD	EX	PTD		EX	EX				EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN. SAND, REPAIR, AND PAINT BOTH SIDES AND ALL EDGES EXISTING DOOR FACE. DOOR PROTECTION TO BE ADDED AT CORRIDOR SIDE. TAKE PRECAUTION NOT TO PAINT OVER DOOR AND FRAME FIRE RATING LABELS.	
ST01	CORRIDOR	STAIR #1	3'-8"x6'-8"x1-3/4"	F	EX	PTD	EX	PTD	EX	EX	EX	EX			EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN. SAND, REPAIR, AND PAINT BOTH	





C145.1 NEW LOBBY

C146 CORRIDOR

C147.1 DINING

C146.1 NEW LOBBY

C145.2 NEW LOBBY

NEW LOBBY

BLOSSOM

CORRIDOR

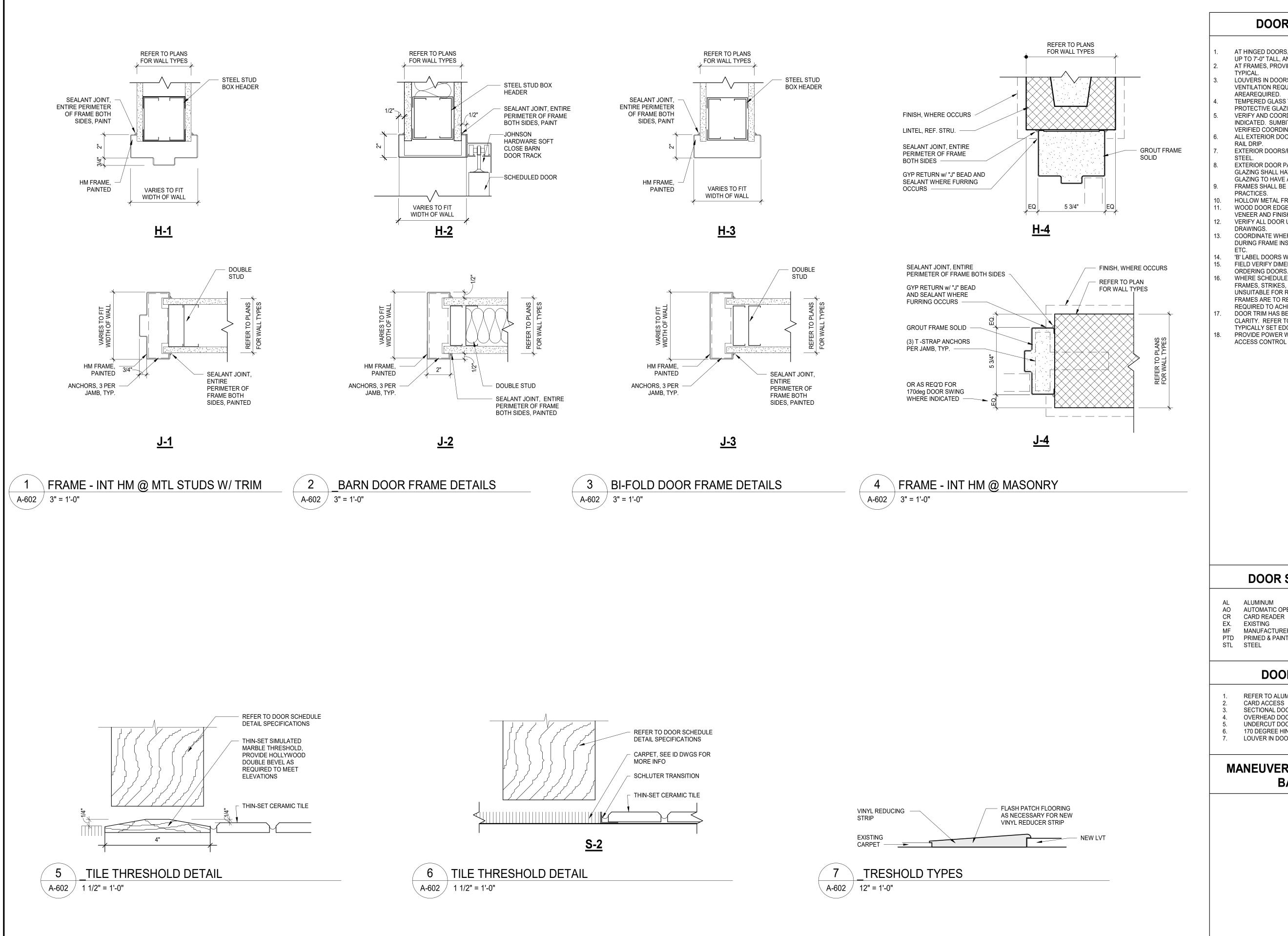
CORRIDOR

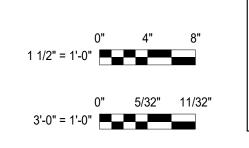
CORRIDOR

SUNROOM

9'-0"x7'-0"

CHERRY





DOOR AND FRAME GENERAL NOTES

- AT HINGED DOORS, PROVIDE A MINIMUM OF (3) HINGES PER DOOR SLAB FOR DOOR'S UP TO 7'-0" TALL, AND (4)HINGES PER DOOR SLAB FOR DOORS ABOVE 7'-0" TALL. AT FRAMES, PROVIDE (3) JAMB ANCHORS AND (1) FLOOR ANCHOR PER JAMB,
- LOUVERS IN DOORS TO BE WIDTH OF DOOR LESS 12". HEIGHT TO BE DETERMINED BY VENTILATION REQUIREMENTS. REFERTO MECH. DWGS. FOR SQUARE FEET OF FREE
- AREAREQUIRED. TEMPERED GLASS TO BE USED AT NON-RATED DOORS & APPROPRIATE FIRE
- PROTECTIVE GLAZING TO BE USED AT RATED DOORS U.N.O. VERIFY AND COORDINATE ALL DOOR HARDWARE REQUIREMENTS FOR ALL FRAMES INDICATED. SUMBITTALS ISSUED TO THE ARCHITECT SHALL REFLECT THIS FIELD-VERIFIED COORDINATION.
- ALL EXTERIOR DOORS TO RECEIVE THRESHOLDS, WEATHER STRIPPING & OVERHEAD RAIL DRIP.
- EXTERIOR DOORS/FRAMES INDICATED TO BE HOLLOW METAL SHALL BE GALVANIZED
- EXTERIOR DOOR PANELS SHALL BE INSULATED, R-11 MIN. EXTERIOR DOUBLE-PANE GLAZING SHALL HAVE A U-VALUE OF .265 OR BETTER. EXTERIOR TRIPLE-PANE
- GLAZING TO HAVE A U-VALUE OF .194 OR BETTER. FRAMES SHALL BE SHIMMED / CAULKED IN ACCORDANCE WITH ACCEPTED PRACTICES.
- HOLLOW METAL FRAMES IN MASONRY WALLS ARE TO BE GROUTED SOLID. WOOD DOOR EDGES SHALL BE FACTORY FINISHED AND SHALL MATCH DOOR FACE
- VENEER AND FINISH. VERIFY ALL DOOR UNDERCUT AND LOUVER LOCATIONS WITH MECHANICAL
- COORDINATE WHERE DOORS / FRAMES REQUIRE CONDUITS OR WIRING INSTALLED DURING FRAME INSTALLATION FOR ELECTRICAL CONNECTIONS FOR LOCKS, STRIKES,
- 'B' LABEL DOORS WITH VISION LITES SHALL NOT EXCEED 100 SQ. IN.
- FIELD VERIFY DIMENSIONS OF EXISTING OPENINGS PRIOR TO BID AND PRIOR TO ORDERING DOORS. WHERE SCHEDULED TO BE REUSED, VERIFY CONDITION OF EXISTING DOOR PANELS, FRAMES, STRIKES, TRIM, HARDWARE, ETC. WHERE EXISTING ELEMENTS ARE
- REQUIRED TO ACHIEVE PROPER FUNCTION. DOOR TRIM HAS BEEN OMITTED FROM MOST DOOR DETAILS IN THIS SERIES FOR CLARITY. REFER TO ID-SERIES DRAWINGS FOR TRIM LOCATIONS AND PROFILES. TYPICALLY SET EDGE OF TRIM BACK 1/4" FROM CASING.
- PROVIDE POWER WHERE REQUIRED FOR ELECTRIFIED DOOR HARDWARE. CONNECT ACCESS CONTROL DOOR HARDWARE TO FIRE ALARM SYSTEM.

DOOR SCHEDULE ABBREVIATIONS

DOOR SCHEDULE COMMENTS

REFER TO ALUMINIUM FRAME ELEVATIONS FOR ADDITIONAL INFORMATION

MANEUVERING CLEARANCE AT DOOR FOR

BARRIER-FREE ACCESS

FGL FIBERGLASS HM HOLLOW METAL

KP KICK PLATE

HW HOLLOW CORE WOOD

SPEC SEE SPECIFICATION

ST STAINED FINISH

WD SOLID WOOD

ALUMINUM

AUTOMATIC OPENER

MF MANUFACTURER'S FINISH PTD PRIMED & PAINTED

> CARD ACCESS SECTIONAL DOOR

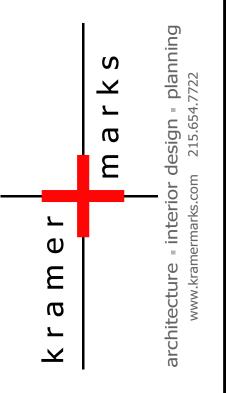
OVERHEAD DOOR UNDERCUT DOOR (1"

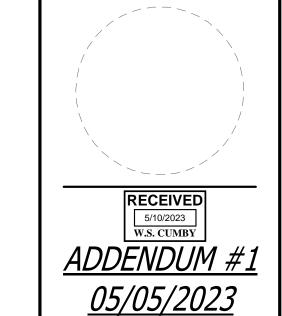
LOUVER IN DOOR

170 DEGREE HINGES

UNSUITABLE FOR REUSE, PROVIDE NEW ELEMENTS TO MATCH. WHERE EXISTING

FRAMES ARE TO RECEIVE NEW DOOR PANELS, MODIFY EXISTING ELEMENTS AS





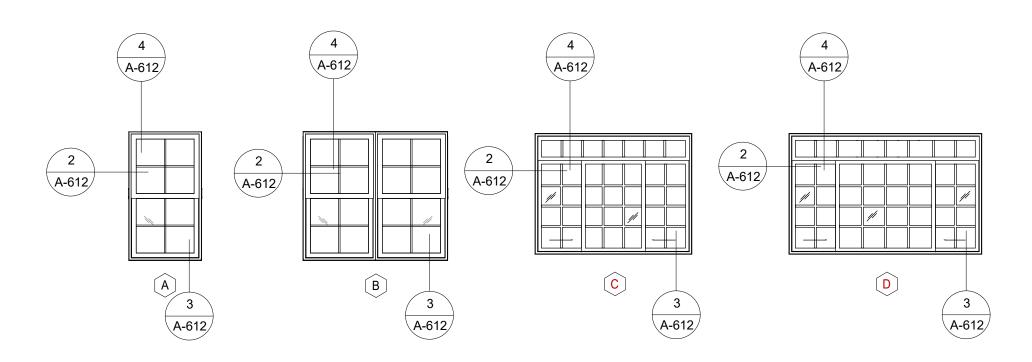
COMMUNITIES **PHASE**

GRANITE FARMS WBC - 1343 WEST BALTIMORE PIKE MEDIA, PA 19063

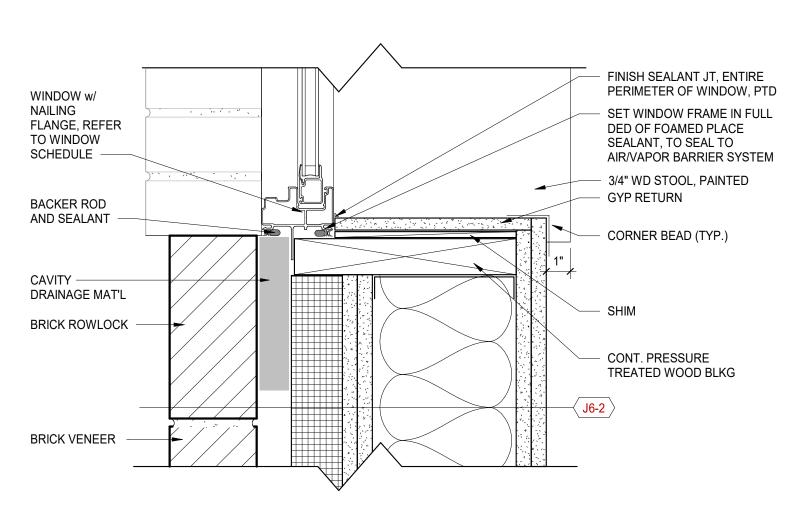
ETIREMENT - LIFE420 DELAWARE D
FORT WASHINGTON, $\overline{\mathbf{Z}}$

ACTS

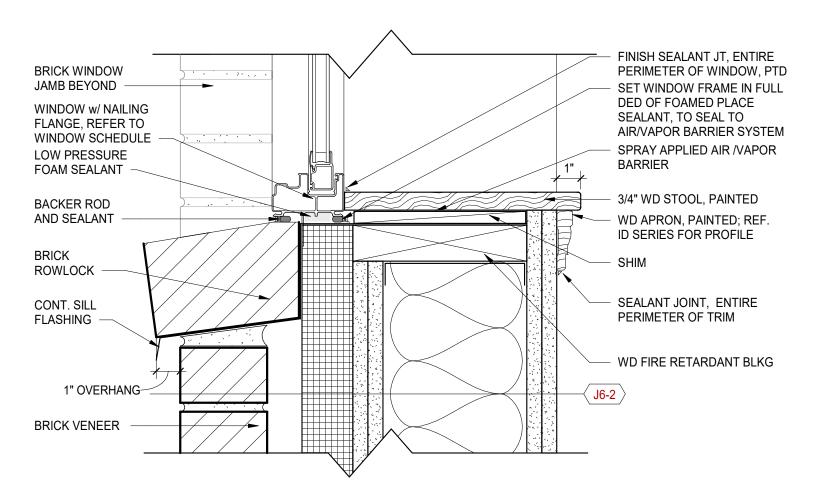
DOOR & FRAME SCHEDULE & **DIAGRAMS**



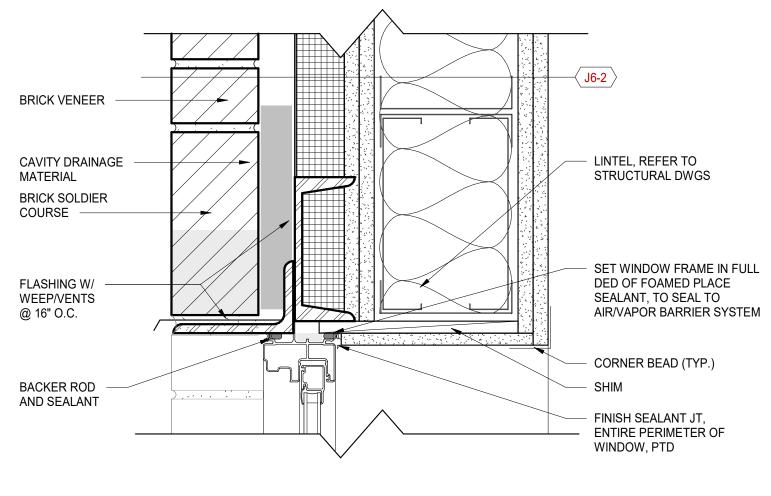
VESTIBULE ELEVATION A-612 / 1/4" = 1'-0"







WINDOW SILL DETAIL A-612 / 3" = 1'-0"



WINDOW HEAD DETAIL

\ A-612 \ \ 3" = 1'-0"

WINDOW GENERAL NOTES

A. WINDOW FINISHES: EXTERIOR SIDE OF FRAMES TO BE PRE-FINISHED IN HIGH-PERFORMANCE COATING; COLOR TO BE SELECTED FROM MANUFACTURER'S FULL RANGE

MANUFACTURER'S FULL RANGE OF COLORS.

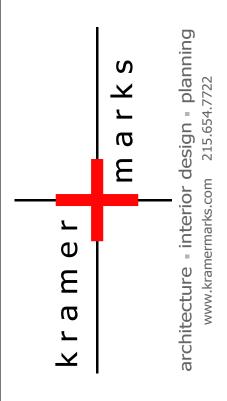
- FINISH FOR INTERIOR SIDE OF FRAMES TO BE SELECTED FROM
- B. STOREFRONT AND CURTAINWALL FINISHES: PRE-FINISHED IN HIGH-PERFORMANCE COATING; COLOR TO BE SELECTED FROM MANUFACTURER'S FULL RANGE OF COLORS.
- C. MULTI-UNIT WINDOWS SHALL BE FACTORY-MULLED.
- D. WHERE GYPSUM RETURNS ARE NOT INDICATED AT WINDOWS, PROVIDE JAMB EXTENSIONS TO REACH TRIM ON FACE OF WALL.
- E. WHERE THE DIFFERENCE IN GROUND ELEVATION ON EITHER SIDE OF A WINDOW EXCEEDS 72" AND THE WINDOW OPENING IS BELOW 24" A.F.F. ON ONE SIDE, PROVIDE GUARDS NOT ALLOWING A 4" SPHERE TO PASS.
- REFER TO "GLAZING TYPES" SECTION BELOW FOR INFORMATION ON GLAZING DESIGNATIONS IN SCHEDULES. PROVIDE TEMPERED GLASS WHERE REQUIRED TO BE SAFETY GLAZING BY CODE, U.N.O. THIS INCLUDES BUT IS NOT LIMITED TO CERTAIN INSTANCES NEAR ELEVATED WALKWAYS, STAIRWELLS, GYMNASIUMS, IN AND AROUND DOORS, SKYLIGHTS, SLOPED GLAZING, AND IN BATHING AREAS WITH SHOWERS OR TUBS.

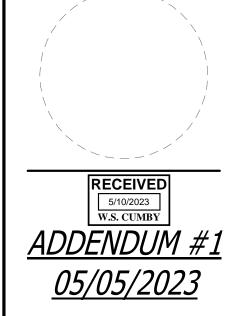
WINDOW SCHEDULE ABBREVIATIONS

٨	ADCHED	F	EIVED
A	ARCHED	Г	FIXED
ACW	ALUMINUM-CLAD WOOD	Н	HOPPER (TILT)
ALUM	ALUMINUM	SH	SINGLE-HUNG
AW	AWNING (TILT)	SL	SLIDER
CA	CASEMENT	STL	STEEL
CO	COMPOSITE	V	VINYL
DH	DOUBLE-HUNG	WD	WOOD

WINDOW SCHEDULE HARDWARE AND **ACCESSORIES KEY**

- STANDARD LOCK
- ACCESSIBLE LOCK
- OPENING STOP
- FULL-SIZE ALUMINUM SCREENS
- <SURFACE-APPLIED MUNTINS> <SIMULATED-</p> DIVIDED-LIGHT MUNTINS> < GRILLES BETWEEN THE GLASS WITHOUT MUNTINS>



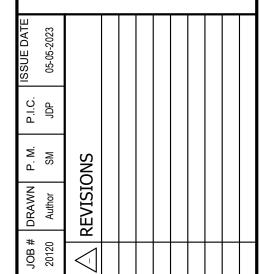


COMMUNITIES
RIVE
PA 19034 S GRANITE FARMS WBC - 1343 WEST BALTIMORE PIKE MEDIA, PA 19063

PHASE

ACTS

SETIREMENT - L
420 DELAWA
FORT WASHINGT $\overline{\mathbf{Z}}$



WINDOW SCHEDULE & DIAGRAMS

JAMB FLASHING AT BOTH SIDES
OF OPENING EXTEND BEYOND
SILL FLASHING AND ABOVE
WHERE HEAD FLASHING WILL
INTERSECT, LAP JAMB
FLASHING OVER TOP OF SILL
FLASHING LEAVING BOTTOM
EDGE UNATTACHED

WALL SHEATHING

PLANE

PLANE

PLANE

FOLD JAMB FLASHING
AROUND SIDE OF
ROUGH OPENING AND
OVER UPTURNED SILL

DRAINAGE PLANE / RIGID INSUL. SEAL'G NOT TO SCALE TAPE HEAD OF WINDOW LAST BEAD OF CAULK UNDER WINDOW INSTALLATION FLANGE WINDOW EXTERIOR WALL RIGID INSULATION SHEATHIING 3M CONSTRUCTION TAPE **BOOT FLASHING** GMIL SELF STICK FLASHING MEMBRANE WINDOW FLANGE OVERCAULKING 3M CONSTRUCTION TAPE OVER WINDOW FLANGE AFTER WINDOW PRIOR TO WINDOW INSTALLATION INSTALLATION

1

DRAINAGE PLANE / RIGID INSUL. SEAL'G1

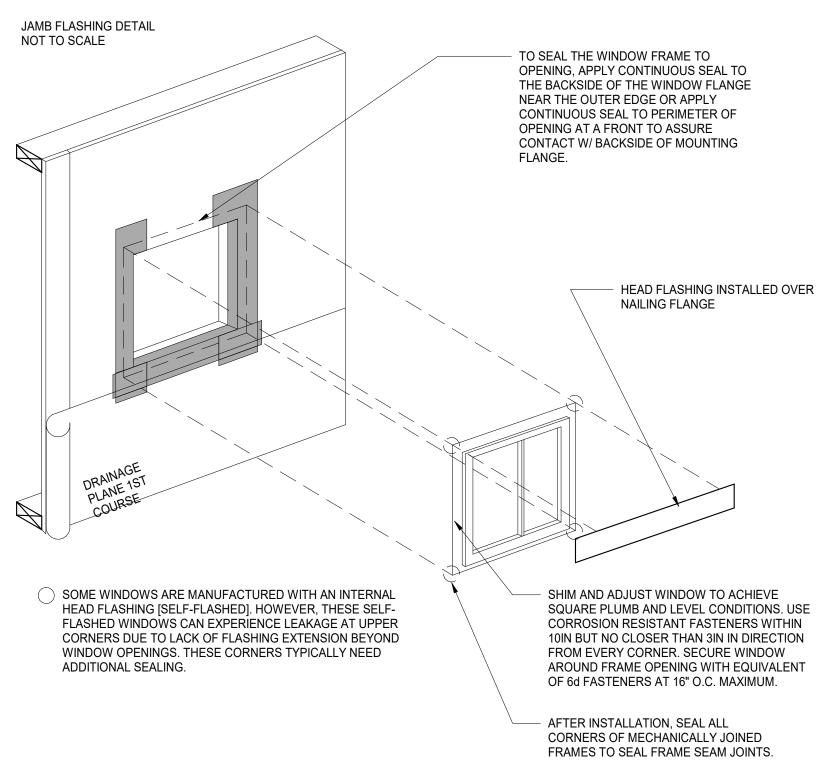
A-613 NOT TO SCALE

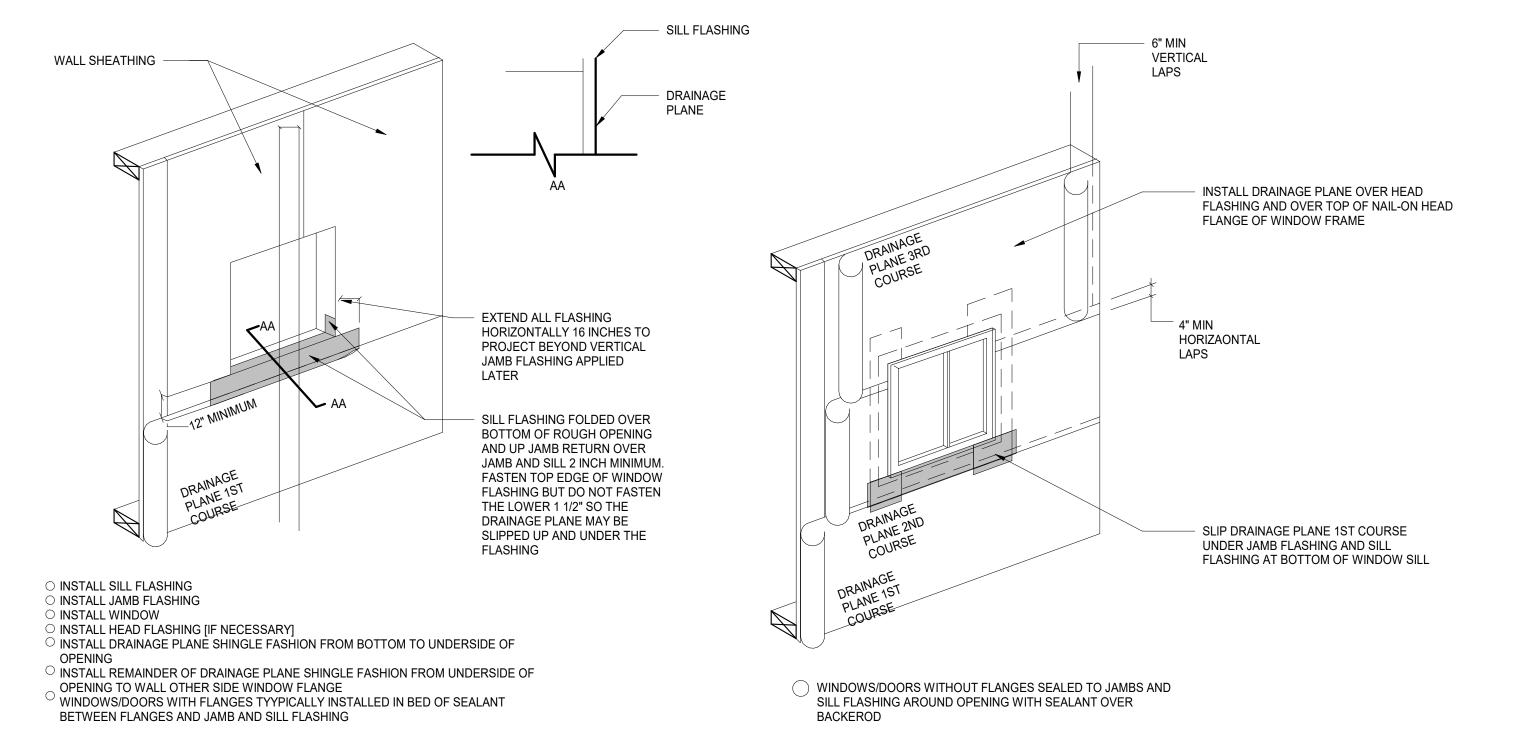
2 JAMB FLASHING DETAIL1

A-613 / 12" = 1'-0"

3 WINDOW FLASHING DETAIL1

A-613 / NOT TO SCALE





5 SILL FLASHING DETAIL1

A-613 / NOT TO SCALE

6 DRAINAGE PLANE APPLICATION1

A-613 NOT TO SCALE

4 WINDOW INSTALLATION1

A-613 NOT TO SCALE

A-613

WINDOW DETAILS

 Φ

 $\boldsymbol{\sigma}$

 $\boldsymbol{\prec}$

RECEIVED

W.S. CUMBY

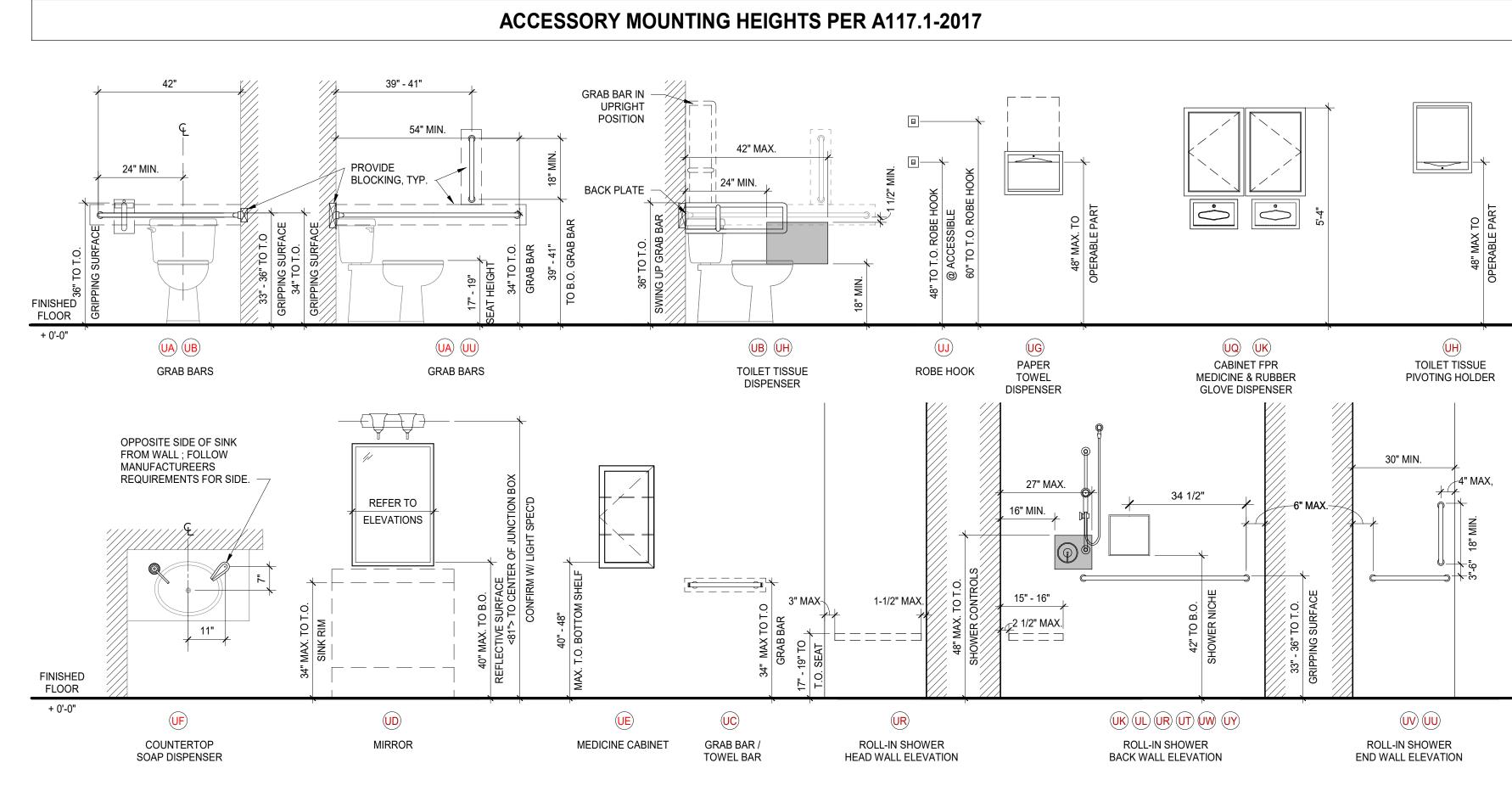
05/05/2023

7

ACTS GRANITE FARMS WBC 1343 WEST BALTIMORE PIN MEDIA, PA 19063

COMMUNITIES
PA 19034

RETIREMENT - LIFE
420 DELAWARE D
FORT WASHINGTON,



TOILET ACCESSORY NOTES

- PROVIDE REQUIRED WOOD OR STEEL BLOCKING FOR ALL ACCESSORIES SUPPLIED BY THE OWNER OR GC. REINFORCING IN WALLS FOR GRAB BARS SHALL BE CAPABLE OF SUPPORTING AT LEAST A 250lb. POINT LOAD REQUIREMENT.
- GRAB BARS AND SHOWER SEATS SHALL BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF UP TO 250 POUNDS APPLIED IN ANY DIRECTION AT ANY
- G.C. TO PROVIDE ANY REQUIRED WOOD OR STEEL BLOCKING TO SUPPORT 250 LB CONCENTRATED LOAD AT ALL PLUMBING FIXTURES, ACCESSORIES AS WELL AS CASEWORK, SHELVING AND ANY OTHER REQUIRED WALL MOUNTED ITEMS. THE SHEER AND TENSILE STRESSES SHALL ALSO MEET THE 250 lb. POINT LOAD
- REQUIREMENT. ALL ACCESSORIES TO BE INSTALLED PER CURRENT ACCESSIBILITY REQUIREMENTS.
- PROVIDE AND INSTALL ACCESS PANELS AT ALL SHOCK ARRESTOR LOCATIONS. INSTALL INSULATION ON PLUMBING PIPING UNDER LAV'S AS REQUIRED BY A.D.A.

NOTES:

(X)

ACCESSORY TAG PER SCHEDULE

---- INDICATES EXTENTS OF BLOCKING INDICATES AREA EXTENTS FOR ACCESSORY INSTALLATION

HANDICAPPED FIXTURE MOUNTING HEIGHTS:

WATER CLOSET: 18" MAX. AFF TO TOP OF SEAT LAVATORY: 24" MIN. TO BOTTOM OF RIM & 34" MAX. TO TOP OF RIM

URINAL: 17" MAX. A.F.F TO TOP OF BASIN OPENING COAT HOOKS AND ROBE HOOKS LOCATED ON DOORS SHALL BE LOCATED AS SHOWN ON PLANS.

FLUSH CONTROL ON TRANSFER SIDE.

SEE PLUMBING DRAWINGS FOR FIXTURE DESIGNATIONS & SPECIFICATIONS. ALL FIXTURES AND ACCESSORIES TO COMPLY WITH BARRIER FREE

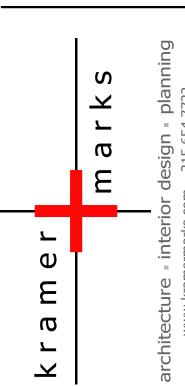
REQUIREMENTS. ALL DIMENSIONS SHOWN IN BATHROOMS WHEN LOCATING FIXTURES. GRAB BARS

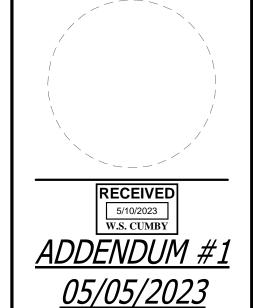
AND ACCESSORIES ARE FINISHED DIMENSIONS. ALWAYS CENTER FIXTURES U.N.O.

ALL GYPSUM BOARD IN TOILET IS TO BE MOISTURE RESISTANT. ALL UNIT BATHROOMS TO BE SUPPLIED WITH ROLLING STORAGE BIN.

TAG	ITEM	MANUFACTURER ITEM NAME / #	REMARKS		
A	CORNER GRAB BAR	BOBRICK B-6897	STAINLESS STEEL		
В	GRAB BAR - SWING UP	BOBRICK B-4998.99	STAINLESS STEEL; PROVIDE FOR OPTIONAL INSTALLATION		
<u>C</u>	18" GRAB BAR	WINGITS WGB5MESN18	SATIN STAINLESS STEEL		
<u>C2</u>	48" GRAB BAR	WINGITS WGB5MESN48	SATIN STAINLESS STEEL		
C3	24" GRAB BAR	WINGITS WGB5MESN24	SATIN STAINLESS STEEL		
D	TOILET TISSUE DISPENSER	BOBRICK B-6867	SURFACE MOUNTED		
E	TOILET SEAT COVER DISPENSER	BOBRICK B-4221	SURFACE MOUNTED		
F	SANITARY FEMININE DISPOSAL	BOBRICK B-270	SURFACE MOUNTED		
G	SOAP DISPENSER	BOBRICK B-855	COUNTER MOUNTED - BRUSHED NICKEL		
H	VANITY MIRROR	BOBRICK B-290	WELDED FRAME MIRROR		
J	SEMI-RECESSED PAPER TOWEL DISPENSER	BOBRICK B-29744	SEMI-RECESSED; PW / POWER SUPPLY #3974-57		
J1)	PAPER TOWEL DISPENSER	BOBRICK B-4262	SURFACE MOUNTED		
K	ROBE/COAT HOOK	WINGITS WMESRHSN	SATIN FINISH		
(L)	SHOWER SEAT	GBS / 62-PA2801WLEG	FOLD DOWN PADDED SHOWER SEAT W/ LEGS - SURFACE MOUNTED		
<u>L1</u>	SHOWER SEAT		PROVIDED BY OWNER		
M	SHOWER CURTAIN TRACK	INPRO / FORMTRAC	REFER TO ID DRAWINGS		
M1	PRIVACY SHOWER CURTAIN	INPRO / EZE-SWAP	REFER TO ID DRAWINGS		
<u>M2</u>	PRIVACY CURTAIN HOOKS	INPRO / EZE-SWAP	REFER TO ID DRAWINGS		
N	FREESTANDING TRASH RECEPTACLE	RUBBERMAID 1901987	FRONT STEP FREE STANDING; 16.8" X 12.8" X 21.9"H		
FRESTANDING TRASH RECYCLE RECEPTACLE		MAX R/OXFORD COLLECTION	FRONT LOAD / 2 STREAM / VARYING CAPACITY, 22-GALLON RECYCLING & 32-GALLON TRASH / VAIL TOP / WOOD GRAIN PANEL / CIRCLE OPENING TRASH AND RECYCLING SYMBOLS		
P	SHELF	WINGITS - WTBSCKLPS30	KONA ESPRESSO		
Q	TOWEL SHELF	MOEN -Y2694BN	BRUSHED NICKEL SHELF WITH TOWEL BAR		
R	UNDER COUNTER TRASH CAN	ULINE S-13527	15"L X 11"W X 20"H / BLACK		

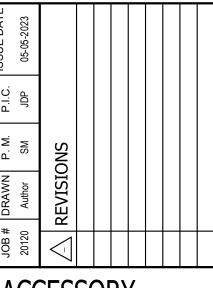
AG	ITEM	MANUFACTURER ITEM NAME / #	REMARKS
JA	42"x54" CORNER GRAB BAR	ASI 3800W	1-1/2" D W/ SNAP-ON FLANGE COVERS, WHITE / CONCEALED MOUNTING
JB	GRAB BAR - SWING UP	CSI BATHWARE BAR-FB29-125-PW	POWDER WHITE FINISH
JC	18" GRAB BAR / TOWEL BAR	INVISIA TB-16 TOWEL BAR / SUPPORT RAIL	SURFACE MOUNTED / CHROME
JD	18"x30" TILT MIRROR	CUSTOM, SEE DETAIL 7/A-501	SURFACE MOUNTED / TILTING / CUSTOM TMB FRAME
JE	MEDICINE CABINET	SEE ID DWG., CAB-1	RECESSED / SINGLE DOORS / PROVIDE HINGE RESTRICTORS (MAX 90°)
JF	SOAP DISPENSER	BOBRICK B-855	COUNTER TOP / LIQUID SOAP / TOP FILLING / BRUSHED NICKEL
JG	PAPER TOWEL DISPENSER	BRADLEY 1985 TOWEL DISPENSER	RECESSED / SATIN STAINLESS STEEL
JH	TOILET TISSUE PIVOTING HOLDER	MOEN DN7908BN	SURFACE MOUNTED / BRUSHED NICKEL
ال	ROBE HOOK	MOEN/YB2803BN	SURFACE MOUNTED / BRUSHED NICKEL
JK	ADJUSTABLE HANDHELD SHOWER UNIT	SEE PLUMBING DWG.	
JL	SHOWER CONTROLS	SEE PLUMBING DWG.	
JM	NURSE CALL	SEE ELECTRICAL DWG.	
JN	SHOWER CURTAIN TRACK	SEE ID DWG. I-601	ALUMINUM / CEILING MOUNTED
JO	VINYL SHOWER CURTAIN	SEE ID DWG. I-601	TO EXTEND TO FLOOR
JP	SHOWER CORNER SHELF	INVISIA CS CORNER SHELF WITH SUPPORT	STAINLESS STEEL RAIL, SOLID SURFACE SHELF
JQ	CABINET FOR MEDICINE	HARLOFF WALL MOUNT MEDICATION CABINET;WV2760-CM	GC TO COORDINATE RIGHT AND LEFT HAND MODEL CABINETS TO INCLUDE ELECTRONIC KEYPAD LOCK WV2760E. HARD-BAKED, POWDER-COATED STANDARD FINISH
JR	L-SHAPED PADDED FOLDING SEAT	GRAB BAR SPECIALISTS; 60-PA34501WLEG	FOLD DOWN PADDED SHOWER SEAT W/LEGS-SURFACE MOUNTED
JS	PORTABLE PADDED SHOWER SEAT		BY OWNER
JT	SHOWER DIVERTER	SEE PLUMBING DWG	
JU	18" GRAB BAR	ASI 3800W	1-1/2" D W/ SNAP-ON FLANGE COVERS, WHITE / CONCEALED MOUNTING
JV	24" GRAB BAR	ASI 3800W	1-1/2" D W/ SNAP-ON FLANGE COVERS, WHITE / CONCEALED MOUNTING
IW)	48" GRAB BAR	ASI 3800W	1-1/2" D W/ SNAP-ON FLANGE COVERS, WHITE / CONCEALED MOUNTING
JY	SHOWER NICHE	SCHLUTER KERDI-BOARD-SN KM 12 SN 305 305 A	RECESSED / STAINLESS STEEL



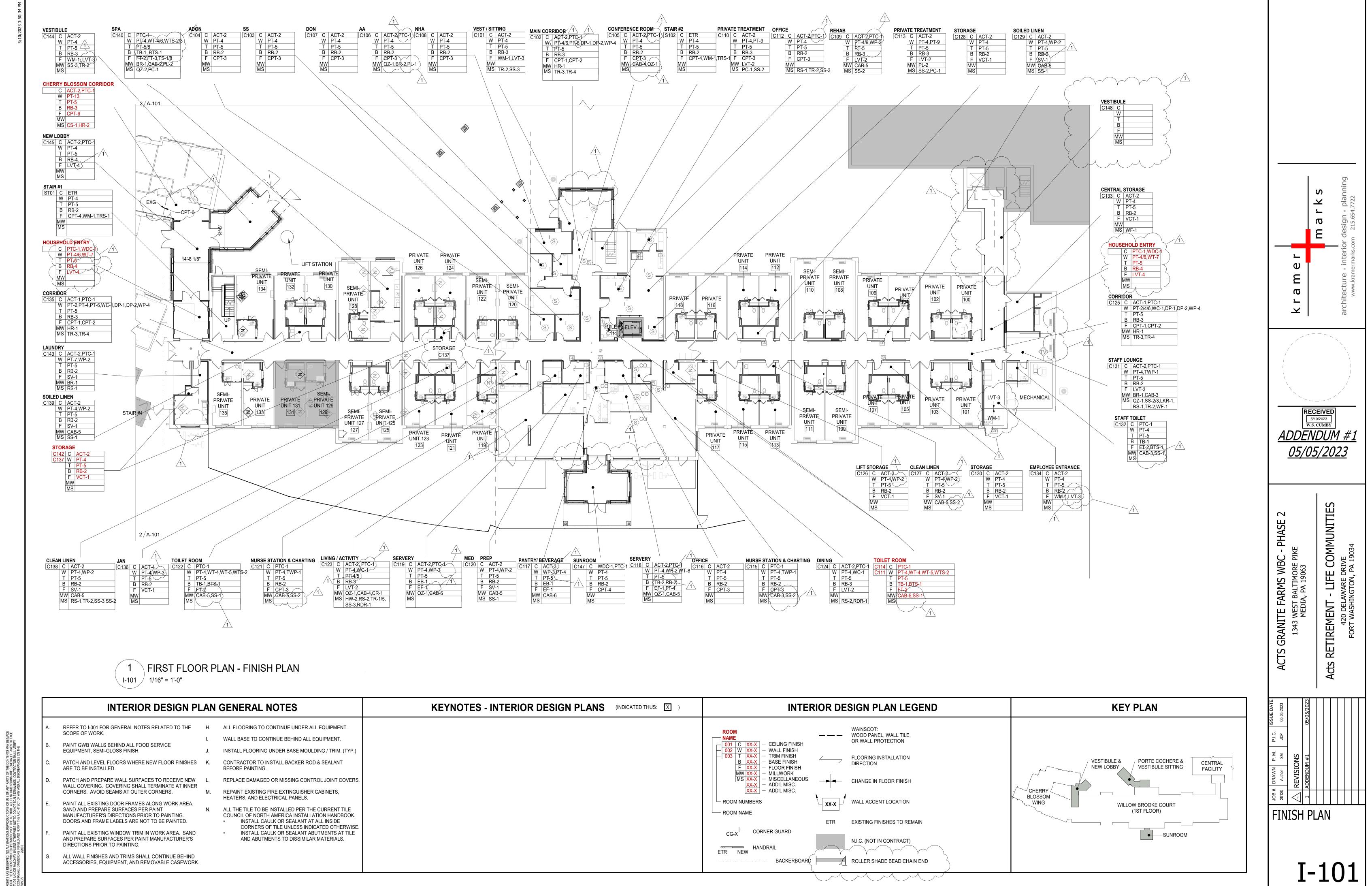


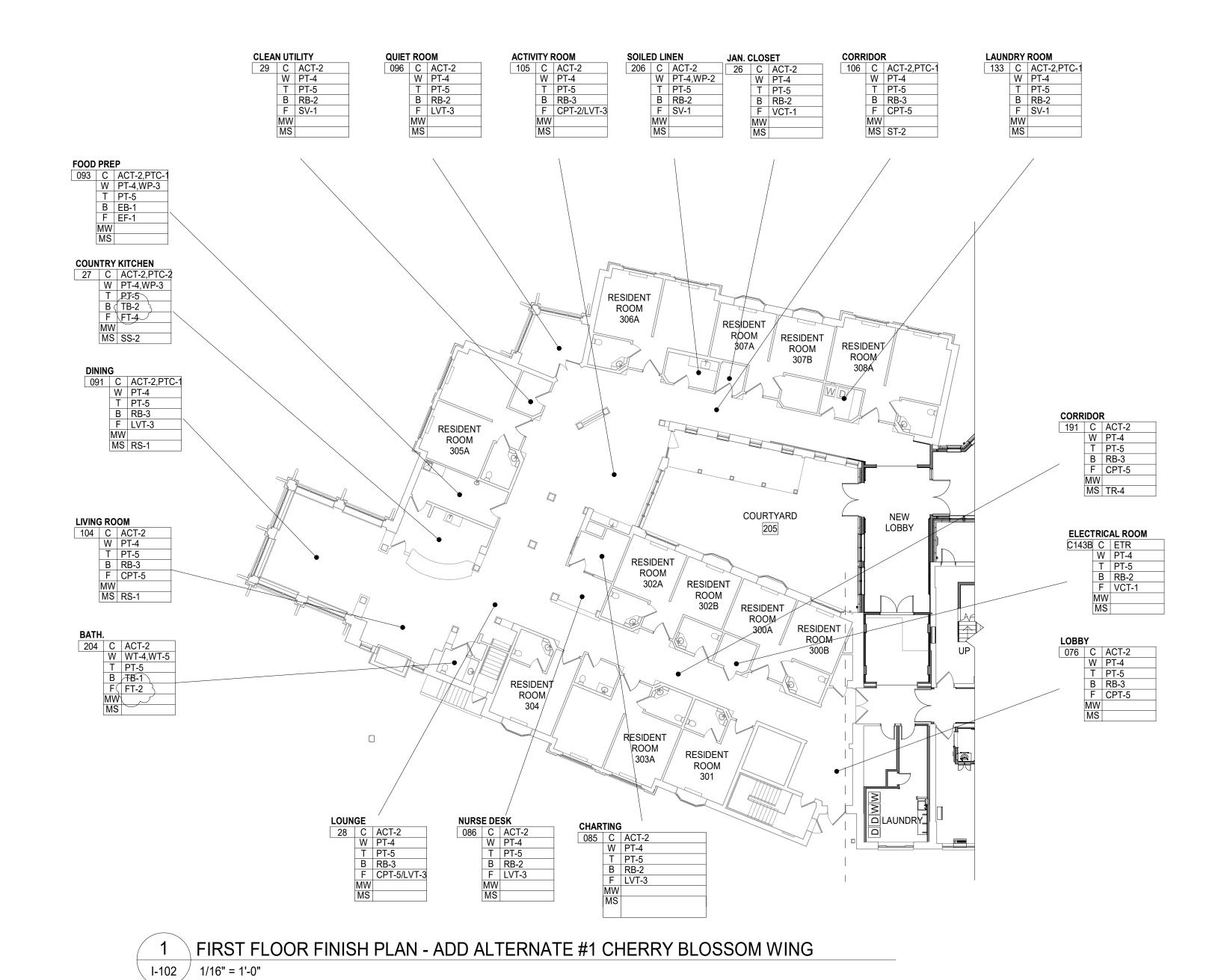
COMMUNITIES GRANITE FARMS WBC 1343 WEST BALTIMORE PI

RETIREMENT



ACCESSORY SCHEDULES & DIAGRAMS



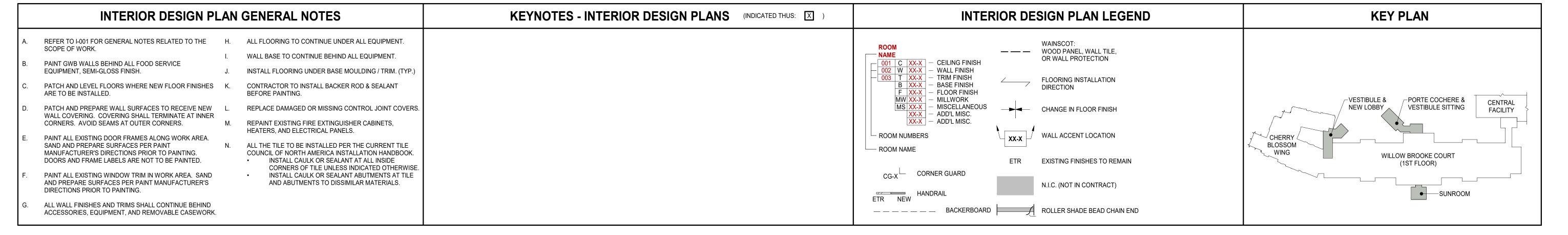


COTIS

CO

2 FIRST FLOOR PATTERN PLAN - ADD ALTERNATE #1 CHERRY BLOSSOM WING

1-102 1/16" = 1'-0"



Kramer mer marks.com 215.654.7722

W.S. CUMBY

ADDENDUM #1

05/05/2023

COMMUNITIES

S GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063

ACTS GRANITE FA

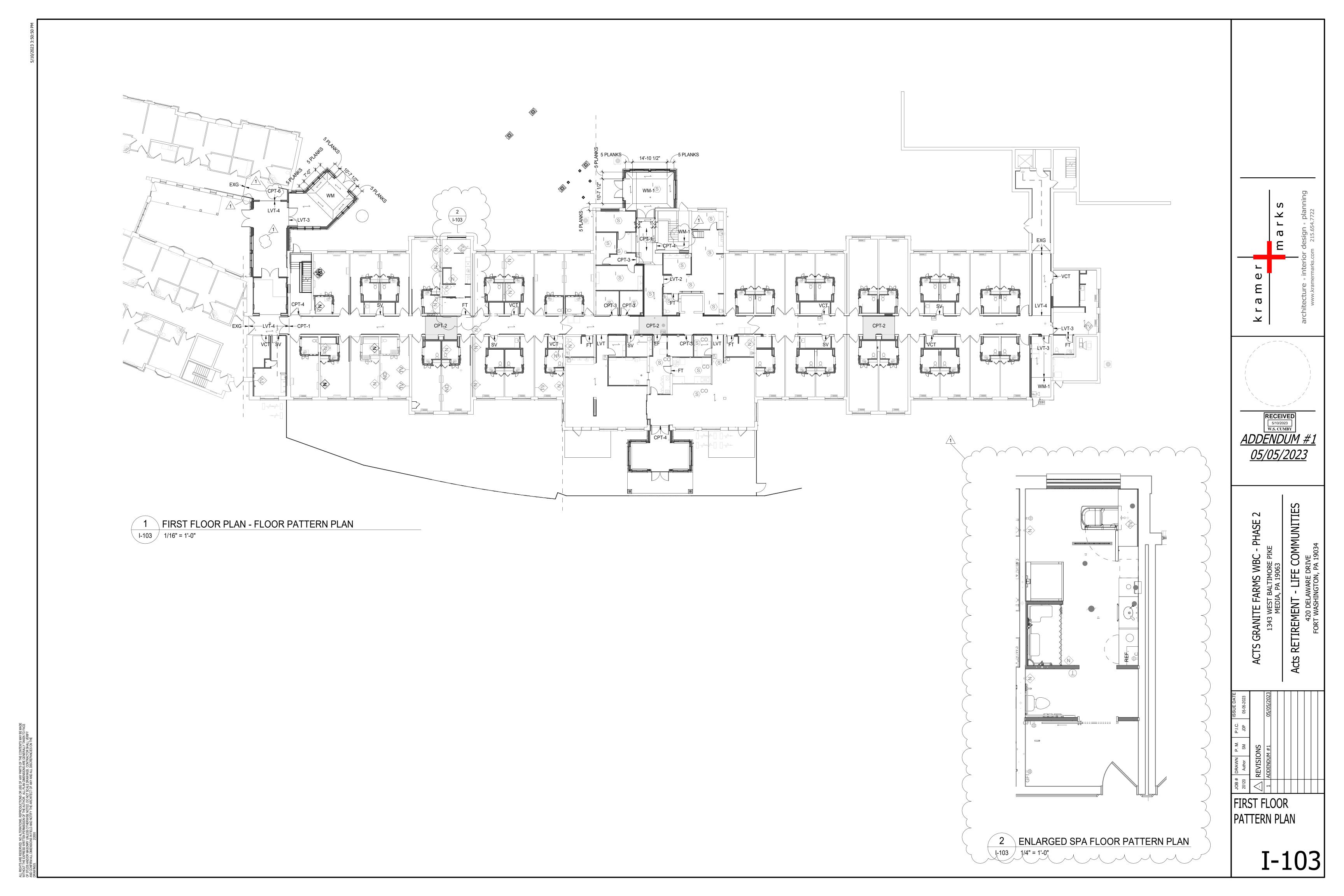
1343 WEST

DS/05/2023

Acts RETIREMENT

FINISH PLAN - ADD ALTERNATE #1

I-102



MAPEI ULTRACOLOR PLUS FA - COLOR: XX

FLOORING TO EXTEND BENEATH ALL MOVABLE EQUIPMENT WHERE

STANDARD

APPLICABLE

SUSAN METKA - 484.576.9387

INSTALLATION:

NOTE:

CONTACT:

FLOOR - CONT'D. FLOOR TILE CONTD.

. LOOK HEL OO	
CODE: LOCATION:	FT-4 ØPEN SERVERY C118 ADD ALT #2 - CHERRY BLOSSOM WING - COUNTRY KITCHEN
MANUFACTURER: COLLECTION:	GARDEN STATE TILE CROSSVILLE
STYLE: SIZE:	COLOR BLOX 2.0 1
COLOR / #: FINISH:	TREE HOUSE UNPOLISHED / CROSS SLATE
GROUT: INSTALLATION:	MAPEHKÉRAPOXY IÈG- COLOR: 09 GRAY STACKED
NOTE:	FLOORING TO EXTEND BENEATH ALL MOVABLE EQUIPMENT WHERE APPLICA

ANTHONY CATANZARO - 732.829.3681

LUXURY VINYL TILE

CONTACT:

CODE:	LVT-1 $\begin{pmatrix} & & & & & & & & & & & & & & & & & & $
LOCATION:	UNITS THROUGHOUT EXCEPT BATHROOMS
	ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS
MANUFACTURER:	SHAW CONTRACT
TYPE:	DIRECT GLUE
COLLECTION:	SOLITUDE
STYLE / #:	0648V
WEAR LAYER:	20 MIL
SIZE:	6" X 48" X 5MM THICK
COLOR / #:	MANK
INSTALLATION:	DIRECT GLUE
PATTERN:	STAGGERED
NOTE:	
CONTACT:	VICKY,MCCONAGHY - 610 299 0852

CONTACT:	VICKY MICCUNALGHY - 610,299.0852
CODE:	LVT-2
LOCATION:	LIVING/ACTIVITY ROOM, DINING ROOM, STAFF LOUNGE, PRIVATE TREATMENT
	ROOMS, REHAB, OFFICE C112
MANUFACTURER:	(PATCRAFT
COLLECTION:	\ INSET 1577\V \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
WEAR LAYER:	20 MIL
SIZE:	18" X,36" X, 5 MM THICK
COLOR / #:	PEARL SILVER 00515 \ /1
INSTALLATION:	DIRECT GLÚE
PATTERN:	HALF-BASKETWEAVE
CONTACT:	TODD GOLDEN - 610:312.8677

CODE: /1\\	LVT3
LOCATION:	NEW LOBRY, STAFF LOUNGE, RECEPTION, WURSE STAPTION & CHARTING,
	(VESTIBUĻE/ SITTING)
	ADD ALT∕#1 - CHERRY BLOSSOM WING - CHARTING, NURSE DESK, LOUNGE,
	LIVING RM, DINING RM, ACTIVITY ROOM
MANUFACTURER:	PATCRART
COLLECTION:	CROSSOVER LL 1439V
WEAR LAYER:	(20 MIL
CIZE.	C ZU V AOU V FAAA TUUCIÁ

COLLECTION:	CROSSOVER LL 1439V
WEAR LAYER:	(20 MIL
SIZE:	7" X 48" X 5MM THICK
COLOR / #:	WOODLAND 00740
INSTALLATION:	LOOSELAY
PATTERN:	HERRINGBONE
CONTACT:	TODD GOLDEN - 610.312.8677
CODE:	LVT-4
LOCATION:	HOUSEHOLD ENTRY, NEW LOBBY
MANUFACTURER:	PATCRAFT
COLLECTION:	METAL COLLECTIVE
STYLE / #:	OXIDIZED 1479V
WEAR LAYER:	29.41
CIZE:	24" 224"

SANDSTONE 00530

TODD GOLDEN - 610.312.8677

DIRECT GLUE

ASHLAR

SHEET VINYL

INSTALLATION:

COLOR / #:

PATTERN:

CONTACT:

CODE:	SV-1
LOCATION:	LAUNDRÝ, CLEAN / SOILED UTILITY ROOMS, MED PREP ROOM
	ADD_ALT_#1 - CHERRY BLOSSOM WING - SOILED AND CLEAN UTILITY ROOMS
MANUFACTURÉR:	∖MAŃNINGŤON COMMERCIAL
COLLECTION:	BLOOM 1
`\STYLE: ,	, MEANDER /
SIZE:	√(2' X 36'-0"/ROLL GOODS
COLOR / #:	RENÉWAL(B201Z)
WELD ROD COLOR:	TBD \(\frac{1}{2}\)
INSTALLATION:	FOLLOW MANNINGTON HETEROGENEOUS SHEET FLOORING INSTALLATION
	GUIDELINES DOCUMENT
NOTE:	FULL SPREAD ADHESIVE, HEAT WELDED SEAMS & CORNERS,
	WELD ROD TO MATCH; FLOORING TO EXTEND BENEATH ALL MOVABLE
	EQUIPMENT WHERE APPLICABLE
CONTACT:	LORISE VAN VOORTHUIZEN - 215.588.6262

STAIR - TREAD, RISER, & STRINGER

LOCATION: MANUFACTURER: STAIR:	STAIR #1(#2 JOHNSONITE CONSTRUCTION: EDGE PROFILE: SIZE:	CONCRETE/METAL SQUARE V.I.F. WIDTH, HEIGHT, DEPTH AS REQUIRED
TREAD:	PROFILE/#: MATERIAL: COLOR/#:	RAISED SQUARE / SQUARE NOSE RUBBER PEBBLE
RISER:	TYPE: MATERIAL: COLOR/#:	NON-INTEGRAL RUBBER PEBBLE
NOSING:	PROFILE/#: MATERIAL: COLOR/#: NOTE:	SQUARE VDL-32-SQ RUBBER PEBBLE TO BE PROVIDED AT LANDINGS ONLY
NOTE: CONTACT:		ECIFICATIONS FOR ALL ITEMS W/ STAIR CONSTRUCTION TO PRIOR TO ORDERING AND INSTALLATION
	MANUFACTURER: STAIR: TREAD: RISER: NOSING:	MANUFACTURER: STAIR: JOHNSONITE CONSTRUCTION: EDGE PROFILE: SIZE: TREAD: PROFILE/#: MATERIAL: COLOR/#: NOSING: PROFILE/#: MATERIAL: COLOR/#: NOTE: GC TO CONFIRM SPE

VINYL COMPOSITION TILE	
CODE:	VCT-1
LOCATION:	CENTRAL STORAGE, STORAGE ROOMS, JANITOR'S CLOSET (LIFT STORAGE
	ADD ALT #1 - CHERRY BLOSSOM WING - STORAGE ROOMS, JAN. CLOSET,
	ELEC. CLOSET
MANUFACTURER:	ARMSTRONG
STYLE:	IMPERIAL TEXTURE
SIZE:	12" X 12" X 1/8"
COLOR / #:	TAUPE 51901
INSTALLATION:	MONOLITHIC
FINISH:	POLISH; MAX COATS PER MANUFACTURER'S RECOMMENDATION
NOTE:	FULL SPREAD ADHESIVE
CONTACT:	LINDSAY HARBOLD - 855.243.2521

FLOOR - CONT'D.

CODE: 1 LOCATION: MANUFACTURER: COLLECTION: STYLE / #: SIZE: COLOR / #: INSTALLATION: NOTE:	WM-1 VESTIBULES, EMPLOYEE ENTRANCE, STAIRS AT EXIT POINTS PATCRAFT WALK FORWARD CONNECTING 10535 24"X24" STROLL 00540 HORIZONTAL BRICK ASHLAR
INSTALLATION: NOTE: CONTACT:	

FLOOR TRANSITIONS

FLOOR TRANSITION STRIPS

WALK-OFF MAT

CODE: LOCATION: MANUFACTURER: MATERIAL: PROFILE: SIZE: FINISH: NOTE: CONTACT:	TS-1 FT-1/FT-2/TO CPT-1/LVT-1 SCHLUTER METAL SCHIENE GC TO CONFIRM DEPTH TO COORDINATE WITH SPECIFIED TILE & INSTALLATION METHOD BRUSHED ANTIQUE BRONZE GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT GUSTAVO TOVAR - 301.836.2303
CODE: LOCATION: MANUFACTURER: MATERIAL: PROFILE: SIZE: FINISH: NOTE:	TS-2 CPT-2/3 /WM-1 TO LVT-3/4 JOHNSONITE VINYL XXX-XX-XX" TO" TBD GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT

OIZL.	10
FINISH:	TBD
NOTE:	GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLI
CONTACT:	PHIL CAREY - 215.356.6169
CODE:	TS-3
LOCATION:	FT-2/3 TO CPT-2/3
MANUFACTURER:	SCHLUTER
MATERIAL:	METAL

PROFILE:	SCHIENE
SIZE:	GC TO CONFIRM DEPTH TO COORDINATE WITH SPECIFIED TILE &
	INSTALLATION METHOD
FINISH:	BRUSHED ANTIQUE BRONZE
NOTE:	GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT
CONTACT:	GUSTAVO TOVAR - 301.836.2303

CODE:	TS-4
LOCATION:	CPT-2/3 / WM-1 TO VCT-1
MANUFACTURER:	JOHNSONITE
MATERIAL:	VINYL
PROFILE:	CTA-283-L
SIZE:	3/8" TO 1/8"
FINISH:	TBD
NOTE:	GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIA
CONTACT:	PHIL CAREY - 215.356.6169

CODE:	TS-5
LOCATION:	CPT-2/3 TO SV-1
MANUFACTURER:	JOHNSONITE
MATERIAL:	VINYL
PROFILE:	XXX-XX-XX
SIZE:	" TO"
FINISH:	TBD

PHIL CAREY - 215.356.6169

NOTE:

CONTACT:

CODE:	TS-6
LOCATION:	CPT-2/3 TO ETR
MANUFACTURER:	JOHNSONITE
MATERIAL:	VINYL
PROFILE:	XXX-XX-XX
SIZE:	" TO"
FINISH:	TBD
NOTE:	GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT

GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT

FINISH:	TBD
NOTE:	GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT
CONTACT:	PHIL CAREY - 215.356.6169
CODE:	TS-7
LOCATION:	CPT-2/3 TO EPOXY RESIN
MANUFACTURER:	JOHNSONITE

MATERIAL:	VINYL
PROFILE:	XXX-XX-XX
SIZE:	" TO"
FINISH:	TBD
NOTE:	GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT
CONTACT:	PHIL CAREY - 215.356.6169

CODE:	TS-8
LOCATION:	SPA, WALL TILE TO FLOOR TILE TRANSITION
MANUFACTURER:	SCHLUTER
MATERIAL:	METAL (STAINLESS STEEL); GC TO VERIFY TYPE AS RECOMMENDED BY MANUFACTURER PRIOR

	MANUFACTURER PRIOR
ROFILE:	DILEX-EKSB
ZE:	GC TO CONFIRM DEPTH TO COORDINATE WITH SPECIFIED FLOORING TYPES
	& INSTALLATION METHOD
NISH:	BRONZE

INIOI I.	DIVOINZE
OTE:	GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT
	GC TO PROVIDE DETAIL OF INSTALLATION METHOD & ADHESIVE
	SPECIFICATIONS FOR ARCHITECT TO REVIEW
ONTACT:	GUSTAVO TOVAR - 301.836.2303

CODE:	TS-8
LOCATION:	*RESERVED*
MANUFACTURER:	JOHNSONITE / SCHLUTER
MATERIAL:	VINYL / METAL
PROFILE:	TBD
SIZE:	" TO"
TINUOLI.	TDD

NISH:	TBD
TE:	GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT
NTACT:	PHIL CAREY - 215.356.6169
	GUSTAVO TOVAR - 301.836.2303

CODE:	TS-9
LOCATION:	*RESERVED*
MANUFACTURER:	JOHNSONITE / SCHLUTER
MATERIAL:	VINYL / METAL
PROFILE:	TBD
SIZE:	" TO"
FINISH:	TBD

SIZL.	10
FINISH:	TBD
NOTE:	GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT
CONTACT:	PHIL CAREY - 215.356.6169

GUSTAVO TOVAR - 301.836.2303

FLOOR TRANSITIONS - CONT'D.

FLOOR TRANSITION STRIPS CONTD.

CODE: LOCATION: MANUFACTURER: MATERIAL: PROFILE: SIZE: FINISH: NOTE: CONTACT:	TS-10 *RESERVED* JOHNSONITE / SCHLUTER VINYL / METAL TBD" TO" TBD GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT PHIL CAREY - 215.356.6169 GUSTAVO TOVAR - 301.836.2303
	GUSTAVO TOVAR - 301.836.2303

CODE:	TS-11
LOCATION:	*RESERVED*
MANUFACTURER:	JOHNSONITE / SCHLUTER
MATERIAL:	VINYL / METAL
PROFILE:	TBD
SIZE:	" TO"

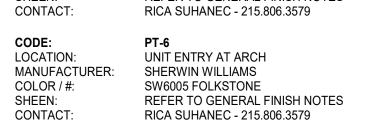
FINISH:	TBD
NOTE:	GC TO CONFIRM PROFILE TO BE ANSI / ADA COMPLIANT
CONTACT:	PHIL CAREY - 215.356.6169

GUSTAVO TOVAR - 301.836.2303

WALL

PAINT - WALLS		
	CODE: LOCATION: MANUFACTURER: STYLE: COLOR / #: SHEEN: CONTACT:	PT-1 UNITS - GENERAL SHERWIN WILLIAMS SUPERPAINT AIR PURIFYING LATEX (LOW VOC) SHIITAKE SW 9173 REFER TO GENERAL FINISH NOTES RICA SUHANEC - 215.806.3579
	CODE: LOCATION: MANUFACTURER: STYLE: COLOR / #: SHEEN: CONTACT:	PT-2 UNITS - TRIM / ENTRY DOOR & DOOR FRAMES SHERWIN WILLIAMS SUPERPAINT AIR PURIFYING LATEX (LOW VOC) PURE PAINT SW 7005 REFER TO GENERAL FINISH NOTES RICA SUHANEC - 215.806.3579
	CODE: LOCATION: MANUFACTURER: STYLE: COLOR / #: SHEEN: CONTACT:	PT-3 UNITS - TRIM AT RB-1 / LIGHTED BASE SHERWIN WILLIAMS PROMAR 200 ARMORY SW 9600 REFER TO GENERAL FINISH NOTES RICA SUHANEC - 215.806.3579
	CODE: LOCATION: MANUFACTURER: COLOR / #: SHEEN:	PT-4 COMMON GENERAL SHERWIN WILLIAMS SW7036 ACCESSIBLE BEIGE REFER TO GENERAL FINISH NOTES

MANUFACTURER: COLOR / #: CHEEN: CONTACT:	SHERWIN WILLIAMS SW7036 ACCESSIBLE BEIGE REFER TO GENERAL FINISH NOTES RICA SUHANEC - 215.806.3579	
ODE:	PT-5	
OCATION:	COMMON GENERAL TRIM, DOORS & FRAMES	
MANUFACTURER:	SHERWIN WILLIAMS	
OLOR / #:	SW7024 FUNCTIONAL GRAY	
HFFN.	REFER TO GENERAL FINISH NOTES	



CODE:	PT-7
LOCATION:	ACCENT AT LAUNDRY LOUNGE, NURSE DROP-IN STATIONS
MANUFACTURER:	SHERWIN WILLIAMS
COLOR / #:	SW6116 TATAMI TAN
SHEEN:	REFER TO GENERAL FINISH NOTES

CONTACT:	RICA SUHANEC - 215.806.3579	
CODE: LOCATION: MANUFACTURER: COLOR / #: BHEEN: CONTACT:	PT-8 ACCENT AT SPA SHERWIN WILLIAMS SW6212 QUIETUDE REFER TO GENERAL FINISH NOTES RICA SUHANEC - 215.806.3579	

CODE:	PT-9
LOCATION:	ACCENT AT PRIVATE TREATMENT / REHAB ROOMS
MANUFACTURER:	SHERWIN WILLIAMS
COLOR / #:	SW9140 BLUSTERY SKY
SHEEN:	REFER TO GENERAL FINISH NOTES

RICA SUHANEC - 215.806.3579

CODE:	PT-10
LOCATION:	ACCENT AT RESIDENT ROOMS
MANUFACTURER:	SHERWIN WILLIAMS
COLOR / #:	TBD
SHEEN:	REFER TO GENERAL FINISH NOTES
CONTACT:	RICA SUHANEC - 215.806.3579

NTACT:	RICA SUHANEC - 215.806.3579
DE:	PT-11
CATION:	ACCENT AT RESIDENT ROOMS
NUFACTURER:	SHERWIN WILLIAMS
LOR / #:	TBD
EEN:	REFER TO GENERAL FINISH NOTES
NTACT:	RICA SUHANEC - 215.806.3579

ODE:	PT-12
OCATION:	ACCENT AT RESIDENT ROOMS
ANUFACTURER:	SHERWIN WILLIAMS
OLOR / #:	TBD
HEEN:	REFER TO GENERAL FINISH NOTES
ONTACT:	RICA SUHANEC - 215.806.3579
ODE: OCATION:	PT-13 PAINT AT CHERRY BLOSSOM WING BY NEW LC

CATION:	PAINT AT CHERRY BLOSSOM WING BY NEW LOBB
NUFACTURER:	SHERWIN WILLIAMS
)LOR / #:	MATCH TO EXISTING WALL PAINT
IEEN:	REFER TO GENERAL FINISH NOTES

RICA SUHANEC - 215.806.3579

TACKABLE WALL PANEL

CONTACT:

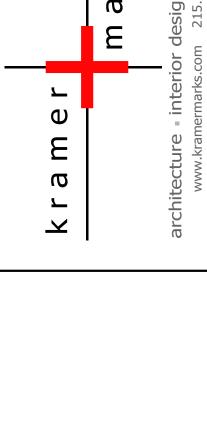
CONTACT:

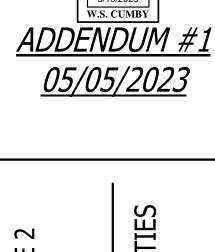
SHEEN:

CONTACT:

CODE:	TWP-1
LOCATION:	MAIN CORRIDOR, STAFF LOUNGE, NURSE STATION & CHARTING
	ADD ALT #1 - CHERRY BLOSSOM WING - TBD
MANUFACTURER:	MAHARAM
STVLE:	TEK-WALL STEWARD

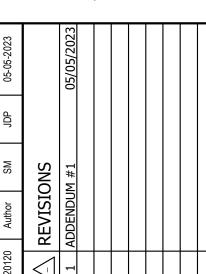
```
STYLE:
SIZE:
COLOR:
                   399527-003 ROPE
                  OVER HOMASOTE; PRIMED ON ALL SIDES / EDGES
INSTALLATION:
NOTE:
```





RECEIVED





FINISH SCHEDULE

WALLCOVERING CODE: LOCATION: MANUFACTURER: STYLE: COLLECTION: SIZE:

LIVING/ACTIVITY AND DINING ROOMS

CARNEGIE

FORGE COUTURE COLOR: 6099W-628 INSTALLATION: TO BE INSTALLED VERTICALLY NON-REVERSIBLE STRAIGHT ACROSS MATCH NOTE: CONTACT:

WALL TILE

CODE: LOCATION: RESIDENT ROOM SHOWERS - ABOVE WAINSCOT HEIGHT ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOM SHOWERS ABOVE **WAINSCOT HEIGHT**

WALL CONT'D.

MANUFACTURER: SHAW CONTRACT- ACTS PRIVATE LABEL CERAMIC STYLE: **APOLLO MOSAIC CT741** SIZE: 2" X 2" X --" THICK COLOR / #: MAPEI FLEXCOLOR CQ COLOR: 00 WHITE GROUT: INSTALLATION: STANDARD NOTE: CONTACT: VICKY MCCONAGHY - 610.299.0852

CODE: LOCATION: RESIDENT ROOM SHOWERS - WAINSCOT HEIGHT ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOM SHOWERS AT

WAINSCOT HEIGHT SHAW CONTRACT - ACTS PRIVATE LABEL MANUFACTURER:

STYLE: TRANQUILITY SIZE: 12" X 24" X -- "THICK COLOR / #: LIGHT GRAY 00500 GROUT:

MAPEI FLEXCOLOR CQ COLOR: 35 NAVAJO BROWN INSTALLATION: 33% BRICK

NOTE: CONTACT: VICKY MCCONAGHY - 610.299.0852

BASE HEIGHT

CODE: RESIDENT ROOM BATHROOMS - BASE HEIGHT LOCATION: ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOM BATHROOMS AT

MANUFACTURER: SHAW CONTRACT - ACTS PRIVATE LABEL STYLE: APOLLO PORCELAIN CT731 6"X12" <u>CUT TILE</u> SIZE: COLOR / #: MAPEI FLEXCOLOR CQ COLOR: 00 WHITE

GROUT: INSTALLATION: 33% BRICK AT SHOWER - COORDINATE WITH WT-2 NOTE: LOCATED ON ALL BATHROOM WALLS CONTACT: VICKY MCCONAGHY - 610.299.0852

CODE: LOCATION: COMMON TOILET ROOMS, SPA - FIELD TILE MANUFACTURER: DALTILE STYLE: PORTFOLIO

SIZE: 12" X 24" COLOR / #: CREAM PF07 MAPEI FLEXCOLOR CQ - COLOR: TBD GROUT:

INSTALLATION: RUNNING BOND CORNERS / WALL TRANSITION STRIP (WTS-1) AT TOP ROW & WALL TRANSITION STRIP AT OUTSIDE CORNERS (WTS-1)

CONTACT: SUSAN METKA - 484.576.9387 CODE:

MANUFACTURER: DALTILE STYLE: PORTFOLIO RANDOM LINEAR MOSAIC SIZE: COLOR / #: NOCE PF11 MAPEI FLEXCOLOR CQ - COLOR: TBD GROUT:

INSTALLATION: RUNNING BOND CORNERS / WALL TRANSITION STRIP (WTS-1) AT TOP ROW & WALL TRANSITION NOTE:

COMMON TOILET ROOMS - ACCENT TILE

STRIP AT OUTSIDE CORNERS (WTS-1) CONTACT: SUSAN METKA - 484.576.9387

CODE: WT-6 LOCATION: SPA ACCENT TILE MANUFACTURER: DALTILE STYLE: **MESMERIST** SIZE: 3" X 12"

LOCATION:

COLOR / #: MYSTIQUE MM35 MAPEI FLEXCOLOR CQ - COLOR: TBD GROUT:

INSTALLATION: NOTE: CORNERS / WALL TRANSITION STRIP (WTS-3) AT TOP ROW & WALL TRANSITION STRIP AT OUTSIDE CORNERS (WTS-3)

CONTACT: SUSAN METKA - 484.576.9387 CODE:

MAIN HOUSEHOLD ENTRY LOCATION: MANUFACTURER: TILEBAR STYLE: ACADIA THIN STRIP MOSAIC SIZE: MOSAIC

COLOR / #: IRON GRAY MAPEI FLEXCOLOR CQ - COLOR: TBD GROUT: INSTALLATION:

CORNERS / WALL TRANSITION STRIP (WTS-3) AT TOP ROW & WALL TRANSITION NOTE: STRIP AT OUTSIDE CORNERS (WTS-3) CONTACT:

CODE:

LOCATION: BACKSPLASH AT DINING SERVERY MANUFACTURER: DALTILE STYLE: PORTFOLIO SIZE: RANDOM LINEAR MOSAIC COLOR / #:

GROUT: MAPEI FLEXCOLOR CQ - COLOR: TBD INSTALLATION: RUNNING BOND

CORNERS / WALL TRANSITION STRIP (WTS-1) AT TOP ROW & WALL TRANSITION NOTE: STRIP AT OUTSIDE CORNERS (WTS-1)

CONTACT: SUSAN METKA - 484.576.9387 **WALL TRANSITION STRIPS**

LOCATION: AT WT-1 VERTICAL TERMINATION AT WT-2 HORIZONTAL TERMINATION MANUFACTURER: SCHLUTER CONDITION: TILE TERMINATION

MATERIAL: ALUMINUM STYLE: QUADEC GC TO CONFIRM DEPTH TO COORDINATE W/ SPECIFIED TILE & INSTALLATION SIZE:

FINISH: **BRUSHED NICKEL** GC TO PROVIDE ALL CORNER PIECES & ACCESSORIES AS REQ'D; NOTE:

TO RUN FLOOR TO CEILING ADJACENT TO DOOR FRAME AND ABOVE WT-2 WHEN ONLY PT-1 IS ABOVE CONTACT: GUSTAVO TOVAR - 301.836.2303

WALL CONT'D.

WALL TRANSITION STRIPS CONT'D

CODE: COMMON TOILET ROOM AND SPA LOCATION: MANUFACTURER: SCHLUTER

TILE TERMINATION; OUTSIDE AND INSIDE CORNERS CONDITION: STYLE: RONDEC SIZE: GC TO CONFIRM DEPTH TO COORDINATE W/ SPECIFIED TILE & INSTALLATION METHOD

FINISH: **BRUSHED NICKEL** GC TO PROVIDE ALL CORNER PIECES & ACCESSORIES AS REQ'D NOTE: CONTACT: GUSTAVO TOVAR - 301.836.2303

CODE: WTS-3 LOCATION: FIREPLACE AND SPA MANUFACTURER: SCHLUTER

INSIDE CORNERS; AT TILE TERMINATION CONDITION STYLE: SIZE: GC TO CONFIRM DEPTH TO COORDINATE W/ SPECIFIED TILE & INSTALLATION

FINISH: **BRUSHED NICKEL** GC TO PROVIDE ALL CORNER PIECES & ACCESSORIES AS REQ'D NOTE: CONTACT: GUSTAVO TOVAR - 301.836.2303

CODE: WTS-4 **FIREPLACE** LOCATION: MANUFACTURER: SCHLUTER CONDITION: **OUTSIDE CORNERS**

STYLE: RONDEC GC TO CONFIRM DEPTH TO COORDINATE W/ SPECIFIED TILE & INSTALLATION SIZE: METHOD

FINISH: BRUSHED NICKEL NOTE: GC TO PROVIDE ALL CORNER PIECES & ACCESSORIES AS REQ'D CONTACT: GUSTAVO TOVAR - 301.836.2303

WALL BASE

EPOXY BASE

CODE: SERVERY ROOMS, PANTRY LOCATION: MANUFACTURER: DUREX **DIRTY BLONDE** COLOR: WEARING SURFACE: STANDARD COVE BASE: NONE / 4/6" HIGH / INTEGRAL 1/4" THICK FLOOR POUR NOTE: CONTACT: BROOKE BUCHER - 717-626-8566

RESILIENT BASE

CODE: LOCATION: RESIDENT ROOMS EXCEPT BATHROOMS AND LOCATIONS OF LIGHTED WALL ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS MANUFACTURER: JOHNSONITE PROFILE: DELINEATE PROFILE, MW-44-T MILLWORK SIZE:

4 1/4" H, ROLL GOODS COLOR / # 44 DARK BROWN INSIDE/OUTSIDE CORNERS TO BE FORMED IN THE FIELD CONTACT PHIL CAREY - 215.356.6169

CODE: BACK OF HOUSE ROOMS, RESIDENT LAUNDRY ROOM, CLEAN & SOILED UTILITY LOCATION: ROOMS, MED ROOMS, NURSE STATION/CHARTING MANUFACTURER: JOHNSONITE PROFILE: RUBBER COVE BASE WITH TOE

TYPE: **BASEWORKS - TBS** SIZE: 4" H X 1/8" THICK, ROLL GOODS COLOR / #: INSIDE/OUTSIDE CORNERS TO BE FORMED IN THE FIELD NOTE: CONTACT: PHIL CAREY - 215.356.6169

CODE: CORRIDOR, VESTIBULE, NEW LOBBY, LIVING/ACTIVITY ROOM, DINING ROOM LOCATION: ADD ALT #1 - CHERRY BLOSSOM WING - LIVING AND DINING ROOM

MANUFACTURER: JOHNSONITE INFLECTION PROFILE MW-32-G PROFILE: TYPE: MILLWORK BASE SIZE: 5 1/4" H, ROLL GOODS COLOR / #: PEBBLE MANUF: SHOE MOLDING: JOHNSONITE PROFILE: SHU-32-A

COLOR: FINISH TO MATCH WALL BASE PROVIDE CONTINUOUS SILICONE CAULK BEAD TO MATCH WALL BASE. NOTE: PROVIDE ALONG TOP, BOTTOM & ALL INSIDE/OUTSIDE CORNERS CONTACT: PHIL CAREY - 215.356.6169

CODE: LOCATION: **HOUSEHOLD ENTRY** MANUFACTURER: JOHNSONITE PROFILE: MANDALAY PROFILE TYPE: MILLWORK BASE SIZE: 6" H, ROLL GOODS

COLOR / #: PEBBLE SHOE MOLDING: MANUF: **JOHNSONITE** PROFILE: SHU-32-A COLOR: FINISH TO MATCH WALL BASE NOTE: PROVIDE CONTINUOUS SILICONE CAULK BEAD TO MATCH WALL BASE,

PROVIDE ALONG TOP, BOTTOM & ALL INSIDE/OUTSIDE CORNERS CONTACT: PHIL CAREY - 215.356.6169

TRIM BASE

CODE: RESIDENT UNIT ENTRY & HOUSE HOLD ENTRY BUMP OUT LOCATION: MANUFACTURER: AZEK OR EQUAL FLAT-STOCK PROFILE: 1"X7 1/4" SIZE:

PAINTED; PT-5 MITERED AT ALL CORNERS

TILE BASE

COLOR / #:

NOTE:

COMMON TOILET ROOMS, SPA LOCATION: ADD ALT #1 - CHERRY BLOSSOM WING - TOILET ROOM

MANUFACTURER: DALTILE COLLECTION: PORTFOLIO **BULLNOSE PROFILE** STYLE / #: SIZE: TILE BASE COLOR / #: CREAM PF07

FINISH: MAPEI FLEXCOLOR CQ - COLOR: TBD GROUT: NOTE: SUSAN METKA - 484.576.9387 CONTACT

WALL BASE CONT'D.

TILE BASE CONTD

CODE: TB-2 OPEN SERVERY C118 LOCATION: ADD ALT #2 - CHERRY BLOSSOM WING - COUNTRY KITCHEN _ MANUFACTURER: GARDEN STATE TILE CROSSVILLE COLLECTION: STYLE: COLOR BLOX 2.0 SIZE: **BULLNOSE PROFILE** > COLOR / #: TREE HOUSE FINISH: UNPOLISHED / CROSS SLATE

GROUT: MAPEI KERAPOXY IEG- COLOR: 09 GRAY NOTE: FLOORING TO EXTEND BENEATH ALL MOVABLE EQUIPMENT WHERE APPLICABLE ¬ CONTACT: ANTHONY GATANZARO 732.829.3681 **WOOD BASE**

CODE: LOCATION: PLINTH BASE AT RESIDENT ROOMS WHERE LIGHTED WALL BASE MEETS RB-1 MANUFACTURER: GARDEN STATE LUMBER PROFILE:

ALAN AGELOFF - 800.526.4708 EXT 236

PAINT /PRIMED MDF GRADE / SPECIES: SIZE: 1" X 4 1/2" FINISH: TO BE PAINTED PT-3 PROVIDE CONTINUOUS CAULK BEAD ABOVE AND BELOW WALL BASE AT NOTE: FLOOR/WALL INTERSECTIONS, COLOR-MATCH TO APPLIED FINISH AS REQ'D CONTACT:

BASE TRANSITION

CODE: LOCATION: RESIDENT ROOM BATHROOMS, SALON, SPA, TOILET ROOMS ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOM BATHROOMS MANUFACTURER: SCHLUTER

MATERIAL: ALUMINUM PROFILE: DILEX-AHK SIZE: GC TO CONFIRM DEPTH TO COORDINATE WITH SPECIFIED TILE &

INSTALLATION METHOD FINISH: BRUSHED NICKEL ANODIZED NOTE: AT WALL TILE TO FLOOR TILE TRANSITION CONTACT: GUSTAVO TOVAR - 301.836.2303

WALL & DOOR PROTECTION

CORNER GUARDS

CODE:

CONTACT:

CODE:

CODE: RESIDENT ROOMS AT OUTSIDE CORNERS LOCATION: ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS AT OUTSIDE CORNERS MANUFACTURER: CS ACROVYN STYLE: SM SERIES 3" X 3" LEGS SIZE:

COLOR / #: 929 OYSTER GREY (TO MATCH PT-1) TO BE MOUNTED ABOVE SPECIFIED WALL BASE TO UNDERSIDE OF TR-1 INSTALLATION: NOTE: PROVIDE SM-20N, SM-20AN, SM-20MN, SSM-25AN WITH ALUMINUM RETAINER AS REQ'D PER PLAN

CONTACT: BRAD GILDON - 610.825.0320

LOCATION: OUTSIDE CORNERS AT (SELECT COMMON AREAS) ADD ALT #1 - CHERRY BLOSSOM WING - OUTSIDE CORNERS AT (SELECT MANUFACTURER: CS ACROVYN SM SERIES

STYLE: SIZE: 3" X 3" LEGS COLOR / #: 305 MUSHROOM (TO MATCH PT-4) INSTALLATION: TO BE MOUNTED ABOVE SPECIFIED WALL BASE TO 36"H OR UNDERSIDE OF HANDRAIL BACKER NOTE:

PROVIDE SM-20N, SM-20AN, SM-20MN, SSM-25AN WITH ALUMINUM RETAINER AS BRAD GILDON - 610.825.0320

OUTSIDE CORNERS AT COMMON AREAS

LOCATION: ADD ALT #1 - CHERRY BLOSSOM WING - OUTSIDE CORNERS AT (SELECT COMMON AREAS) MANUFACTURER: CS ACROVYN STYLE: SM SERIES

SIZE: 3" X 3" LEGS TBD (TO MATCH PT-X) COLOR / #: TO BE WALL-MOUNTED ABOVE SPECIFIED WALL BASE TO 36"H A.F.F. INSTALLATION: NOTE: PROVIDE SM-20N, SM-20AN, SM-20MN, SSM-25AN WITH ALUMINUM RETAINER AS

CONTACT: BRAD GILDON - 610.825.0320 CODE: LOCATION: OUTSIDE CORNERS AT COMMON AREAS ADD ALT #1 - CHERRY BLOSSOM WING - OUTSIDE CORNERS AT (SELECT **COMMON AREAS)**

MANUFACTURER: CS ACROVYN STYLE: SM SERIES SIZE: 3" X 3" LEGS COLOR / #: TBD (TO MATCH PT-X) TO BE WALL-MOUNTÉD ABOVE SPECIFIED WALL BASE TO 36"H A.F.F. INSTALLATION: NOTE:

PROVIDE SM-20N, SM-20AN, SM-20MN, SSM-25AN WITH ALUMINUM RETAINER AS REQ'D PER PLAN BRAD GILDON - 610.825.0320

DOOR PROTECTION

CONTACT:

NOTE:

CODE: RESIDENT ROOM DOORS - ENTRY PAINT DOOR AT CORRIDOR SIDE AND LOCATION: BATHROOM DOOR @ ROOM SIDE; TOILET ROOM AT BOTH SIDES ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS

MANUFACTURER: CS ACROVYN KICK/PUSH PLATE; KP-40 PRODUCT: STYLE: POLYCARBONATE - SOLID COLOR SIZE: TO BE INSTALLED 36" AFF COLOR: OYSTER GRAY #929 FINISH: INSTALLATION:

TO BE INSTALLED 42" FROM BOTTOM OF DOOR PROVIDE TRIM & ACCESSORIES AS REQ'D, COLOR TO MATCH PANEL / COLOR MATCH CAULK JOINT AT ALL VERTICAL SEAMS (EXPANSION JOINT TO BE 1/16" OR PER MANUFACTURER'S RECOMMENDATION). 1/4" REVEAL ON 3 SIDES; ENSURE NO CONFLICT OF DOOR OPERATION

CONTACT: BRAD GILDON - 610.825.0320

WALL & DOOR PROTECTION - CONT'D.

DOOR PROTECTION CONTD.

CODE: RESIDENT ROOM DOORS - ENTRY DOOR AT CORRIDOR SIDE AND LOCATION: BATHROOM DOOR @ ROOM SIDE; TOILET ROOM AT BOTH SIDES ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS MANUFACTURER: CS ACROVYN KICK/PUSH PLATE: KP-40

PRODUCT: STYLE: POLYCARBONATE - SOLID COLOR SIZE: TO BE INSTALLED 36" AFF COLOR: MUSHROOM #305 FINISH:

TO BE INSTALLED 42" FROM BOTTOM OF DOOR INSTALLATION: PROVIDE TRIM & ACCESSORIES AS REQ'D, COLOR TO MATCH PANEL / COLOR NOTE: MATCH CAULK JOINT AT ALL VERTICAL SEAMS (EXPANSION JOINT TO BE 1/16" OR PER MANUFACTURER'S RECOMMENDATION). CONTACT: BRAD GILDON - 610.825.0320

WALL PROTECTION PANELS

CODE: RESIDENT ROOM ENTRY WALLS & BED WALL LOCATION: ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOM ENTRY WALLS & BED MANUFACTURER: CS ACROVYN PRODUCT: ACROVYN TEXTURES STYLE: IRISH LINEN SIZE: TO BE INSTALLED 36" AT ENTRY WALL (ALIGN WITH TOP OF CORNER GUARD) TO UNDERSIDE OF TR-2 AT BED WALL AND ADJACENT IN DOUBLE UNITS

COLOR / #: OYSTER GRAY #929 PROVIDE TRIM & ACCESSORIES AS REQ'D, COLOR TO MATCH PANEL / COLOR NOTE: MATCH CAULK JOINT AT ALL VERTICAL SEAMS (EXPANSION JOINT TO BE 1/16" OR PER MANUFACTURER'S RECOMMENDATION)

CONTACT: BRAD GILDON - 610.825.0320 CODE:

RESIDENT LAUNDRY, JANITOR'S CLOSET CLEAN & SOILED UTILITY, HYDRATION LOCATION: STATION BEHIND APPLIANCES, MED PREP ROOM, TREATMENT AND REHAB ROOMS, LIFT STORAGE > 1 ADD ALT #1 - CHERRY BLOSSOM WING - SOILED UTILITY MANUFACTURER: CS ACROVYN

STYLE: ACROVYN SOLID COLORS SIZE: COLOR / #: TO BE INSTALLED 48" HIGH AT JANITOR'S CL, SOILED LINEN & MED PREP ROOM; 36" HIGH AT TREATMENT AND REHAB ROOMS; 60" AT LAUNDRY ROOM; BEHIND AND AT SIDE WALLS OF APPLIANCES; COLOR TO MATCH CAULK JOINT AT ALL SEAMS (EXPANSION JOINT TO BE 1/16" OR PER MANUFACTURER'S

RECOMMENDATION) CONTACT: BRAD GILDON - 610.825.0320 CODE: SERVERY ROOMS, PANTRY

ADD ALT #1 - CHERRY BLOSSOM WING - FOOD PREP AND COUNTRY KITCHEN MANUFACTURER: CRANE COMPOSITES SEQUENTIA - EMBOSSED STYLE: SIZE: COLOR / #: TO BE INSTALLED 48" HIGH

NOTE: PROVIDE TRIM & ACCESSORIES AS REQ'D CONTACT: JOHN BECK - 704.830.8653 CORRIDOR BELOW HANDRAIL LOCATION: MANUFACTURER: INPRO STYLE: RICOCHET SKETCH

INSTALLATION:

MANUFACTURER:

LOCATION:

SIZE: RC-SKE-R712 FRENCH VANILLA COLOR / #: TO BE INSTALLED 48" HIGH INSTALLATION: NOTE: PROVIDE TRIM & ACCESSORIES AS REQ'D CONTACT: JOHN BECK - 704.830.8653

CODE: RESIDENT ROOMS AT ACCENT PAINT PT-10 LOCATION: ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS AT ACCENT PAINT PT-10 MANUFACTURER: CS ACROVYN PRODUCT: **ACROVYN TEXTURES** STYLE: IRISH LINEN

SIZE: TO BE INSTALLED 36" AT ENTRY WALL (ALIGN WITH TOP OF CORNER GUARD) COLOR / #: NOTE: PROVIDE TRIM & ACCESSORIES AS REQ'D, COLOR TO MATCH PANEL / COLOR MATCH CAULK JOINT AT ALL VERTICAL SEAMS (EXPANSION JOINT TO BE 1/16" OR PER MANUFACTURER'S RECOMMENDATION)

CONTACT: BRAD GILDON - 610.825.0320 CODE: RESIDENT ROOMS AT ACCENT PAINT PT-11 LOCATION: ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS AT ACCENT PAINT PT-10

ACROVYN TEXTURES PRODUCT: STYLE: IRISH LINEN SIZE: TO BE INSTALLED 36" AT ENTRY WALL (ALIGN WITH TOP OF CORNER GUARD) COLOR / #: PROVIDE TRIM & ACCESSORIES AS REQ'D, COLOR TO MATCH PANEL / COLOR

MATCH CAULK JOINT AT ALL VERTICAL SEAMS (EXPANSION JOINT TO BE 1/16"

ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS AT ACCENT PAINT PT-10

OR PER MANUFACTURER'S RECOMMENDATION) CONTACT: BRAD GILDON - 610.825.0320 CODE:

RESIDENT ROOMS AT ACCENT PAINT PT-12

MANUFACTURER: PRODUCT: ACROVYN TEXTURES STYLE: IRISH LINEN SIZE: TO BE INSTALLED 36" AT ENTRY WALL (ALIGN WITH TOP OF CORNER GUARD) COLOR / #:

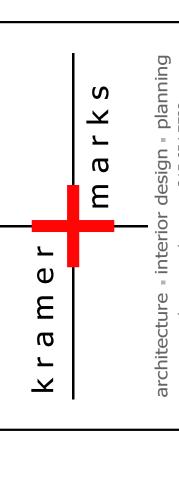
PROVIDE TRIM & ACCESSORIES AS REQ'D, COLOR TO MATCH PANEL / COLOR NOTE: MATCH CAULK JOINT AT ALL VERTICAL SEAMS (EXPANSION JOINT TO BE 1/16" OR PER MANUFACTURER'S RECOMMENDATION) CONTACT: BRAD GILDON - 610.825.0320

WALL PROTECTION BUMPER

CODE: LOCATION: RESIDENT ROOMS

ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS MANUFACTURER: CS ACROVYN STYLE: ACROVYN CRASH RAIL ECR - 48N SIZE: 6" H X 3 7/16"D COLOR / #: **OYSTER GRAY 929** INSTALLATION: PROVIDE ALL ACCESSORIES AS REQ'D NOTE: REFER TO ELEVATIONS & PLANS

BRAD GILDON - 610.825.0320



RECEIVED W.S. CUMBY

7 COMMUNITI

WBC ORE PII FARMS ENT GRANITE 1343 WES ETIREM S 2

FINISH SCHEDULE (CONT'D)

CHAIR RAIL

STYLE:

ACROVYN CRASH RAIL BG-10

SIZE: 4"W X 2 7/16" OFFSET X 30"H COLOR / #: OYSTER GRAY 929 PROVIDE END CAP AT TOP AND BOTTOM SIDES; INSTALL VERTICALLY INSTALLATION: NOTE: REFER TO ELEVATIONS & PLANS CONTACT: BRAD GILDON - 610.825.0320

CEILING

ACOUSTIC CEILING TILE

ACT-1 CODE: RESIDENT ROOMS LOCATION:

ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS MANUFACTURER ARMSTRONG ULTIMA WITH AIRGUARD #1900. SQUARE LAY-IN STYLE:

NRC / CAC 0.75 / 35 SIZE: 24" X 24"

COLOR: WHITE PRELUDE XL 15/16" FIREGUARD, INTERMEDIATE-DUTY; FINISH: WHITE GRID: GC TO PROVIDE ALL TRIM & ACCESSORIES AS REQ'D

NOTE: CONTACT: MIKE MCDOWELL - 609.455.9759

CODE: COMMON AREA CEILINGS LOCATION: ADD ALT #1 - CHERRY BLOSSOM WING - COMMON AREA CEILINGS

MANUFACTURER ARMSTRONG ULTIMA #1912 BEVELED TEGULAR STYLE:

NRC / CAC: 0.75 / 35 SIZE: 24" X 24" COLOR:

GRID: SUPRAFINE XL 9/16": FINISH: WHITE NOTE: GC TO PROVIDE ALL TRIM & ACCESSORIES AS REQ'D

CONTACT: MIKE MCDOWELL - 609.455.9759 CODE: ACT-3

LOCATION: COMMON AREA CEILINGS MANUFACTURER: ARMSTRONG STYLE: ULTIMA #1912 BEVELED TEGULAR

NRC / CAC: 0.75 / 35 SIZE: 24" X 48" COLOR: WHITE GRID: SUPRAFINE XL 9/16"; FINISH: WHITE

NOTE: GC TO PROVIDE ALL TRIM & ACCESSORIES AS REQ'D CONTACT: MIKE MCDQWELL_609:455.9759 CODE:

CEILINGS AT PANTRY/BEVERAGE. SERVERY ROOMS LOCATION: MANUFACTURER: ARMSTRONG STYLE: >NRC / CAC: SIZE: TBD

> WHITE GC TO PROVIDE ALL TRIM & ACCESSORIES AS REQ'D MIKE MCDOWELL - 609.455.9759 \

CEILING TRIM

COLOR:

GRID:

NOTE:

CODE: LOCATION: AXIOM TRIM AT (TBD) MANUFACTURER: ARMSTRONG STYLE: AXIOM TRANSITIONS AXTR7907STR NRC / CAC: 120 x 2-9/16 x 1-11/16" 9/16" TEGULAR TRANSITION MOLDING, STRAIGHT SIZE: COLOR: NOTE: GC TO PROVIDE ALL TRIM & ACCESSORIES AS REQ'D CONTACT: MIKE MCDOWELL - 609.455.9759

PAINT

CODE: LOCATION:	PTC-1 GENERAL CEILINGS & SOFFITS AT RESIDENT ROOMS & COMMON AREAS ADD ALT #1 & 2 - CHERRY BLOSSOM WING - GENERAL CEILINGS & SOFFITS
	COMMON AREAS & RESIDENT ROOMS

MANUFACTURER: SHERWIN WILLIAMS STYLE: SUPERPAINT AIR PURIFYING LATEX (LOW VOC) COLOR / #: PURE WHITE SW7005 REFER TO GENERAL FINISH NOTES SHEEN: CONTACT: RICA SUHANEC - 215.806.3579

CODE: LOCATION: CEILING AT RESIDENT ROOM ENTRY ARCH MANUFACTURER: SHERWIN WILLIAMS STYLE:

SUPERPAINT AIR PURIFYING LATEX (LOW VOC) COLOR / #: SW6005 FOLKSTONE SHEEN: REFER TO GENERAL FINISH NOTES CONTACT: RICA SUHANEC - 215.806.3579

WOOD CEILING

CODE: HOUSEHOLD ENTRIES - WOOD SLATTED CEILING LOCATION: MANUFACTURER: RULON CEILING COLLECTION: PANELIZED LINEAR

SPECIES: RED OAK / TBD COLOR / #: SW6005 FOLKSTONE REFER TO GENERAL FINISH NOTES SHEEN: CONTACT: JASON BETAR - 904.584.1400

MILLWORK

BRACKETS

CODE: NURSE STATION & CHARTING, STAFF LOUNGE, LAUNDRY, RECEPTION DESK AT AA LOCATION: MANUFACTURER: IRON SUPPORTS STYLE: FLOATING COUNTERTOP WALL BRACKET SIZE: 19.5"X19.5"

UNFINISHED STEEL TO BE PAINTED TO MATCH ADJACENT WALL FINISH: PROVIDE CONCEALED IN-WALL BLOCKING AS REQ'D; GC TO PROVIDE SCREWS NOTE: & ALL NECESSARY HARDWARE AS REQ'D FOR INSTALLATION; GC TO COORDINATE ALL BRACKET LOCATIONS WITH WALL PENETRATIONS AS REQ'D CONTACT:

MILLWORK - CONT'D.

CABINETRY LOCATION: MEDICINE CABINET AT RESIDENT ROOM BATHROOM ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS AT ENTRY AND

BATHROOM MANUFACTURER WG WOOD PRODUCTS FRAMELESS RECESSED CAB W/ WOOD DOOR MEDICINE CABINET; FR-230 DOOR STYLE WCD-24 INSET PANEL DOOR

31.5" H X 16.5" W X 6.5" D (INSIDE DEPTH 5.5") SIZE: SPECIES: TO MATCH TIMBERLAKE TRUFFLE FINISH:

LED MOTION SENSOR BAR LIGHT **ACCESSORIES** RECESSED ELECTRIC OUTLET INSIDE CAB. @ DOOR HINGE SIDE INSTALLED IN

CONTACT: ROBERT PARKER - 941.893.3016

CODE: CAB-2 LOCATION: MARINE GRADE PLYWOOD; CUSTOM TO MATCH TIMBERLAKE MANUFACTURER: SERIES: NEW HAVEN DOOR STYLE **FULL OVERLAY**

SPECIES: MAPLE GRADE: PAINT CONSTRUCTION ALL PLYWOOD TO MATCH TIMBERLAKE / MAPLE TRUFFLE FINISH: INTERIOR: AS PER MANUFACTURER'S STANDARD TOEKICK: FINISH TO MATCH CABINETRY TAUGE LUMBER OR EQUAL SHOE MOLDING: MANUF: TL-878 PROFILE:

> SPECIES: FJ PINE 7/16" X 1 1/8" PAINTED TO MATCH CABINETRY FINISH: AT ALL RESILIENT FLOORING, PROVIDE WOOD SHOE MOLDING TBD

CONTACT: CODE: CAB-3 LOCATION: STAFF BREAKROOM CUSTOM MANUFACTURER:

NOTE:

CONSTRUCTION: PLASTIC LAMINATE MANUF.: WILSONART STYLE: LINEARITY FINISH COLOR: ATLANTIS D26K-16

CONTACT: BRIAN PARENT - 609.238.5812 LINEARITY AT ALL RESILENT FLOORING, PROVIDE WOOD SHOE MOLDING TOEKICK: ALL CABINETS TO HAVE 4-1/2" H TOEKICK, FINISH TO MATCH CABINETRY SHOE MOLDING: MANUF: TAGUE LUMBER OR EQUAL

PROFILE: TL-878 SPECIES: FJ PINE SIZE: 7/16" X 1 1/8" FINISH: PAINTED CONTACT: TBD

LIVING/ACTIVITY ROOM, HYDRATION STATION, CONFERENCE ROOM LOCATION: **MANUFACTURER TIMBERLAKE** SERIES: **NEW HAVEN**

DOOR STYLE: **FULL OVERLAY** SPECIES: MAPLE COLOR: MAPLE TRUFFLE GRADE: STAIN CONSTRUCTION ALL PLYWOOD INTERIOR:

MANUFACTURER'S STANDARD SHOE MOLDING: TO MATCH CABINETRY MANUFACTURER MANUF: SCRIBE MOLDING (SCM0S) TO MATCH CABINETRY 5/8"H X 1/4"W X 8'-0" LONG SIZE:

TO MATCH CABINETRY FINISH: CONTACT: ED STEFFY - 484.824.8125

LOCATION: TREATMENT & REHAB ROOMS, CLEAN/SOILED UTILITY, MED PREP ROOM, TOILET ROOMS, NURSE STATION & CHARTING ROOMS, NURSE DROP-IN STATIONS, SERVERY C118, RESIDENT ROOM PLUMBING SHROUD MANUFACTURER: KING PLASTIC CORPORATION

MATERIAL STYLE: DURASTYLE WITH STARBOARD ST KINGSTON KDS202 / TBD WITH FULL HEIGHT DOOR (NO DRAWER / TOEKICK) DOOR STYLE: GAUGE: COLOR: NUTMEG ALL CABINETS TO HAVE 4-1/2" H TOEKICK, FINISH TO MATCH CABINETRY INTERIOR: SHOE MOLDING: TAGUE LUMBER OR EQUAL

PROFILE: TL-878 SPECIES: FJ PINE SIZE: 7/8" X 1/8" PAINTED SW7039 VIRTUAL TAUPE FINISH: CONTACT: BRIAN PARENT - 609.238.5812

CODE: CABINETRY AT SERVERY AND PANTRY; AT WALL CABINETS AT CAB-5 & CAB-6 LOCATION: MARINE GRADE PLYWOOD; CUSTOM TO MATCH TIMBERLAKE MANUFACTURER: CONSTRUCTION: PLASTIC LAMINATE MANUF.: WILSONART

STYLE: LINEARITY FINISH COLOR: SHADOW D96-18 CONTACT: BRIAN PARENT - 609.238.5812 LINEARITY AT ALL RESILENT FLOORING, PROVIDE WOOD SHOE MOLDING TOEKICK: ALL CABINETS TO HAVE 4-1/2" H TOEKICK, FINISH TO MATCH CABINETRY SHOE MOLDING: MANUF: TAUGE LUMBER OR EQUAL

PROFILE: TL-878 SPECIES: FJ PINE SIZE: 7/16" X 1 1/8" FINISH: PAINTED TBD

CS-1

CASING

CODE:

CONTACT:

LOCATION: **NEW LOBBY** TAGUE LUMBER OR EQUAL MANUFACTURER: PROFILE: TL-809PCM GRADE / SPECIES: PAINT / PRIMED FJ PINE SIZE: 11/16" x 5 1/4" COLOR / #: TO BE PAINTED PT-5 NOTE:

PROVIDE CONTINUOUS CAULK BEAD AROUND PERIMETER OF CASING, COLOR-MATCH TO APPLIED FINISH AS REQUIRED CONTACT: ALAN AGELOFF - 800.526.4708

MILLWORK - CONT'D.

CODE: LIVING/ACTIVITY ROOM LOCATION: ADD ALT #1- CHERRY BLOSSOM WING - TBD MANUFACTURER JOHNSONITE PROFILE: RAMPART CHAIR RAIL, CHR-283-C 4" H X .375" THICK, ROLL GOODS SIZE:

COLOR / #: INSIDE/OUTSIDE CORNERS TO BE FORMED IN THE FIELD CONTACT: PHIL CAREY - 215.356.6169

CULTURED MARBLE

RESIDENT ROOM BATHROOM VANITY LOCATION: ADD ALT #1 - CHERRY BLOSSOM WING - RESIDENT ROOMS AT BATHROOM VANITY MANUFACTURER: STYLE: VANITY TOP W/ INTEGRAL SINK TOP DEPTH 22" +/- AS PER MANUFACTURER'S STANDRD OVAL W/ DRIPLESS EDGE (IF APPLICABLE) **BOWL STYLE:** CENTERED IN CORNER; REFER TO ENLARGED UNIT BATHROOM PLANS **BOWL LOCATION:** COLOR / #: SOLID WHITE CM3B

FINISH: STANDARD EASED ALL EXPOSED SIDES TO BE FINISHED EDGE PROFILE: BACKSPLASH: REFER TO FAUCET SPECIFICATIONS FOR DRILL REQUIREMENTS NOTE:

REFER TO SOAP DISPENSER SPECIFICATIONS FOR DRILL REQUIREMENTS CONTACT DAN MORABITO - 267.463.3624

HANDRAILS

CODE: CORRIDORS LOCATION: MANUFACTURER: CUSTOM MILLWORK SPECIES: REFER TO DETAIL --/A-XXX SIZE: COLOR / #: STAINED - MINWAX TOASTED BARREL MW405 BACKER: INCLUDE CONTINUOUS BEHIND HANDRAIL CUSTOM MANUF: PROFILE: REFER TO DETAIL --/A-XXX SPECIES: MAPLE SIZE: 1/2" X 6" FINISH: TO BE PAINTED PT-5

INSTALLATION: BOTH SIDES OF CORRIDOR, TYP BACKER TO RUN CONTINUOUS BEHIND HANDRAIL AND EXTEND TO DOOR FRAME/ CASING/ETC. GC TO PROVIDE QUICK LOCK MOUNTING HARDWARE & ALL NECESSARY

COMPONENTS FOR INSTALLATION AS REQ'D, REFER TO DETAIL A/A501 CONTACT: BRAD GILDON - 610.825.0320 CODE:

CHERRY BLOSSOM & NEW LOBBY LOCATION: MANUFACTURER: CUSTOM MILLWORK SPECIES: REFER TO DETAIL --/A-XXX SIZE: COLOR / #: STAINED - PT-5 TO MATCH EXISTING (NOTE FOR SIZE & STAIN)

MANUF: PROFILE: TO MATCH EXISTING (NOTE FOR SIZE & STAIN) SPECIES: MAPLE SIZE: 1/2" X 6" FINISH: TO BE PAINTED PT-5

INSTALLATION: BOTH SIDES OF CORRIDOR, TYP BACKER TO RUN CONTINUOUS BEHIND HANDRAIL AND EXTEND TO DOOR FRAME/ CASING/ETC. GC TO PROVIDE QUICK LOCK MOUNTING HARDWARE & ALL NECESSARY

COMPONENTS FOR INSTALLATION AS REQ'D, REFER TO DETAIL A/A501 BRAD GILDON - 610.825.0320

HARDWARE

CONTACT:

CONTACT:

MANUFACTURER:

MANUFACTURER

CODE:

CONTACT:

CODE: RESIDENT ROOM - MEDICINE CABINET LOCATION: ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS AT MED CAB MANUFACTURER: AMEROCK BY MYKNOBS.COM ITEM NUMBER: CBZ-356585 MODEL#: 802-G26D

4" CENTER TO CENTER STYLE / #: ANTI-MICROBIAL SATIN NICKEL FINISH / #: GC TO CONFIRM A MINIMUM OF 4" CENTER TO CENTER FOR NOTE: ACCESSIBLE UNIT MILLWORK

CODE: COMMON SPACES - LIVING/ACTIVITY ROOM LOCATION: ADD ALT #1 - CHERRY BLOSSOM WING - LIVING AND DINING ROOM

ITEM NUMBER: PULL 0875VN TRILLION PULL MODEL #: STYLE / #: 128MM CENTER TO CENTER, 5 1/2" OVERALL FINISH / #: VINTAGE NICKEL NOTE: GC TO CONFIRM A MINIMUM OF 4" CENTER TO CENTER FOR

ACCESSIBLE UNIT MILLWORK CONTACT: ED STEFFY - 484.824.8125 CODE: HW-3 LOCATION: STAFF AREAS ADD ALT #1 - CHERRY BLOSSOM WING - STAFF AREAS

ITEM NUMBER: PULL 4701SN MODEL #: T-BAR PULL STYLE / #: 3" CENTER TO CENTER, 5 5/16" OVERALL FINISH / #: SATIN NICKEL NOTE: GC TO CONFIRM A MINIMUM OF 4" CENTER TO CENTER FOR

ACCESSIBLE UNIT MILLWORK CONTACT ED STEFFY - 484.824.8125

718.721.8955

TIMBERLAKE

TIMBERLAKE

LOCATION: CHARTING GROMMETS ADD ALT #1 - CHERRY BLOSSOM WING - CHARTING GROMMETS MANUFACTURER: RICHELIEU

ACCESSIBLE UNIT MILLWORK

KYLE MCDEVITT - 215.201.1966

ITEM NUMBER: 20694170 FINISH / #: STAINLESS STEEL NOTE: GC TO CONFIRM A MINIMUM OF 4" CENTER TO CENTER FOR

MILLWORK - CONT'D

PLASTIC LAMINATE

CODE: PL-1 LOCATION: RECEPTION DESK WILSONART MANUFACTURER: VERTICAL SURFACE APPLICATION: STYLE/COLOR: RALEIGH WALNUT 170175K-67 ALIGNED WALNUT FINISH WITH AEON FINISH: NOTE: AT PANEL EDGE CONDITIONS - REFER TO ELEVATIONS. MANUF.: FRY REGLET ITEM / #: MILLWORK REVEAL L ANGLE / #MWRL75 FINISH: STANDARD POWDERCOAT: TBD NOTE: GC TO CONFIRM DEPTH TO COORDINATE WITH PANEL INSTALLATION: PROVIDE ACCESSORIES AS REQUIRED CONTACT: BRIAN PARENT - 609.238.5812 CODE: LOCATION: SPA. TREATMENT ROOMS WILSONART

LINEARITY FINISH FINISH: NOTE: AT PANEL EDGE CONDITIONS - REFER TO ELEVATIONS. MANUF.: FRY REGLET ITEM / #: MILLWORK REVEAL L ANGLE / #MWRL75 FINISH: STANDARD POWDERCOAT: TBD NOTE: GC TO CONFIRM DEPTH TO COORDINATE WITH PANEL

VERTICAL SURFACE

SHADOW D96-18

INSTALLATION: PROVIDE ACCESSORIES AS REQUIRED CONTACT: BRIAN PARENT - 609.238.5812

QUARTZ

MANUFACTURER:

APPLICATION:

STYLE/COLOR:

CODE: RECEPTION, LIVING/ACTIVITY ROOM, SERVERY ROOMS, STAFF LOUNGE. LOCATION: CONFERENCE ROOM MANUFACTURER: WILSONART COUNTERTOP APPLICATION: PRICE GROUP: GROUP 4 FOSSA FALLS Q4065 COLOR: FINISH: POLISHED EASED (IF APPLICABLE) EDGE PROFILE: COUNTERTOP: 3 CM THICK 2 CM THICK; 4" HNON-INTEGRATED / NONE AT WALL TILE LOCATIONS BACKSPLASH: PROVIDE SIDE SPLASH AT CORNER CONDITIONS NOTE: UNDERSIDE & ALL EXPOSED EDGES TO BE POLISHED, TYP CONTACT: BRIAN PARENT - 609.238.5812

LORI O'BRIEN - 952.944.1676 CODE: LOCATION: SPA VANITY WILSONART MANUFACTURER: APPLICATION: COUNTERTOP PRICE GROUP: GROUP 3 COLOR: KOLAMS Q4009 FINISH: POLISHED EASED (IF APPLICABLE) EDGE PROFILE: COUNTERTOP: 3 CM THICK 2 CM THICK: 4" HNON-INTEGRATED / NONE AT WALL TILE LOCATIONS BACKSPLASH: PROVIDE SIDE SPLASH AT CORNER CONDITIONS NOTE: UNDERSIDE & ALL EXPOSED EDGES TO BE POLISHED, TYP

CONTACT: BRIAN PARENT - 609.238.5812 LORI O'BRIEN - 952.944.1676

SOLID SURFACE

CODE: LOCATION: TOILET ROOMS, RESIDENT LAUNDRY MANUFACTURER: WILSONART COUNTERTOP APPLICATION: PRICE GROUP: GROUP X COLOR / #: GULFCOAST POLISHED FINISH: SIZE: 1/2" THICK EDGE PROFILE: EASED 1/2" THICK / NON-INTEGRATED / PROVIDE BACKSPLASH: SIDE SPLASH AT CORNER CONDITIONS NOTE: INTEGRATED SINK AT TOILET ROOM CONTACT: BRIAN PARENT - 609.238.5812

CODE: LOCATION: STAFF LOUNGE, NURSE STATION & CHARTING, PRIVATE TREATMENT AND REHAB ROOMS, MED PREP, NURSE DROP-IN STATIONS MANUFACTURER: WILSONART APPLICATION: COUNTERTOP PRICE GROUP: GROUP X COLOR / #: BEIGE TRAVERTINE FINISH: POLISHED

1/2" THICK SIZE: EDGE PROFILE: BACKSPLASH: 1/2" THICK / NON-INTEGRATED / PROVIDE SIDE SPLASH AT CORNER CONDITIONS NOTE: INTEGRATED SINK AT PRIVATE TREATMENT, REHAB AND MED PREP ROOMS CONTACT: BRIAN PARENT - 609 238.5812

CODE: WINDOWSILLS AT EXISTING WOOD SILLS IN VESTIBULE AREAS LOCATION: APPLICATION: WINDOW SILLS MANUFACTURER: WILSONART STYLE: BIOPRISM THICKNESS: 1/2" WITHOUT DRIP EDGE

TBD (PRICE GROUP X) COLOR / #: **EDGE PROFILE:** DOUBLE EASED (1/8" RADIUS) CORNERS: TO BE PROVIDED DOG EARS:

PROVIDE CONTINUOUS CAULK BEAD AROUND PERIMETER OF SILL AT ALL CUT NOTE: EDGES, COLOR-MATCH TO SILL FINISH AS REQ'D. REFER TO DEMOLITION NOTES FOR LOCATIONS. CONTACT: ERIN MACLEISH - 484.213.6034

 $\boldsymbol{\omega}$ Y

RECEIVED W.S. CUMBY

7 COMMUNITI WBC ORE PIP FARMS ST BALTIMG ETIREMENT
420 DELA
FORT WASHIN GRANITE 1343 WES

S

 $\overline{\mathbf{Z}}$

FINISH SCHEDULE (CONT'D)

LOCATION:

CODE:

HANDRAIL @ WBC LOCATION: MINWAX MANUFACTURER: OIL / WATER BASED TYPE: COLOR / #: TOASTED BARREL MW405

WALNUT; PROTECTIVE COAT IF APPLICABLE FINISH: SATIN PRODUCT USING MANUFACTURER RECOMMENDED TOOLS; PREP NOTE:

SURFACE AS REQ'D TO RECEIVE FINISH CONTACT: RICA SUHANEC -215.806.3579

CODE:

CHERRY BLOSSOM WING HANDRAILS WBC HOUSEHOLD ENTRY NEW HANDRAILS - BACKER TO MATCH EXISTING

CHERRY BLOSSOM STAIN COLORS

MANUFACTURER: MINWAX TYPE: OIL / WATER BASED

COLOR / #: TOASTED BARREL MW405

WALNUT; PROTECTIVE COAT IF APPLICABLE FINISH: SATIN PRODUCT USING MANUFACTURER RECOMMENDED TOOLS: PREP NOTE:

SURFACE AS REQ'D TO RECEIVE FINISH CONTACT: RICA SUHANEC -215.806.3579

TRIM

CODE: LOCATION: RESIDENT ROOM BED LIGHT TRIM & BED WALL (ADJACENT WALL AT DOUBLE

ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOM BED LIGHT TRIM &

BED WALL MANUFACTURER: TAGUE LUMBER OR EQUAL

PROFILE: TL-2019 GRADE / SPECIES: PAINT / PRIMED FJ PINE SIZE: 11/16" X 5 1/2"

FINISH: PROVIDE CONTINUOUS CAULK BEAD AROUND PERIMETER NOTE:

CONTACT: VINCE YANCER - 215.348.9408

CODE: LOCATION: RESIDENT ROOM 199/200 & COMMON SPACE WINDOW APRON

MANUFACTURER: TAGUE LUMBER OR EQUAL PROFILE: TL-2019

GRADE / SPECIES: PAINT / PRIMED FJ PINE SIZE: 11/16" X 5 1/2"

FINISH: TO BE PAINTED PT-2 NOTE: PROVIDE CONTINUOUS CAULK BEAD AROUND PERIMETER OF TRIM,

COLOR-MATCH TO APPLIED FINISH AS REQ'D.

CONTACT: VINCE YANCER - 215.348.9408

CODE: LOCATION: RESIDENT ROOM WALL PROTECTION, CORRIDOR TACK BOARD

ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOM ENTRY WALL PROTECTION

MANUFACTURER: TAGUE LUMBER OR EQUAL TL-525

PROFILE: GRADE / SPECIES: PAINT / PRIMED FJ PINE SIZE: 1/4" X 3/4"

FINISH: TO BE PAINTED PT-4 NOTE: PROVIDE CONTINUOUS CAULK BEAD AROUND PERIMETER OF TRIM,

COLOR-MATCH TO APPLIED FINISH AS REQ'D. CONTACT: VINCE YANCER - 215.348.9408

CODE:

LOCATION: CORRIDOR AT UNIT ENTRY AND AT WC-1 IN LIVING/ACTIVITY & DINING ROOM

ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOM VERTICAL TRIM MANUFACTURER: GARDEN STATE LUMBER PROFILE:

GRADE / SPECIES: PAINT / PRIMED MDF

SIZE: 1 3/16" X 4 1/2" FINISH: TO BE PAINTED PT-4

PROVIDE CONTINUOUS CAULK BEAD AROUND PERIMETER OF TRIM. NOTE:

COLOR-MATCH TO APPLIED FINISH AS REQ'D. CHAMFER AT TOP AND BOTTOM AT RESILINET BASE AND CROWN MOLDING LOCATIONS

CONTACT: ALAN AGELOFF - 800.526.4708

CODE: TR-5 LOCATION: **FIREPLACE** MANUFACTURER: TAGUE LUMBER PROFILE: TL-878 GRADE / SPECIES: PAINT / PRIMED MDF

SIZE: 7/16" X 1 1/8" FINISH: TO BE PAINTED PT-4 PROVIDE CONTINUOUS CAULK BEAD AROUND PERIMETER OF TRIM, NOTE:

COLOR-MATCH TO APPLIED FINISH AS REQ'D. CHAMFER AT TOP AND BOTTOM AT RESILINET BASE AND CROWN MOLDING LOCATIONS

CONTACT: ALAN AGELOFF - 800.526.4708

MISCELLANEOUS - CONT'D.

BLINDS

CODE:

LOCATION: STAFF BREAKROOM, RESIDENT ROOMS

MANUFACTURER: SWF CONTRACT STYLE: 2" HORIZONTAL SLATS

MATERIAL: VINYL / FAUX WOOD SIZE: 2" SLATS, GC TO V.I.F. WIDTH & HEIGHT OF OPENING FOR ALL WINDOWS

COLOR / #: CLOTH TAPE: 1" COLOR: TO MATCH INSTALLATION: INSIDE MOUNT

HEADRAIL FINISH TO MATCH SLATS, TYP. NOTE: CONTACT: MICHELLE DYE - 614.563.2142

PRIVACY CURTAINS

CODE: RESIDENT ROOMS - DOUBLE AND SINGLE UNITS AT BEDS, SPA, PRIVATE LOCATION:

TREATMENT ROOMS ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOMS

MANUFACTURER: MAHARAM / MOMENTUM / TBD STYLE:

TBD 84" H TBD

SIZE: COLOR: MESH TOP: COLOR: TBD SIZE:

TRACK: IN-PRO MANUF:

OPTI-TRAC CUBICLE TRACK (CE5000) STYLE: FINISH:

CARRIER: BALL & CHAIN (CE5038)

GC TO PROVIDE ALL NÉCCESSARY HOOKS, CAPS & ACCESSORIES AS REQ'D

CONTACT: ERIC MACLEISH - 484.213.6034

GC TO V.I.F. REQ'D LENGTH OF CURTAIN RUN PRIOR TO ORDERING, 12" MIN CLEARANCE A.F.F TO BOTTOM OF CURTAIN, GROMMETS TO BE SPACED

6" APART (CENTER TO CENTER) CONTACT: HEATHER MOORE - 212.614.2940

JANET CACKOVIC - 610.731.5359

LOCKERS

CODE: LKR-1 LOCATION: STAFF LOUNGE MANUFACTURER: SALSBURY INDUSTRIES STYLE: THREE WIDE 94368 SIZE: TIERS: REFER TO ARCHITECTURAL DRAWINGS VENT STYLE: HORIZONTAL

LOCK STYLE: HANDEL; PADLOCK COLOR: CONTACT: 800.562.5377

RAYDOOR

CODE: LIVING/ACTIVITY AND DINING ROOM LOCATION:

MANUFACTURER: RAYDOOR

SLIDING BYPASS; FOUR PANEL SYSTEM W/ SOFT CLOSE SYSTEM: DOOR STYLE: 3 HORIZONTALS

DOOR FRAME: LAMINATE; COLOR TIMBER

GLAZING: OYSTER LINEN GC TO PROVIDE ALL REQUIRED COMPONENTS FOR PROPER FUNCTION NOTE:

CONTACT: 1-212-380-3846

ROLLER SHADES

STAFF AREAS, RESIDENT LAUNDRY ROOM LOCATION:

ADD ALT #2 - CHERRY BLOSSOM WING - RESIDENT ROOM WINDOWS MANUFACTURER: SWFCONTRACT

OPERATION: MANUAL SHADE STYLE: R SERIES GC TO V.I.F. SIZE: SHADECLOTH STYLE: CROSSHATCH R100 SHADECLOTH COLOR: LINEN/FOG C7913

OPENESS FACTOR: 1% ROLL ORIENTATION: REGULAR ROLL BANDING: SINGLE BAND FASCIA STYLE: SNAPLOCK FASCIA COLOR:

MOUNTING: RECESSED GC TO PROVIDE ALL REQUIRED COMPONENTS FOR PROPER FUNCTION NOTE:

GC TO PROVIDE CHAIN RETAINER(S) AS REQ'D CONTACT: 1-800-327-9798

CODE: RS-2

LOCATION: LIVING/ACTIVITY AND DINING ROOMS ADD ALT #1 - CHERRY BLOSSOM WING - COMMON SPACE WINDOWS

MANUFACTURER: SWFCONTRACT OPERATION: AUTOMATIC SHADE STYLE: R SERIES SIZE: GC TO V.I.F. SHADECLOTH STYLE: CROSSHATCH R300 SHADECLOTH COLOR: LINEN/FOG C8213 OPENESS FACTOR: 3% ROLL ORIENTATION: REGULAR ROLL BANDING: SINGLE BAND FASCIA STYLE: SNAPLOCK FASCIA COLOR: WHITE

MOUNTING: RECESSED GC TO PROVIDE ALL REQUIRED COMPONENTS FOR PROPER FUNCTION NOTE:

GC TO PROVIDE CHAIN RETAINER(S) AS REQ'D CONTACT: 1-800-327-9798

WINDOW FILM

EXISTING DOOR SIDE LIGHT LOCATION: MANUFACTURER: STYLE: FINE CRYSTAL SH2FNCR REFER TO DOOR SCHEDULE/ELEVATION SIZE: CONTACT: 800.562.5377



PATCH AND LEVEL FLOORS WHERE NEW FLOOR FINISHES ARE TO BE INSTALLED. ALL

FLOORING TO BE INSTALLED TO CREATE ZERO TRANSITION. PAINT ALL EXISTING DOOR FRAMES ALONG WORK AREA. SAND AND PREPARE SURFACES PER PAINT MANUFACTURER'S DIRECTIONS PRIOR TO PAINTING.

ALL WALL FINISHES AND TRIMS SHALL CONTINUE BEHIND ACCESSORIES, EQUIPMENT AND REMOVABLE CASEWORK. ALL THE TILE TO BE INSTALLED PER THE CURRENT TILE COUNCIL OF NORTH AMERICA INSTALLATION HANDBOOK.

PAINT ALL GRILLS & VENTS TO MATCH ADJACENT WALL. PROVIDE FINISHES AT ALL CLOSETS U.N.O FINISHES TO MATCH ADJACENT SPACES ALL ACOUSTICAL CEILING TILE TO BE CENTERED IN SPACE.

ALL LIGHT FIXTURES TO BE CENTED ON ACT GRID. REFER TO INTERIOR ELEVATIONS & FINISH SCHEDULE FOR WAINSCOT MOUNTING HEIGHTS,

ALL SYSTEMS TO BE 3 COATS (1 PRIMER AND 2 COATS) FINAL COAT TO BE APPLIED AFTER FLOOR INSTALLATION AND OTHER TRADES COMPLETE

SATIN HIGH QUALITY WASHABLE LATEX PAINT MUST BE USED IN BATHROOMS ALL WALLS TO BE FLAT/MATTE

DOORS/ DOOR FRAMES & TRIM TO BE SEMI-GLOSS FINISH

COMMUNITI WBC FARMS ST BALTIMG DIA, PA 190 ETIREMENT
420 DELA
FORT WASHIN GRANITE 1343 WES S $\overline{\mathbf{Z}}$

7

Ð

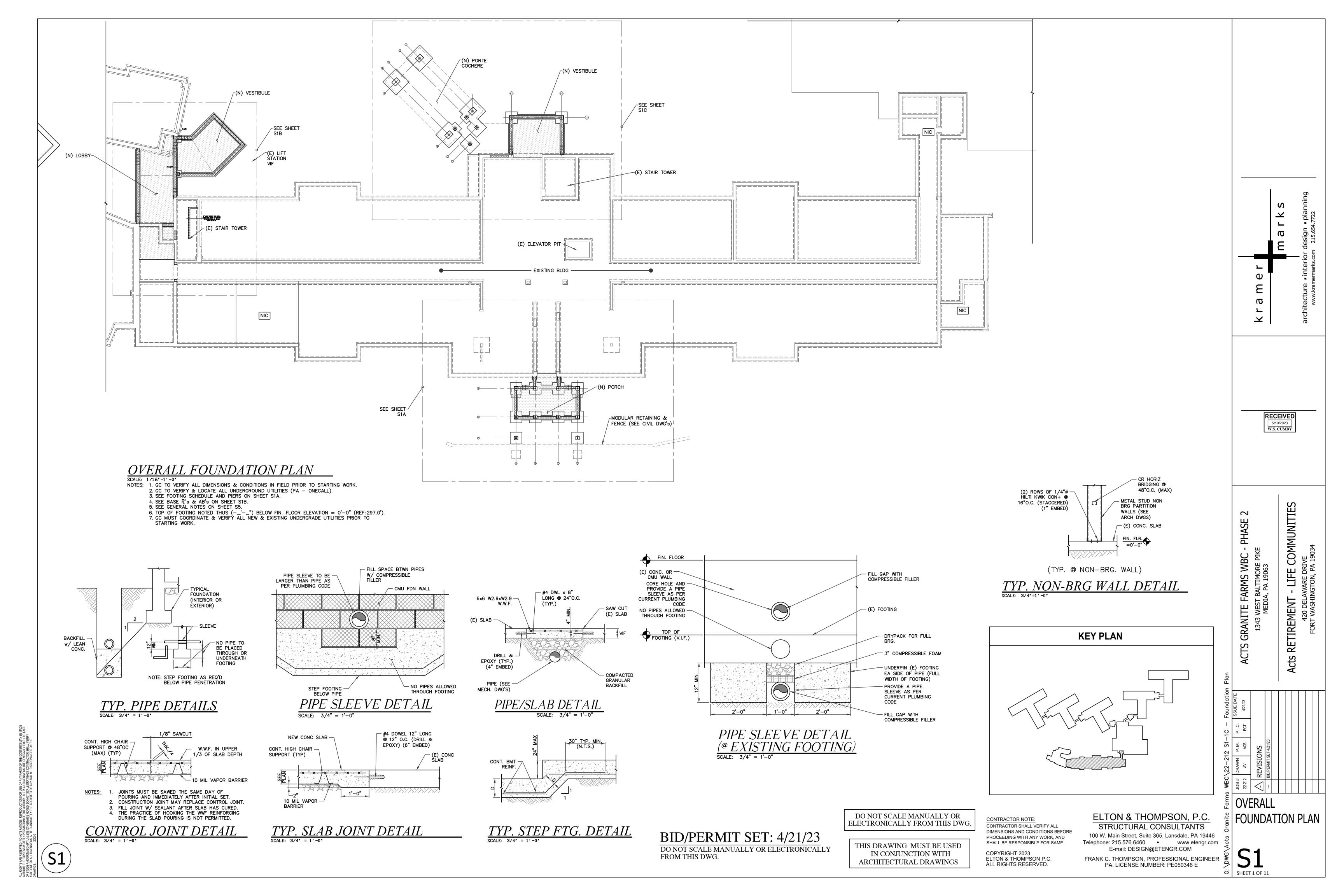
 $\boldsymbol{\sigma}$

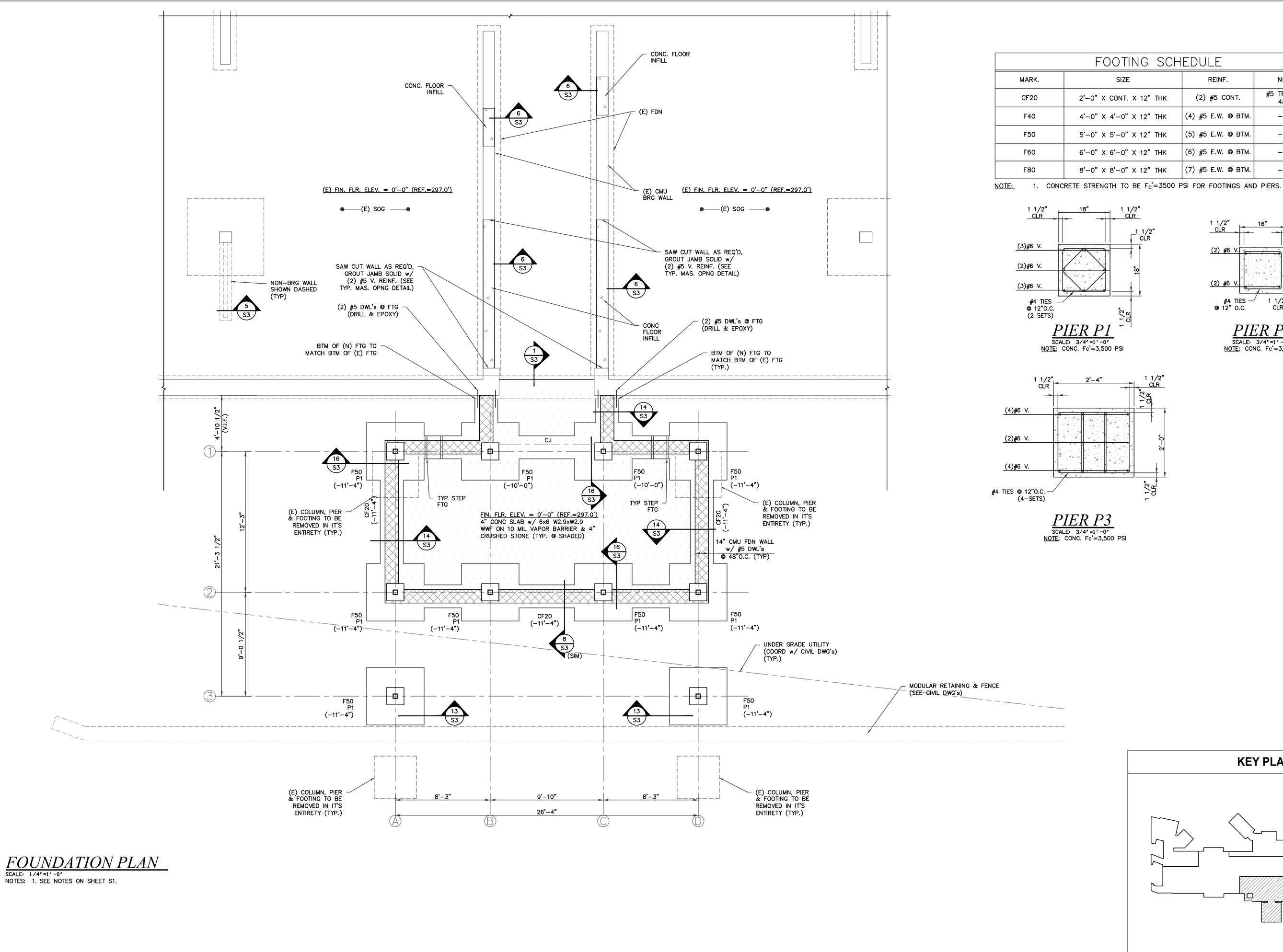
 \checkmark

RECEIVED

W.S. CUMBY

FINISH SCHEDULE (CONT'D)





DO NOT SCALE MANUALLY OR ELECTRONICALLY FROM THIS DWG

THIS DRAWING MUST BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS

BID/PERMIT SET: 04/21/23

DO NOT SCALE MANUALLY OR ELECTRONICALLY

FROM THIS DWG.

CONTRACTOR NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK, AND SHALL BE RESPONSIBLE FOR SAME. COPYRIGHT 2023 ELTON & THOMPSON P.C.

ALL RIGHTS RESERVED.

E-mail: DESIGN@ETENGR.COM

KEY PLAN

NOTES

#5 TRANS. @

48"0C

(2) #5 CONT.

(4) #5 E.W. @ BTM.

(5) #5 E.W. @ BTM.

(6) #5 E.W. @ BTM.

|(7) #5 E.W. @ BTM.|

#4 TIES —/ © 12" O.C.

SCALE: 3/4"=1'-0"

NOTE: CONC. Fc'=3,500 PSI

ELTON & THOMPSON, P.C. STRUCTURAL CONSULTANTS 100 W. Main Street, Suite 365, Lansdale, PA 19446 Telephone: 215.576.6460 • www.etengr.com FRANK C. THOMPSON, PROFESSIONAL ENGINEER PA. LICENSE NUMBER: PE050346 E

 $\boldsymbol{\sigma}$

RECEIVED W.S. CUMBY

COMMUNITIES

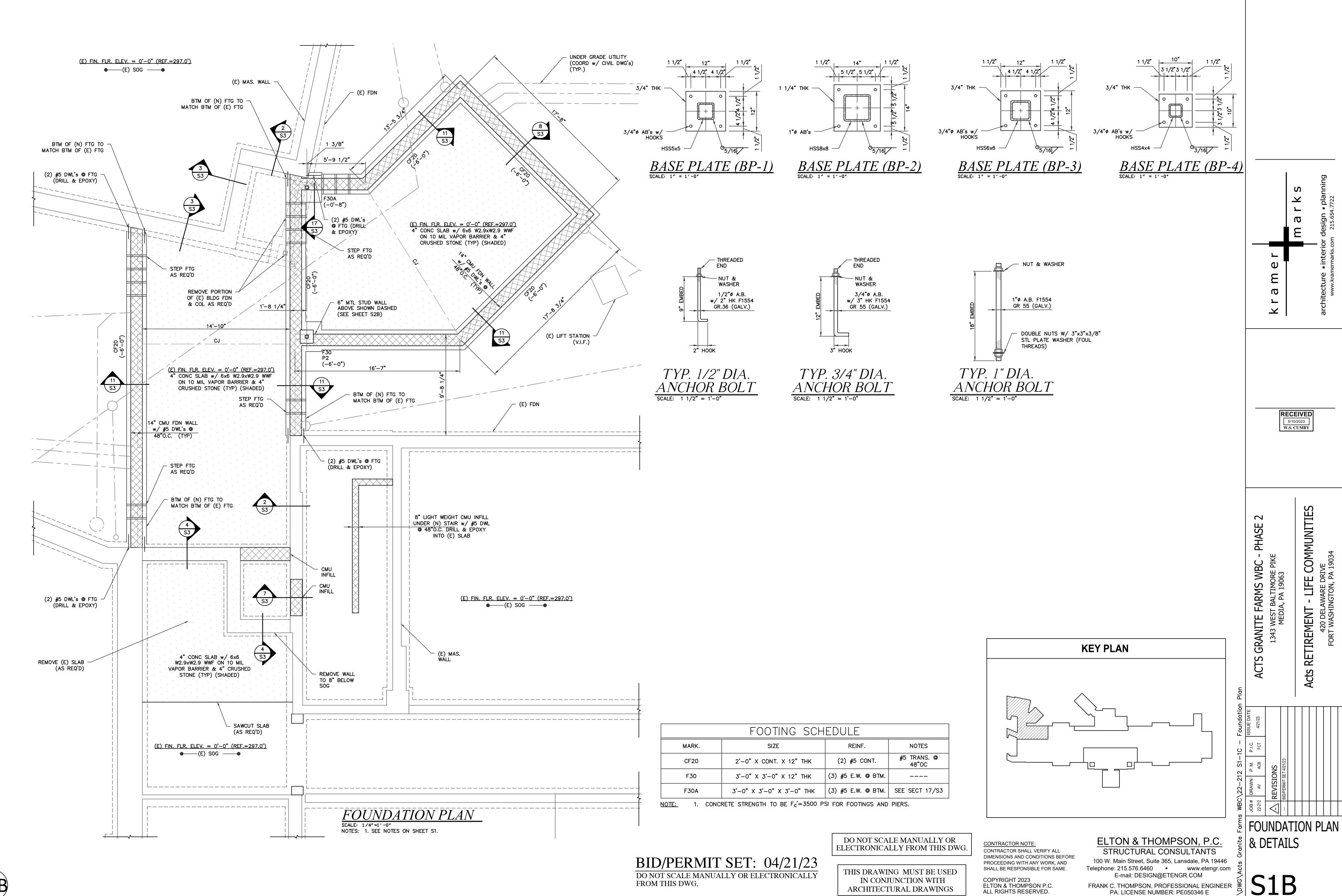
S RETIREMENT

420 DELA

FORT WASHIN

FOUNDATION PLAN

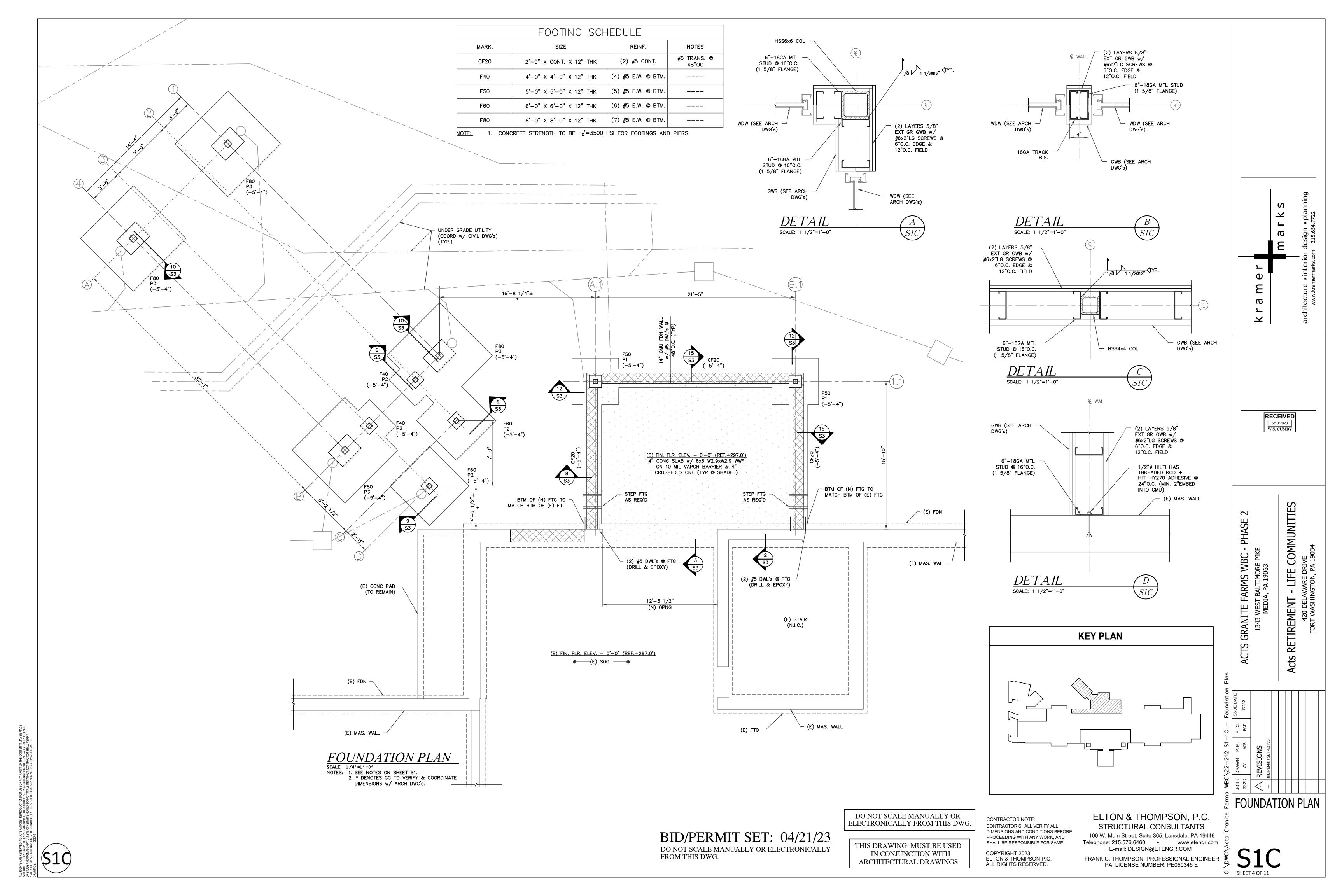
Ö SHEET 2 OF 11

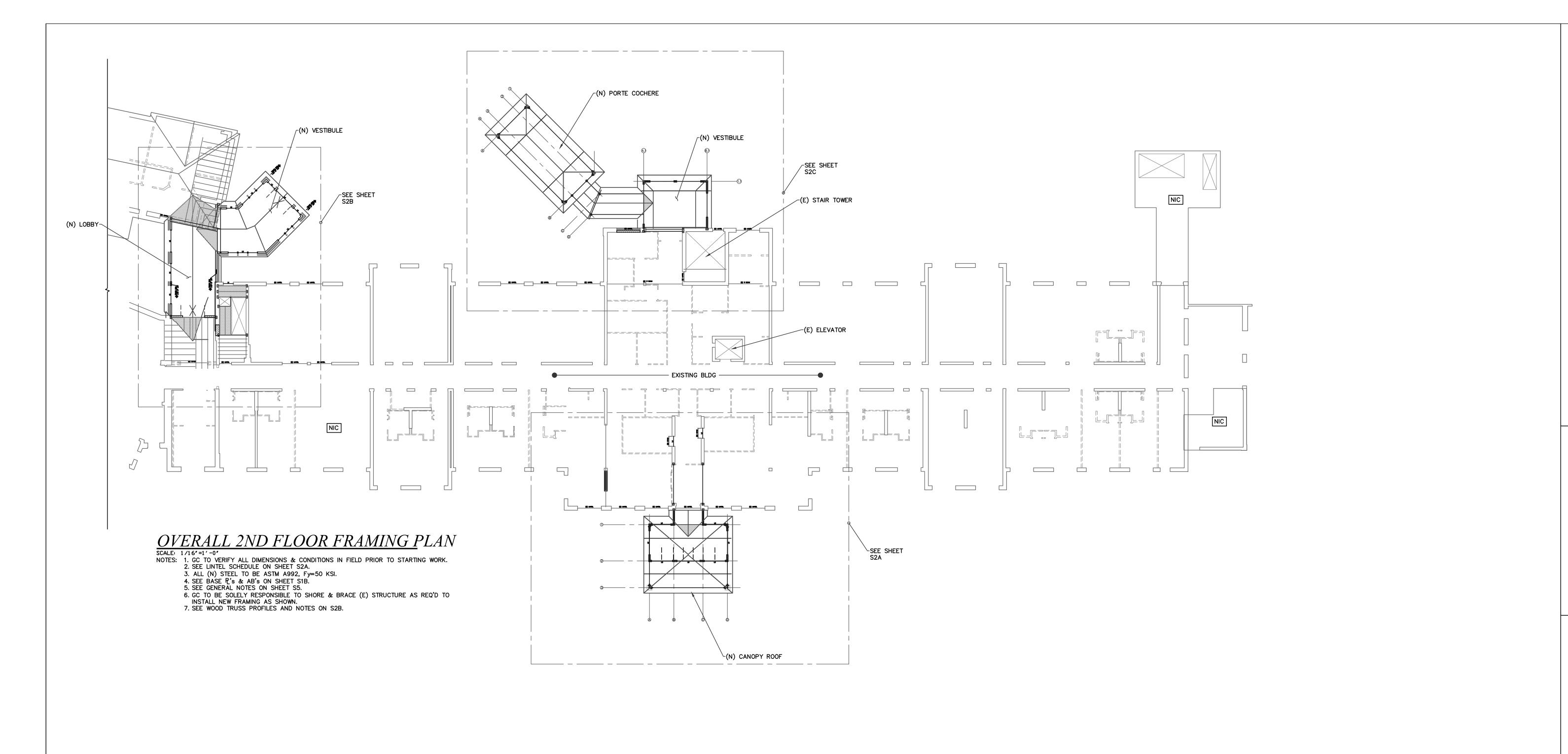


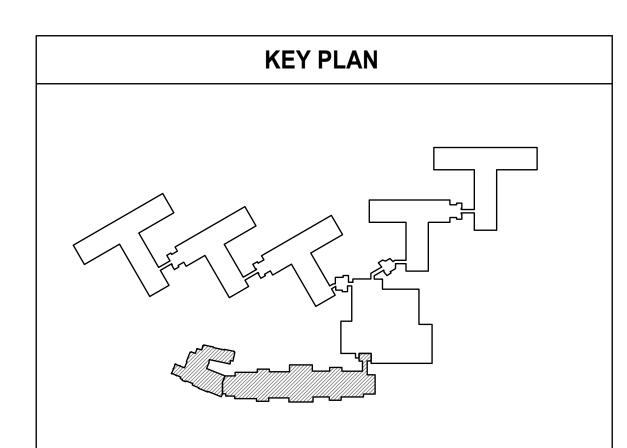
COMMUNITIES

RETIREMENT 420 DELAY FORT WASHIN

ඊ SHEET 3 OF 11







DO NOT SCALE MANUALLY OR ELECTRONICALLY FROM THIS DWG.

THIS DRAWING MUST BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS

CONTRACTOR NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK, AND SHALL BE RESPONSIBLE FOR SAME. COPYRIGHT 2023 ELTON & THOMPSON P.C. ALL RIGHTS RESERVED.

ELTON & THOMPSON, P.C. STRUCTURAL CONSULTANTS 100 W. Main Street, Suite 365, Lansdale, PA 19446 Telephone: 215.576.6460 • www.etengr.com E-mail: DESIGN@ETENGR.COM

FRANK C. THOMPSON, PROFESSIONAL ENGINEER PA. LICENSE NUMBER: PE050346 E

통 OVERALL 2ND FLOOR FRAMING

RECEIVED

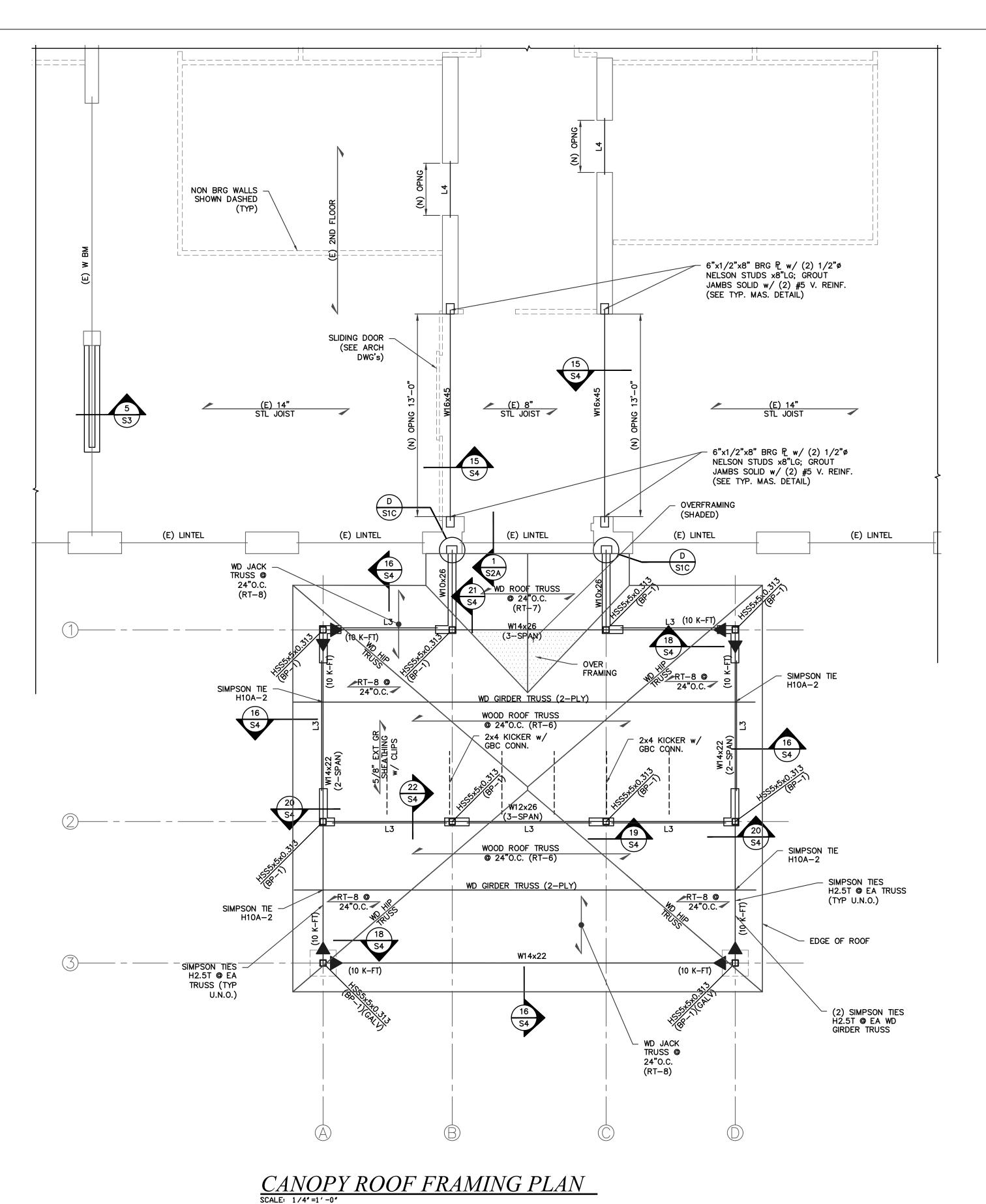
W.S. CUMBY

COMMUNITIES

S RETIREMENT 420 DELAY FORT WASHIN

BID/PERMIT SET: 04/21/23 DO NOT SCALE MANUALLY OR ELECTRONICALLY FROM THIS DWG.

じ SHEET 5 OF 11



NOTES: 1. SEE NOTES ON SHEET S2.

- 2. GC TO BE SOLELY RESPONSIBLE TO SHORE & BRACE (E) STRUCTURE AS REQ'D TO INSTALL NEW FRAMING AS SHOWN.
- 3. SEE SHEET S2B FOR TRUSS PROFILES & NOTES.

 4. TRUSS BRG ELEVATION = +10'-9 1/2" AFF (U.N.O.).

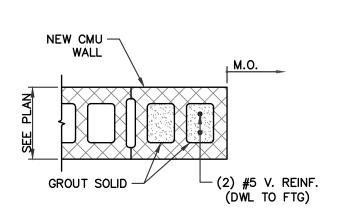
 5. ALL STRUCTURAL STEEL TO BE ASTM A992.

L009	SE LINTEL SCHEDU	LE
WIDTH OF OPENING	SIZE OF ANGLE FOR EACH 4" OF BRICK THICKNESS	SHAPE
UP TO 2'-11"	L3 1/2x3 1/2x5/16 LLV (GALV)	
3'-0" TO 9'-5"	L5x3 1/2x5/16 LLV (GALV)	
9'-6" TO 11'-11"	L7x4x3/8 LLV (GALV)	
12'-0" TO 15'-0"	L8x4x3/8 LLV (GALV)	

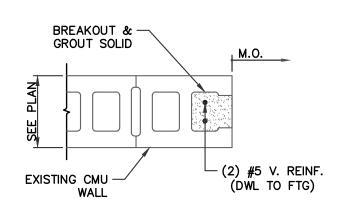
NOTES:	

- 1. ALL BRICK SHELF ANGLES TO BE GALV.
- 2. MINIMUM BEARING AT JAMBS TO BE 8" MIN.
- 3. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR ROLLED (ARCHED) BRICK SHELF ANGLES. 4. USE THE ABOVE SCHÉDULE FOR LINTELS NOT
- INDICATED ON PLAN

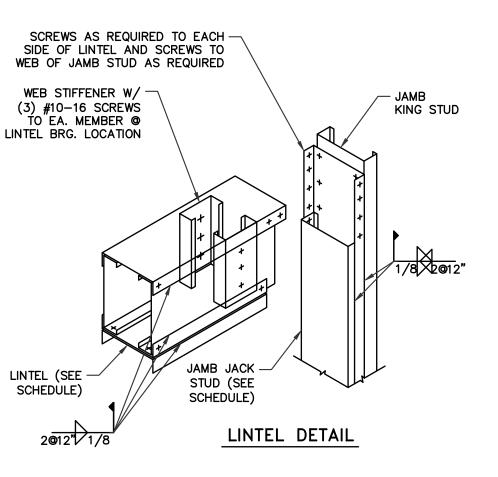
	LINTEL SCHEDULE	
MARK	SIZE	SHAPE
L1	(2) P.C. CONC LINTELS w/ #5 TOP & BTM + L4x3 1/2x5/16 LLV	
L2	(2) 8"-16GA MTL STUDS w/ 6"-14GA TRACK (T & B)	
L3	(2) 10"-16GA MTL STUDS w/ 6"-14GA TRACK (T & B)	
L4	(2) P.C. CONC LINTELS w/ #5 TOP & BTM	

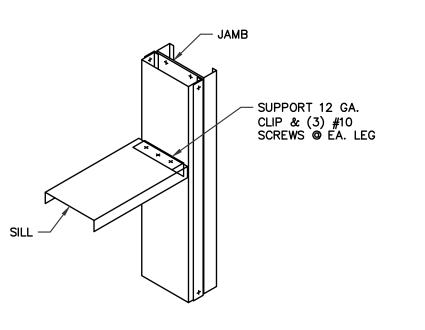


TYP. MASONRY OPNG. DETAIL



TYP. MASONRY OPNG. DETAIL
SCALE: 3/4' = 1'-0'

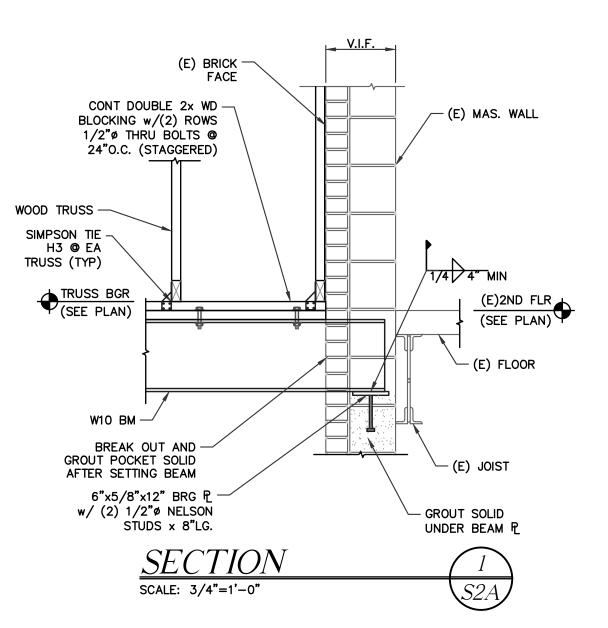




SILL DETAIL

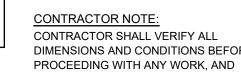
TYP. MTL STUD LINTEL

KEY PLAN



DO NOT SCALE MANUALLY OR ELECTRONICALLY FROM THIS DWG.

THIS DRAWING MUST BE USED IN CONJUNCTION WITH



DIMENSIONS AND CONDITIONS BEFORE SHALL BE RESPONSIBLE FOR SAME. COPYRIGHT 2023 ELTON & THOMPSON P.C. ALL RIGHTS RESERVED.

WBC -

GRANITE

 $\boldsymbol{\omega}$

RECEIVED

W.S. CUMBY

COMMUNITIES

RETIREMENT · 420 DELAY FORT WASHIN

ELTON & THOMPSON, P.C. STRUCTURAL CONSULTANTS 100 W. Main Street, Suite 365, Lansdale, PA 19446 Telephone: 215.576.6460 • www.etengr.com E-mail: DESIGN@ETENGR.COM

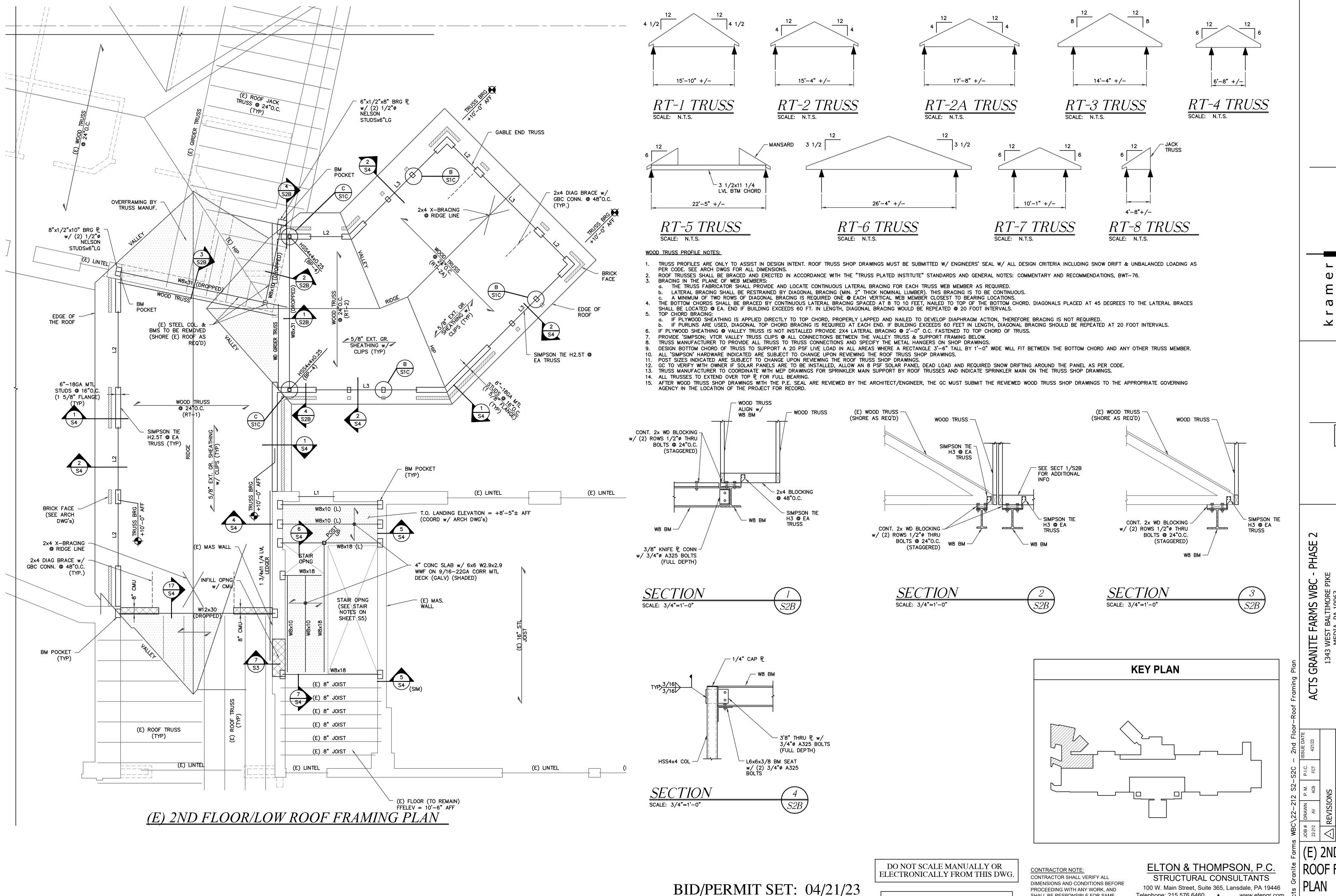
FRAMING PLAN

BID/PERMIT SET: 04/21/23 DO NOT SCALE MANUALLY OR ELECTRONICALLY FROM THIS DWG.

ARCHITECTURAL DRAWINGS

FRANK C. THOMPSON, PROFESSIONAL ENGINEER PA. LICENSE NUMBER: PE050346 E

び SHEET 6 OF X



THIS DRAWING MUST BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS

DO NOT SCALE MANUALLY OR ELECTRONICALLY

FROM THIS DWG.

DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK, AND SHALL BE RESPONSIBLE FOR SAME.

COPYRIGHT 2023

ELTON & THOMPSON P.C.

ALL RIGHTS RESERVED.

100 W. Main Street, Suite 365, Lansdale, PA 19446

Telephone: 215.576.6460 • www.etengr.com E-mail: DESIGN@ETENGR.COM FRANK C. THOMPSON, PROFESSIONAL ENGINEER PA. LICENSE NUMBER: PE050346 E

ROOF FRAMING

RECEIVED

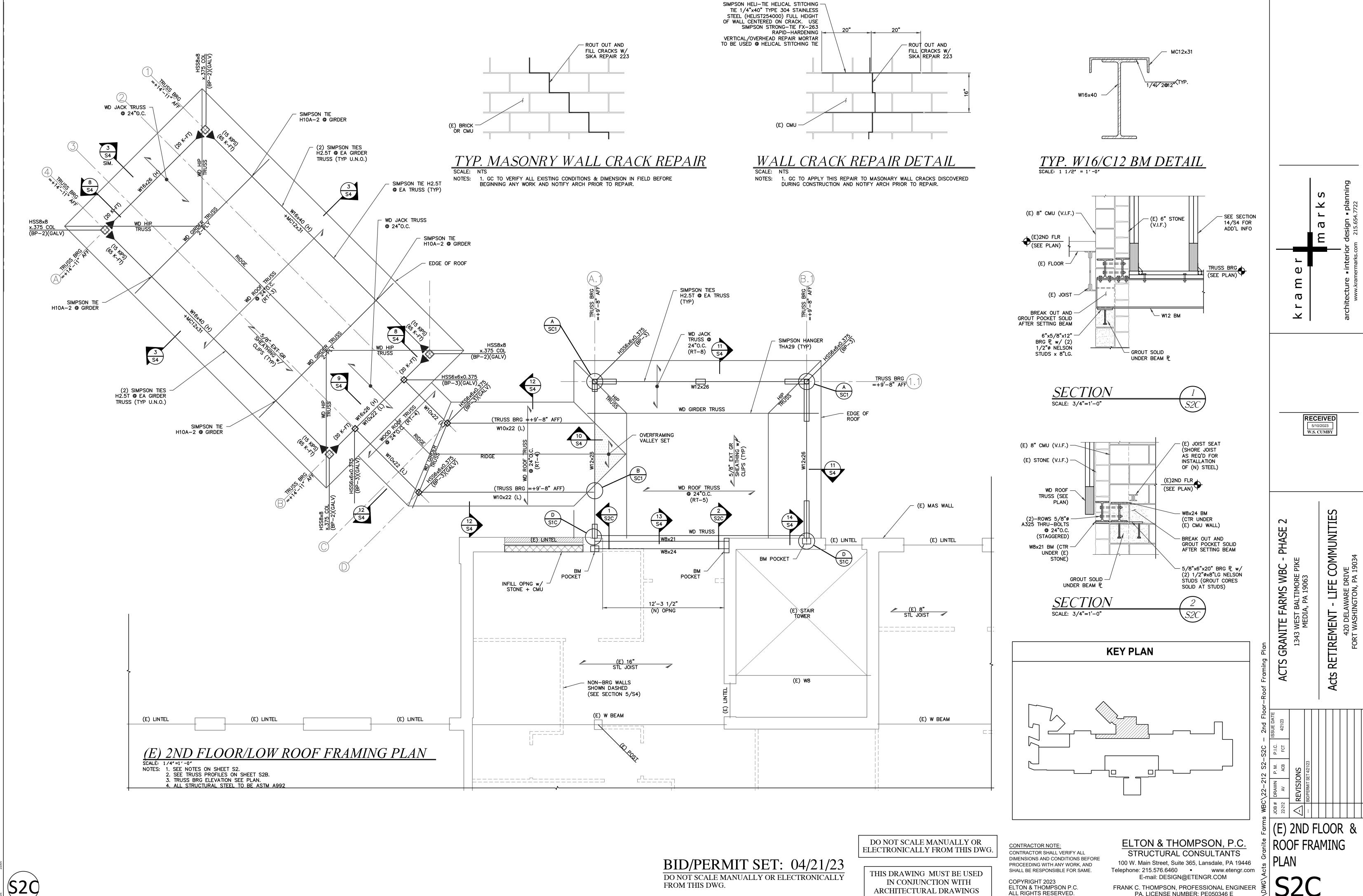
W.S. CUMBY

COMMUNITIES

RETIREMENT · 420 DELAY FORT WASHIN

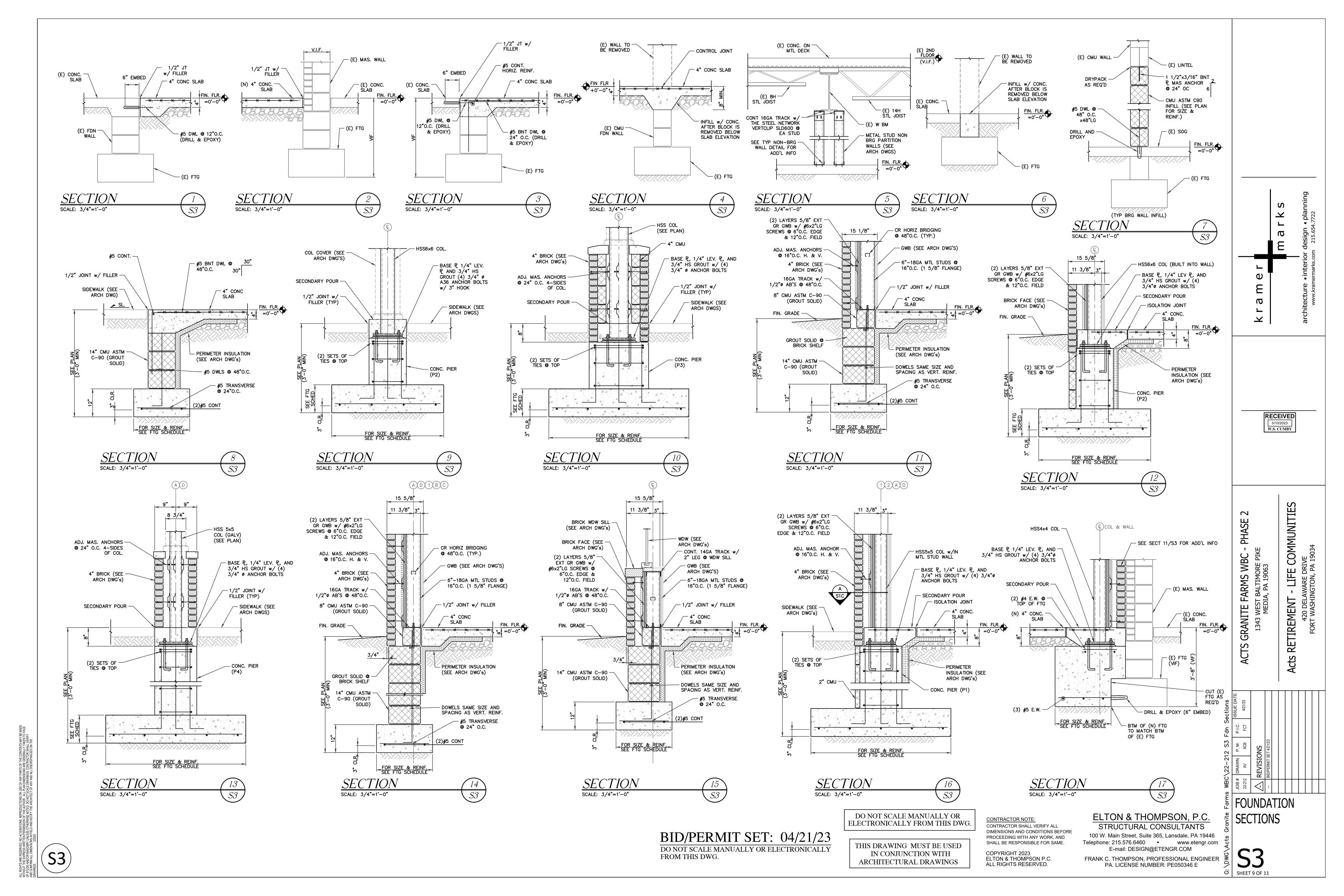
Acts

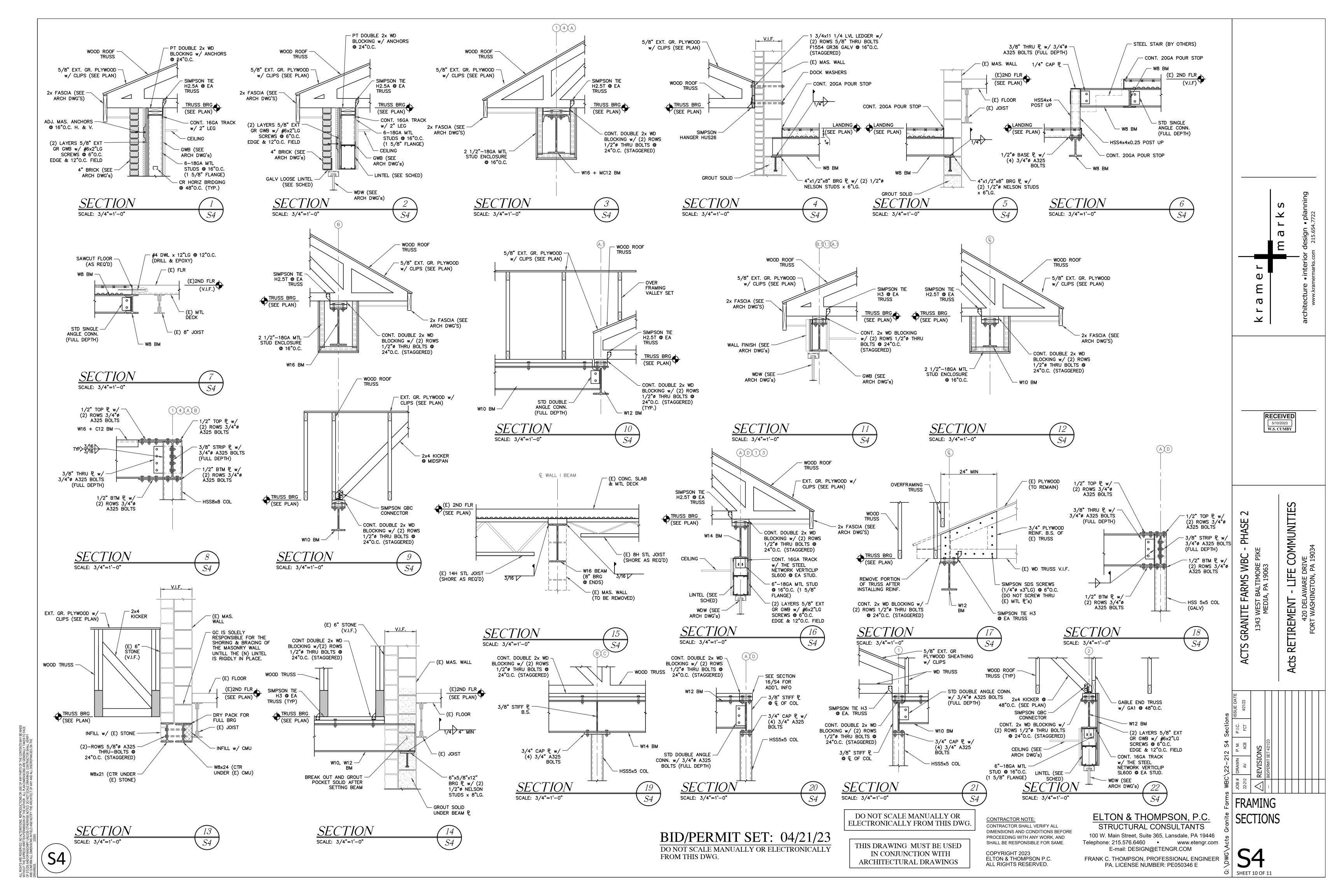
じ SHEET 7 OF 11



PA. LICENSE NUMBER: PE050346 E

び SHEET 8 OF 11





- 2. THE CONTRACTOR SHALL EXAMINE THE STRUCTURAL DRAWINGS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN ELEVATIONS, DIMENSIONS, AND SITE CONDITIONS BEFORE PROCEEDING WITH ANY WORK OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS AND SPECIFICATIONS SHALL BE RESOLVED WITH THE ENGINEER/ARCHITECT PRIOR TO THE START OF WORK.
- 3. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT INTERNATIONAL BUILDING CODE, AND TO ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING, BUT NOT LIMITED TO ALL APPLICABLE OSHA AND ADA REQUIREMENTS DESIGN AND CONSTRUCTION OF ANY TEMPORARY OR PERMANENT
- SUPPORT AND PROTECTION SYSTEMS REQUIRED DURING ANY CONSTRUCTION WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER TO DESIGN
- 5. WHERE ALTERATIONS INVOLVE ANY EXISTING STRUCTURE, THE CONTRACTOR SHALL DESIGN AND CONSTRUCT TEMPORARY SUPPORT AND PROTECTION SYSTEMS DESIGNED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE. THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER TO DESIGN SUCH SYSTEMS.
- 6. THE DRAWINGS AND SPECIFICATIONS REPRESENT THE COMPLETED STRUCTURE. THEY DO NOT INDICATE THE MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE AND BE SOLELY RESPONSIBLE FOR ALL MEASURES AND MEANS NECESSARY TO PROTECT PERSONS AND THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, MEANS, METHODS, COORDINATION, BRACING, SHORING, ETC. OBSERVATION VISITS BY THE ARCHITECT OR ENGINEER DOES NOT INCLUDE INSPECTION OF THOSE
- THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL PERSONS AND PROPERTY IN, AROUND AND ADJACENT TO THE CONSTRUCTION AREA. ADEQUATE BARRIERS SHALL BE PROVIDED TO EXERCISE CONTROL OF SAFE TRAFFIC FLOWS, AS WELL AS SAFE INGRESS AND EGRESS OF BUILDING AND SITE. FIRE EXITS, DRIVEWAYS AND FIRE LANES SHALL AT NO TIME BE BLOCKED, CORDON ALL AREAS AROUND OR ADJACENT TO
- CONDITIONS WHICH REPRESENT A HAZARD TO PERSONS OR PROPERTY. 8. NOTES & DETAILS ON THE STRUCTURAL DRAWINGS TAKES PRECEDENCE OVER THESE STANDARD STRUCTURAL NOTES. TYPICAL DETAILS SHALL BE USED WHENEVER APPLICABLE. REFER TO SPECIFICATIONS FOR INFORMATION NOT COVERED BY THESE NOTES OR DRAWINGS.
- 9. ALL WORK NOT DETAILED OR NOTED SHALL BE CONSTRUCTED IN ACCORDANCE WITH OTHER SIMILAR WORK SHOWN ON THE DRAWINGS AND TYPICAL DETAILS. DIMENSIONS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. 10. THE CONTRACTOR SHALL PREPARE ONE SET OF MARKED DRAWINGS WITH
- AS-BUILT INFORMATION FOR RETURN TO THE OWNER. 11. ALL COSTS OF INVESTIGATION, REDESIGN AND DOCUMENTATION DUE TO CONTRACTOR IMPROPER INSTALLATION OF STRUCTURAL ELEMENTS OR ITEMS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- 12. ALL COSTS OF REVISIONS REQUESTED FOR THE CONTRACTOR'S CONVENIENCE SHALL BE AT THE CONTRACTOR'S EXPENSE.
- 13. THE CONTRACTOR SHALL COORDINATE AND WORK ALL DRAWINGS
- 14. NO PIPES OR DUCTS SHALL BE PLACED IN STRUCTURAL MEMBERS UNLESS SPECIFICALLY DETAILED AND APPROVED BY THE ENGINEER.
- 15. SEE ARCHITECTURAL DRAWINGS FOR THE FOLLOWING: A. SIZE AND LOCATION OF ALL DOOR AND WINDOW OPENINGS EXCEPT
- B. SIZE AND LOCATION OF INTERIOR AND EXTERIOR NON-BEARING PARTITIONS. PROVIDE SLIP CONNECTIONS THAT ALLOW VERTICAL MOVEMENT AT THE TOPS OF ALL SUCH PARTITIONS. CONNECTIONS SHALL ALSO BE DESIGNED TO LATERALLY SUPPORT THE TOP OF THE WALL FOR THE CODE-REQUIRED LATERAL LOAD. SIZE AND LOCATION OF CURBS, FLOOR DRAINS, SLOPES, DEPRESSED
- AREAS, CHANGES IN LEVEL, CHAMFERS, GROOVES, INSERTS, ETC. D. DETAILS RELATED TO SUBSURFACE DRAINAGE, INSULATION AND WATERPROOFING.
- SIZE AND LOCATION OF FLOOR ROOF OPENINGS EXCEPT AS SHOWN. FLOOR AND ROOF FINISHES. DIMENSIONS NOT SHOWN ON STRUCTURAL DRAWINGS.
- 16. SEE MECHANICAL, PLUMING, AND ELECTRICAL DRAWINGS FOR THE FOLLOWING:
- A. PIPE RUNS, SLEEVES, HANGERS, TRENCHES, WALL AND SLAB OPENINGS, ETC. EXCEPT AS SHOWN OR NOTED. B. ELECTRICAL CONDUIT, BOXES, OUTLETS.
- C. CONCRETE INSERTS FOR ELECTRICAL MECHANICAL, AND PLUMBING
- D. SIZE AND LOCATION OF MACHINE AND EQUIPMENT BASES, ANCHOR BOLTS, ETC.
- 17. ASTM REFERENCES ARE FOR LATEST REVISIONS AND ISSUE, UNLESS OTHERWISE NOTED.
- 18. CONTRACTOR SHALL INVESTIGATE SITE DURING CLEANING AND EXCAVATION FOR UNSUITABLE CONDITIONS, UNCONSOLIDATED AND UNDOCUMENTED FILLS, BURIED STRUCTURES, UTILITIES, ETC. AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY SITE CONDITIONS NOT REFLECTED ON THE DRAWINGS OR DIFFERENT FROM MAXIMUM OR MINIMUM DIMENSIONS INDICATED, INCLUDING CONFLICTS IN GRADES, ADVERSE SOIL CONDITIONS, GROUND WATER PRESENT, DEEPENED FOOTINGS, UNCOVERED AND UNEXPECTED UTILITY LINES, ETC.
- 19. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON STRUCTURAL FRAME. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOADS. PROVIDE SHORING AND BRACING WHERE DESIGN STRENGTH HAS NOT BEEN ATTAINED OR STRUCTURE IS NOT COMPLETE. 20. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES
- IN THE AREA TO BE EXCAVATED BEFORE DIGGING, EXERCISE EXTREME CAUTION WHEN EXCAVATING & TRENCHING.
- 21. IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS INDICATED ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY AND PROVIDE A SKETCH OF THE CONDITION WITH A PROPOSED MODIFICATION OF THE DETAILS GIVEN ON THE CONTRACT DOCUMENTS. DO NOT COMMENCE WORK UNTIL CONDITION IS RESOLVED AND THE MODIFICATION HAS BEEN REVIEWED BY THE ENGINEER
- AND APPROVED BY THE ARCHITECT. 22. ANY DISCREPANCIES BETWEEN THE GENERAL NOTES, SPECIFICATIONS, DRAWINGS, CODES OR STANDARDS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR DIRECTION PRIOR TO PROCEEDING WITH CONSTRUCTION, FABRICATION OR PROCUREMENT OF MATERIALS.

WOOD TRUSS NOTES:

- PRE-ENGINEERED WOOD TRUSSES SHALL BE USED FOR ROOF AND FLOOR FRAMING. SIZING OF MEMBER CHORDS, MEMBER CONNECTIONS AND DESIGN OF SYSTEM TO BE BY THE FABRICATOR. FABRICATOR TO SUPPLY NECESSARY ENGINEERING CERTIFICATION TO COMPLY WITH LOCAL BUILDING CODES. TRUSS SHOP DRAWINGS SHALL BE STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT CONSTRUCTION. COPIES WILL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE CONTRACTOR SHALL SUBMIT COPIES OF DESIGN SHOP DRAWINGS TO LOCAL DESIGN REVIEW DEPARTMENTS, IF REQUIRED. THE ROOF TRUSS CONFIGURATIONS INDICATED ON THE DRAWINGS ARE SCHEMATIC IN NATURE TO SHOW REQUIRED SPANS AND ROOF SLOPES. THE FLOOR TRUSS DEPTH & SPACING INDICATED ON THE DRAWINGS MUST BE FOLLOWED. THE TRUSS MANUFACTURER SHALL BE SOLELY RESPONSIBL FOR THE STRUCTURAL DESIGN OF THE TRUSSES, INCLUDING FABRICATION AND ERECTION.
- WOOD TRUSSES TO BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL "DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS" AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION. SPECIFY TOP AND BOTTOM CHORD BRACING REQUIREMENTS
- TRUSS MANUFACTURER TO SUBMIT ERECTION PLAN AND SHOP DRAWINGS, BEARING THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF THE PROJECT CONFORMING TO THE DESIGN CRITERIA SPECIFIED HEREIN FOR APPROVAL AND PRIOR TO FABRICATION. SUBMITTED DATA TO CONTAIN DESIGN LOADINGS, ALLOWABLE STRESS INCREASES EMPLOYED, CALCULATED TRUSS MEMBER STRESSES, RATED LOAD CAPACITY OF THE TRUSS MEMBER CONNECTION SIZE, SPECIES, AND STRESS-GRADE OF LUMBER EMPLOYED, FABRICATION DETAILS INDICATING LOCATION OF CONNECTORS, HANDLING AND ERECTION INSTRUCTIONS, TRUSS-TO-TRUSS CONNECTION DETAILS.
- FAILURE TO FURNISH ANY OF THE ABOVE REQUIRED DATA WILL BE REGARDED AS AMPLE REASON FOR THE REJECTION OF THE SHOP DRAWINGS. THE CONTRACTOR SHALL APPROVE FABRICATION DRAWINGS INDICATING SIZE, SHAPE, AND LAYOUT PRIOR TO SUBMITTAL FOR REVIEW BY THE ARCHITECT.
- ROOF & FLOOR CONSTRUCTION SHALL BE TEMPORARILY BRACED DURING ERECTION UNTIL DECK IS RIGIDLY IN PLACE.
- 6. FURNISH ALL BRIDGING TIES, ANCHORS, ETC. TO MAKE A COMPLETE ROOF & FLOOR SYSTEM. ALL LUMBER SHALL CONFORM TO THE STRESS RATINGS FOR THE SPECIES
- AND GRADES AS SET OUT IN THE OFFICIAL GRADING RULES OF THE APPROPRIATE LUMBER ASSOCIATION OR AS LISTED IN REFERENCED DESIGN STANDARDS. ALL TOP AND BOTTOM CHORDS SHALL BE SIZED TO SUPPORT OVERHANGS AND INTERIOR ATTACHMENTS. ALL OVERHANGS SHALL BE 2X6 TOP CHORDS - SEE SECTIONS FOR REQUIRED SOFFIT HEIGHTS.
- CONNECTOR PLATES SHALL BE A MINIMUM OF 0.036" IN THICKNESS AND SHALL BE MANUFACTURED FROM MATERIAL MEETING THE REQUIREMENTS OF ASTM A446 GRADE A STEEL. PLATES TO BE GALVANIZED IN ACCORDANCE WITH ASTM A525 G60 COATING CLASS 'C' SPECIFICATIONS. PLATES SHALL BE ON BOTH SIDES OF CONNECTION.
- 9. THE TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL TRUSS-TO-TRUSS CONNECTIONS, ALL TRUSS-TO-GIRDER CONNECTIONS, AND IF THE TRUSS IS MADE UP OF MORE THAN ONE TRUSS, THE TRUSS-TO-TRUSS CONNECTIONS.
- 10. BRIDGING SHALL BE 2X4 HORIZONTAL NAILED TO TOP AND BOTTOM CHORDS OF TRUSSES AND BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND BCSI-B1. CONTRACTOR MUST FOLLOW AND BE RESPONSIBLE FOR ALL MANUFACTURER'S RECOMMENDATIONS FOR BRACING AND ERECTION OF THE WOOD TRUSSES.
- 11. WOOD TRUSS SHALL BE RESTRAINED AGAINST ROTATION @ EACH END. 12. FABRICATE ALL TRUSSES AND COMPONENTS IN A PROPERLY EQUIPPED PERMANENT MANUFACTURING FACILITY, BY EXPERIENCED WORKMEN USING PRECISION CUTTING AND FABRICATION EQUIPMENT UNDER THE DIRECT
- SUPERVISION OF A QUALIFIED FOREMAN. 13. CAREFULLY INSPECT LOCATIONS WHERE TRUSSES ARE TO BE INSTALLED. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT WOULD ADVERSELY
- AFFECT THE INSTALLATION OR STRUCTURAL CAPACITY OF THE TRUSSES 14. INSTALL TRUSSES TRUE AND PLUMB AND SECURELY ANCHORED TO THE TOP PLATE WITH HURRICANE TIES AT EACH END. ERECTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH WRITTEN INSTRUCTIONS FROM THE MANUFACTURER.
- 15. ERECTION AND FABRICATION OF ALL LUMBER SHALL BE IN ACCORDANCE WITH A.I.T.C. SPECIFICATIONS AND RECOMMENDATIONS (LATEST EDITION) AND BCSI-B1. THE CONTRACTOR SHALL EMPLOY PROPER CONSTRUCTION PROCEDURES TO INSURE ADEQUATE DISTRIBUTION OF TEMPORARY CONSTRUCTION LOADS SO THAT THE CARRYING CAPACITY OF ANY SINGLE TRUSS OR GROUP OF TRUSSES IS NOT EXCEEDED.
- 16. PLYWOOD FLOOR DECK SHALL BE 3/4" THICK, T&G, EXPOSURE 1. PLYWOOD ROOF DECK SHALL BE 5/8" THICK, EXPOSURE 1, EXTERIOR GRADE, TYPE CC-EXT-APA AND CONFORM WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 17. ELTON & THOMPSON, INC. ASSUMES NO RESPONSIBILITY FOR SELECTING. SPECIFYING OR RECOMMENDING MATERIALS FOR FIRE RETARDANT WOOD
- 18. PROVIDE DOUBLE WOOD TRUSSES WITH REINFORCED CHORDS AT ALL MECHANICAL UNITS THAT ARE TO BE HUNG OR REST ON ANY WOOD TRUSSES. SHOW ALL MECHANICAL UNITS ON DESIGN DRAWINGS. PROVIDE ADDITIONAL 'X' BRACING AT ALL MECHANICAL UNIT LOCATIONS. CONTRACTOR MUST NOTIFY THE TRUSS MANUFACTURER OF ANY ADDITIONAL MECHANICAL UNITS TO BE PLACED ON THE WOOD TRUSSES NOT SHOWN ON DESIGN DRAWINGS PRIOR TO LOADING THE TRUSSES AND
- OBTAIN APPROVAL FROM THE TRUSS MANUFACTURER'S ENGINEER. 19. THE WOOD TRUSS MANUFACTURER'S SUPPLIER MUST PROVIDE ON-SITE SUPERVISION DURING THE ERECTION OF ALL THE WOOD TRUSSES.

CONCRETE & REINFORCING STEEL NOTES:

- 1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS, EXCEPT AS LISTED BELOW, OR OTHERWISE
- NOTED ON THE DRAWINGS. (SLABS $F_c' = 4000 \text{ PSI}$). 2. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED (6%). ALL CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4". ALL INTERIOR SLABS TO BE NON-AIR ENTRAINED CONCRETE.
- 3. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, AND ACI 301. AND LOCAL CODES. 4. ALL CONCRETE FORM WORK SHALL CONFORM TO THE REQUIREMENTS OF
- 5. FLOOR SLABS SHALL HAVE A CLASS 'A' TROWELED FINISH AND BE CURED IN ACCORDANCE WITH ACI 301 AND ACI 308.
- 6. CONSTRUCTION JOINTS WHICH ARE USED IN SLABS OR FOOTINGS SHALL BE LOCATED AT POINTS OF MINIMUM SHEAR. ALL JOINTS SHALL BE KEYED AND HAVE REINFORCING RUN THROUGH THE JOINT OR BE DOWELED WITH SUFFICIENT LAP TO DEVELOP THE FULL STRENGTH OF
- THE REINFORCING. WELDING OF REINFORCING NOT PERMITTED, 7. ALL REINFORCING STEEL SHALL BE DEFORMED HIGH BOND BARS MADE OF NEW BILLET STEEL AND SHALL CONFORM TO ASTM A-615 GRADE 60 (Fv = 60 KSI).
- 8. REINFORCING STEEL SHALL BE DETAILED, FABRICATED, AND PLACE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING ACI 315.
- 9. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. ALL W.W.F. TO BE SUPPORTED ON CHAIRS AND TO BE 3/4" FROM TOP OF SLAB. 10. LENGTH OF REINFORCING LAPS, AND WELDED WIRE FABRIC LAPS, SHALL
- CONFORM TO ACI BUILDING CODE REQUIREMENTS. 11. PRIOR TO PLACEMENT OF CONCRETE REINFORCING, SHOP DRAWINGS OF ALL CONCRETE REINFORCING MUST BE SUBMITTED TO THE ENGINEER
- 12. PRIOR TO POURING CONCRETE SLABS, THE POUR SCHEDULE MUST BE SUBMITTED TO ARCHITECT FOR REVIEW.
- 13. PRIOR TO POURING CONCRETE, MECHANICAL AND ELECTRICAL CONTRACTORS SHALL VERIFY ALL OPENINGS, TRENCHES AND SLEEVES FOR THEIR EQUIPMENT. REVIEW LOCATIONS OF ALL PENETRATIONS WITH ENGINEER PRIOR TO POURING CONCRETE.

STRUCTURAL DESIGN CRITERIA (I.B.C. 2018, CHAPTER 16)

- FLOOR LIVE LOADS (SECTION 1607) APARTMENTS 40 PSF
- CORRIDORS 80 PSF STAIRS, LOBBY, ASSEMBLY 100 PSF LIVE LOAD REDUCTION FACTOR (IF ANY) = NONE = 30 PSF
- ROOF LIVE LOAD
 PONDING & SNOW DRIFTING TO BE IN ACCORDANCE WITH IBC. 3. ROOF SNOW LOAD (SECTION 1608) A. GROUND SNOW LOAD (Pg) = 25 PSF FLAT ROOF SNOW LOAD (Pf) = 18 PSF SNOW EXPOSURE FACTOR (Ce) = 1.0 SNOW LOAD IMPORTANCE FACTOR (Is) = 1.0 THERMAL FACTOR (Ct)
- WIND LOADS (SECTION 1609) (ULTIMATE LOADS SHOWN) MAIN-WIND FORCE RESISTING SYSTEM A. BASIC WIND SPEED (V)

SNOW DRIFT AS PER IBC CODE

= 114 MPH OCCUPANCY CATEGORY [IBC TABLE 1604.5] = CATEGORY II WIND LOAD IMPORTANCE FACTOR (Iw) = 1.0 WIND EXPOSURE CATEGORY (SECTION 1609.4) = C $= \pm 0.18$ INTERNAL PRESSURE COEFFICIENT WIND DESIGN PRESSURE (P) (SECTION 1609.6) = 30 PSF = 15 PSF

 MIND UPLIFT (ONENTS & CI	ON ROÒF´ Ì LADDING AS F	PER CODE	•
ZON	E 4	ZON	E 5
POSITIVE	NEGATIVE	POSITIVE	NEGATIVE
±21 38	-23.16	⊥21 38	-28 51

EARTHQUAKE DESIGN DATA A. OCCUPANCY CATEGORY [IBC TABLE 1604.5]

B. SEISMIC IMPORTANCE FACTOR (Is)

M. ANALYSIS PROCEDURE [ASCE 7 12.6]

MAPPED SPECTRAL RESPONSE ACCELERATIONS (Ss) = 0.183 MAPPED SPECTRAL RESPONSE ACCELERATIONS (S1) = 0.047SITE CLASS [IBC 1613.5.2] SPECTRAL RESPONSE COEFFICIENTS (SDS) [IBC 16.13.5.4] = 0.195 SPECTRAL RESPONSE COEFFICIENTS (SD1) [IBC 16.13.5.4] = 0.076SEISMIC DESIGN CATEGORY [IBC 16.13.5.6] BASIC SEISMIC-FORCE-RESISTING SYSTEM [ASCE 7 12.2] = A.11 DESIGN BASE SHEAR (V) [ASCE 7 12.8.1] = 34 KIPS SEISMIC RESPONSE COEFFICIENT(S) (Cs) [ASCE 7 12.8.1.1] = 0.098

MASONRY NOTES:

ALL CONCRETE MASONRY CONSTRUCTION SHALL CONFORM TO THE 'BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES' (ACI 530-05/ASCF 5-05/TMS 402-05) AND THE 'SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY' (N.C.M.A.).

RESPONSE MODIFICATION COEFFICIENT (R) [ASCE 7 12.2]

- HOLLOW LOAD BEARING MASONRY UNITS SHALL CONFORM TO ASTM C-90, GRADE 'N', TYPE I OR II HAVING TWO (2) CORES. CONCRETE MASONRY UNITS (C.M.U.) SHALL BE GRADE 'N' REGULAR WEIGHT UNITS IN ACCORDANCE WITH ASTM C-90 (f'm = 1500 psi). BOND BEAMS SHALL BE CONSTRUCTED OF DOUBLE OPEN ENDED BOND BEAM BLOCK WITH REINFORCING BAR. ALL CELLS IN RETAINING WALL AND IN WALLS BELOW GRADE SHALL BE FILLED SOLID WITH GROUT. ALL CELLS CONTAINING REBAR SHALL BE FILLED WITH GROUT, AND SHALL NOT CONTAIN CONDUIT OR ELECTRICAL BOXES. MORTAR SHALL CONFORM TO ASTM C-270 TYPE
- LIGHTWEIGHT HOLLOW LOAD BEARING CONCRETE MASONRY UNITS, ASTM C-90, GRADE 'N', TYPE I MOISTURE CONTROLLED UNITS. SOLID UNITS ASTM C145 OR C55, SIZE, EIGHT (8) INCHES BY SIXTEEN (16) INCHES NOMINAL FACE DIMENSION BY THICKNESS AS INDICATED. (f'm = 1500
- 4. PRISM TEST OF MASONRY UNITS SHALL BE MADE IN ACCORDANCE WITH
- ASTM E-447. MORTAR SHALL CONFORM TO ASTM C-270, TYPE 'M' FOR MASONRY IN CONTACT WITH THE EARTH AND FOR FILLING CONCRETE BLOCK, TYPE 'S' FOR EXPOSED MASONRY WALLS. COMPRESSIVE STRENGTH OF THE MORTAR AT 28 DAYS SHALL BE:
- A. TYPE 'M' 2500 psi
- B. TYPE 'S' 2000 psi MORTAR SHALL BE TESTED IN ACCORDANCE WITH ASTM C-780. GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 psi AT 28 DAYS AND SHALL CONFORM TO ASTM C-476. GROUT SHALL BE
- TESTED IN ACCORDANCE WITH ASTM C-476. 8. HORIZONTAL JOINT REINFORCING SHALL BE TRUSS TYPE, HOT DIPPED GALVANIZED, COLD DRAWN STEEL CONFORMING TO ANSI/ASTM A82. MAXIMUM SPACING TO BE 16" O.C. UNLESS OTHERWISE NOTED ON DRAWINGS.
- 9. INTERSECTING C.M.U. WALLS SHALL HAVE FLAT BAR ANCHORS 1/4"X1 1/2" AT 16" O.C. VERTICALLY FOR TIES.
- 10. WHEN THE TEMPERATURE FALLS BELOW 40 DEGREES F, PROVISIONS SHALL BE MADE FOR COLD WEATHER WORK. (SEE SPECIFICATIONS) A. COLD WEATHER PRECAUTIONS: DO NOT LAY MASONRY IN LESS THAN 40 DEGREES F, OR EXPECTED LOWER TEMPERATURES UNLESS SUITABLE MEANS ARE PROVIDED TO HEAT THE MATERIALS AND TO PROTECT THE UNCURED MORTAR FROM FROST DAMAGE. NO ANTIFREEZE COMPOUNDS OR CALCIUM CHLORIDE MAY BE ADDED TO THE MORTAR AT ANY TIME. REMOVE SNOW AND ICE FROM ALL PREVIOUSLY LAID MASONRY BY ELEVATING THE TEMPERATURE OF THE AIR AROUND IT, DO NOT HEAT THE MASONRY DIRECTLY. CONSULT ARCHITECT AND/OR CONSTRUCTION MANAGER FOR PROTECTION/HEATING REQUIREMENTS IF BRICK IS ON THE SURFACE OF THE MORTAR DURING THE TOOLING AND COMPRESSING STAGE, RAKE THE MORTAR OUT TO A DEPTH OF 1/2" AND COVER WALL. WHEN AIR TEMPERATURES RECOVER ABOVE 40 DEGREES F AND WILL
- POINT THE RAKED JOINT WITH FRESH MORTAR, TOOL AND COMPRESS. HOT WEATHER PROTECTION: ALL BRICK UNITS SHALL BE DAMPENED TO PREVENT PRE-HYDRATION OF THE CONTACT SURFACES BETWEEN THE BRICK AND MORTAR IN CONFORMANCE WITH THE STRUCTURAL CLAY PRODUCTS INSTITUTE RECOMMENDATIONS. IF THE JOB SITE AIR TEMPERATURE IS ABOVE 80 DEGREES F DURING THE WORK DAY, MORTAR SHALL BE PLACED IN FINAL POSITION WITHIN ONE (1) HOUR

NOT FALL BELOW 32 DEGREES F AGAIN WITHIN 12 HOURS, TUCK

- AFTER MIXING. 11. UTILIZE HIGH-LIFT OR LOW-LIFT GROUTING TECHNIQUES IN ACCORDANCE WITH ABOVE CODES WHERE GROUTING IS NECESSARY.
- 12. ALL REINFORCED MASONRY WORK SHALL BE CONTINUOUSLY INSPECTED BY AN INDEPENDENT TESTING LABORATORY APPROVED BY THE ARCHITECT. 13. ALL VERTICALLY REINFORCED WALLS AND PILASTERS MUST HAVE DOWELS
- TO FOOTINGS, SAME SIZE & SPACING AS VERTICAL REINFORCING. 14. THE FIRST COURSE OF EACH LEVEL SHALL HAVE FULL MORTAR BEDDING. 15. TEMPORARY BRACE WALLS AS REQUIRED DURING ERECTION UNTIL FLOORS
- AND ROOF ARE IN PLACE. 16. ALL C.M.U. TO BE GROUTED SOLID FROM FOUNDATION TO UNDERSIDE OF ALL BRICK SHELVES AT GRADE.

FOUNDATION NOTES:

- 1. FOUNDATIONS SHALL BEAR ON FIRM COMPACTED FILL CAPABLE OF SUPPORTING 2,000 PSF.
- 2. SELECTED FILL SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AS DETERMINED IN CONFORMANCE WITH ASTM D-1557. COMPACTED FILL MUST BE APPROVED BY QUALIFIED SOILS ENGINEER OR CERTIFIED TESTING LABORATORY. ALL EXCAVATION AND BACKFILLING IS OUTLINED IN SOILS REPORT, SOILS REPORT, SEE NTOE #11.
- FOUNDATION SUBGRADE SHALL BE INSPECTED AND TESTED BY QUALIFIED SOILS ENGINEER OR CERTIFIED TESTING LABORATORY. A CERTIFIED TESTING REPORT SHALL BE SUBMITTED TO ARCHITECT PRIOR TO PLACEMENT OF REINFORCING STEEL. PRIOR TO POURING, SHOP DRAWINGS OF ALL REINFORCEMENT MUST BE SUBMITTED TO ENGINEER FOR REVIEW. PRIOR TO POURING FOOTERS, THE POUR SCHEDULE(S) MUST BE SUBMITTED TO ARCHITECT FOR REVIEW.
- 4. EDGES OF ADJACENT FOOTINGS SHALL NOT BE PLACED AT DIFFERENCE IN ELEVATION CREATING A SLOPE GREATER THAN 1 VERTICAL TO 2
- PROVIDE STEPPED FOOTINGS AS PER DETAIL WHERE NECESSARY. 6. ALL FOOTINGS SHALL HAVE DOWELS OF THE SAME SIZE AND NUMBER AS THE VERTICAL REINFORCEMENT IN THE PIER, PILASTER, COLUMN OR WALL
- THE FOOTINGS SUPPORT. 7. CONTRACTOR SHALL PROTECT ALL EXCAVATIONS, INCLUDING STRUCTURES WHICH MAY BE INVOLVED, WITH PROPER SAFEGUARDS INCLUDING BRACING
- 8. BOTTOMS OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED EXTERIOR GRADE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THIS REQUIREMENT AND FOOTING ELEVATIONS SHOWN ON THE DRAWINGS.
- 9. IF BUILDING IS UNHEATED DURING WINTER CONSTRUCTION CONTRACTOR MUST PROTECT INTERIOR FOOTINGS FROM ADVERSE FROST ACTION. 10. CONTRACTOR SHALL NOT BACKFILL AGAINST ANY BASEMENT OR RETAINING WALL WHICH IS LATERALLY SUPPORTED BY A FLOOR AT THE
- SHORING AS REQUIRED. 11. FOR ADDITIONAL INFORMATION SEE SOILS REPORT BY EARTH ENGINEERING INC., DATED JANUARY 11, 2023.

TOP UNTIL THE FLOOR IS RIGIDLY IN PLACE. CONTRACTOR MUST PROVIDE

STRUCTURAL STEEL NOTES:

= CATEGORY II

= EQUIVALENT

LATERAL FORCE

= 1.0

- ALL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN
- ACCORDANCE WITH AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" (LATEST EDITION). 2. ALL STRUCTURAL STEEL SHALL BE ASTM A992 (Fy = 50 KSI). ALL STRUCTURAL STEEL HOLLOW SECTION RECTANGULAR SHALL BE ASTM A500, GRADE C (Fy=50 KSI). ALL STRUCTURAL STEEL HOLLOW SECTION
- ROUND SHALL BE ASTM A500, GRADE C (Fy=46 KSI). 3. ALL STEEL SHALL RECEIVE ONE SHOP COAT OF AN APPROVED PRIMER, 2 MIL THICKNESS, EXCEPT MEMBERS TO HAVE SPRAYED ON FIREPROOFING.
- 4. ALL BOLTS SHALL BE ASTM A-325 HIGH STRENGTH BOLTS, BEARING TYPE, ALL BOLTS SHALL BE 3/4" MINIMUM. 5. ALL WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY CODE FOR

ARC AND GAS WELDING IN BUILDING CONSTRUCTION. ALL WELDERS SHALL

KIPS END REACTION. PROVIDE AND INDICATE CONNECTION CAPACITIES ON

- HAVE BEEN QUALIFIED BY TESTS AS PRESCRIBED IN THE A.W.S. STANDARD CODE. WELDING ELECTRODES SHALL CONFORM TO E70 SERIES, ASTM A-233. 6. SHOP DRAWINGS OF ALL STRUCTURAL STEEL MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. SHOP & ERECTION DRAWINGS MUST SHOW ALL SHOP FIELD WELDS. BEAM END REACTIONS ARE INDICATED ON THE FRAMING PLAN, FOR LOADS NOT SHOWN, USE 10
- SHOP DRAWINGS FOR REVIEW BY THE ENGINEER. PROVIDE ALTERNATE CONNECTIONS IF STANDARD AISC CONNECTIONS DO NOT MEET OR EXCEED 7. ALL STEEL TO BE PROVIDED BY THE STEEL FABRICATOR, UNLESS OTHERWISE NOTED ON THE DRAWINGS. STEEL FABRICATOR SHALL FURNISH ALL CLIPS, ANGLES, PLATES, ANCHORS, ETC. AS REQUIRED TO PRODUCE
- A COMPLETE CONNECTION. 8. BURNING OF HOLES, CUTS, ETC. IN STRUCTURAL STEEL MEMBERS IN THE FIELD WILL NOT BE PERMITTED EXCEPT WITH THE SPECIFIC APPROVAL OF
- 9. FOR ELEVATIONS NOT SHOWN, THE STEEL DETAILER SHALL CALCULATE ALL TOP OF STEEL ELEVATIONS AND BEAM SLOPES AT ALL LEVELS. SEE
- ARCHITECTURAL DRAWINGS. 10. STEEL FABRICATOR SHALL PROVIDE L5 X 3 1/2 X 5/16 AT ALL ROOF DRAIN LOCATIONS, UNLESS NOTED ON DRAWINGS.
- 11. STEEL FABRICATOR SHALL PROVIDE ANY ANGLES, TUBES, SHIMS, ETC. AS REQUIRED AT ALL MECHANICAL UNITS TO PROVIDE PROPER SUPPORT AND TO MAINTAIN A LEVEL CONDITION.
- 12. BEFORE FABRICATING STEEL, CONTRACTOR SHALL VERIFY ALL MECHANICAL UNIT LOCATIONS AND OTHER OPENING SIZES WHICH AFFECT STEEL AND
- 13. ALL ERECTION TOLERANCES AS STATED IN THE AISC SPECIFICATION MUST BE STRICTLY ADHERED TO DURING ERECTION.
- 14. ALL STEEL TO BE PROVIDED BY THE STEEL FABRICATOR, UNLESS OTHERWISE NOTED ON THE DRAWINGS. STEEL FABRICATOR SHALL FURNISH ALL CLIPS, ANGLES, PLATES, ANCHORS, ETC. AS REQUIRED TO PRODUCE A COMPLETE JOB, INCLUDING ALL MEMBERS SHOWN ON THE ARCHITECTURAL DRAWINGS.

SUBMITTAL AND SHOP DRAWING REQUIREMENTS NOTES:

- 1. THE CONTRACTOR SHALL SUBMIT FOR REVIEW BY THE ARCHITECT AND THE ENGINEER ALL INFORMATION REQUIRED BY THE CONTRACT
- DOCUMENTS, INCLUDING THE SPECIFICATIONS. 2. SHOP DRAWINGS SHALL BE PREPARED, SUBMITTED AND REVIEWED PRIOR TO PROCEEDING WITH FABRICATION AND/OR INSTALLATION OF THE ASSOCIATED WORK. REVIEW PERIOD SHALL BE A MINIMUM OF TWO (2)
- THE CONTRACTOR SHALL SUBMIT FOR REVIEW, DRAWINGS AND CALCULATIONS FOR ALL PERFORMANCE ASSEMBLIES IDENTIFIED IN THE GENERAL NOTES AND LISTED BELOW. THE DESIGN OF THESE ASSEMBLIES IS THE RESPONSIBILITY OF THE CONTRACTOR'S ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION. ALL SUBMITTALS SHALL BEAR CONTRACTOR'S ENGINEER'S SEAL AND SIGNATURE. REVIEW SHALL BE FOR GENERAL CONFORMANCE WITH THE PROJECT REQUIREMENTS AS INDICATED ON THE DRAWINGS AND IN THE GENERAL NOTES.
- A. NON-LOAD BEARING STUD WALL AND CURTAIN WALL SYSTEMS AND RELATED CONNECTIONS:
 - DESIGNS SHALL TAKE INTO ACCOUNT ALL VERTICAL AND LATERAL LOADS REQUIRED BY APPLICABLE BUILDING CODES. BACK UP SYSTEM AND STUD WALLS SHALL BE DESIGNED FOR A MAXIMUM DEFLECTION OF 1/600 OF THE SPAN, OR 3/8", WHICHEVER IS LESS, AT THE APPLICABLE DESIGN WIND LOAD. CURTAIN WALLS SHALL BE DESIGNED FOR A MAXIMUM DEFLECTION AS INDICATED BY AAMA REQUIREMENTS UNLESS OTHERWISE NOTED IN SPECIFICATIONS.
 - METAL STAIRS AND METAL RAILINGS: DESIGNS SHALL TAKE INTO ACCOUNT ALL VERTICAL AND LATERAL LOADS REQUIRED BY APPLICABLE BUILDING CODES. WHERE HEADERS OR OTHER TYPES OF STRUCTURAL MEMBERS HAVE BEEN DESIGNATED BY THE ENGINEER OF RECORD TO SUPPORT THE STAIRS, THE CONNECTIONS FROM THE STAIRS SHALL BE DESIGNED SO THAT NO ECCENTRIC OR TORSIONAL FORCES ARE INDUCED IN THESE STRUCTURAL MEMBERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND
- INSTALLING HARDWARE AS REQUIRED BY THE STAIR DESIGN. 4. REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND
- 5. SHOP DRAWINGS SHALL BE SUBMITTED DIGITALLY. 6. PRIOR TO OUR REVIEW OF THE SHOP DRAWINGS, ALL SHOP DRAWINGS SUBMITTED SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THE CONTRACTOR HAS VERIFIED ALL CONSTRUCTION CRITERIA, DIMENSIONS, MATERIALS, AND SIMILAR DATA AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION, AND COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR'S REVIEW INCLUDES BUT IS NOT LIMITED TO VERIFICATION & COORDINATION OF ACTUAL FIELD CONDITIONS. INCLUDING DIMENSIONS AND ELEVATIONS. AS WELL AS ACTUAL DIMENSIONS FOR SUPPORTS, ANCHORAGES, AND OPENING FOR THE ACTUAL EQUIPMENT PURCHASED. SHOP DRAWINGS MAY
- BE REJECTED IF THE ABOVE CRITERIA IS NOT FOLLOWED. THE SHOP DRAWINGS SHALL INCLUDE DIMENSIONED FLOOR AND ROOF EDGES, OPENINGS AND SLEEVES AT ALL FLOORS REQUIRED FOR ALL TRADES.

- 1. STAIR DESIGN LIVE LOADS: ENGINEER, FABRICATE, AND INSTALL ALL STAIRS TO WITHSTAND THE FOLLOWING STRUCTURAL LOADS WITHOUT EXCEEDING THE ALLOWABLE DESIGN WORKING STRESS OF THE MATERIALS INVOLVED, INCLUDING ANCHORS AND CONNECTIONS. APPLY EACH LOAD TO PRODUCE THE MAXIMUM STRESS IN EACH COMPONENT OF THE STAIRS.
- A. TREADS OF STAIRS: CAPABLE OF WITHSTANDING A UNIFORM LOAD OF 100 LBS PER SQUARE FOOT OR A CONCENTRATED LOAD OF 300 LBS ON AN AREA OF FOUR (4) SQUARE INCHES LOCATED IN THE CENTER OF THE TREAD, WHICHEVER PRODUCES GREATER STRESS. B. PLATFORMS OF STAIRS: CAPABLE OF WITHSTANDING A UNIFORM
- C. STAIR FRAMING: CAPABLE OF WITHSTANDING STRESSES RESULTING FROM LOADS SPECIFIED ABOVE AS WELL AS STRESSES RESULTING FROM RAILING SYSTEM LOADS.
- 2. ENGINEER, FABRICATE, AND INSTALL HANDRAILS AND RAILING SYSTEMS TO COMPLY WITH REQUIREMENTS OF ASTM 985 FOR STRUCTURAL PERFORMANCE BASED ON THE FOLLOWING:

A. TESTING PERFORMED ACCORDING TO ASTM 894 AND E935.

LOAD OF 100 LBS PER SQUARE FOOT.

- B. STRUCTURAL CALCULATIONS WITH ENGINEER'S SEAL LICENSED IN THE STATE OF THE PROJECT. 3. RAILING SYSTEM AND HANDRAIL DESIGN LIVE LOADS: ENGINEER, FABRICATE, AND INSTALL HANDRAILS AND RAILING SYSTEM TO WITHSTAND THE FOLLOWING STRUCTURAL LOADS WITHOUT EXCEEDING THE ALLOWABLE DESIGN WORKING STRESS OF THE MATERIALS INVOLVED, INCLUDING
- ANCHORS AND CONNECTIONS. APPLY EACH LOAD TO PRODUCE THE MAXIMUM STRESS IN EACH OF THE RESPECTIVE COMPONENTS OF EACH FABRICATION. A. TOP RAIL OF GUARDRAIL SYSTEM: CAPABLE OF WITHSTANDING THE
- FOLLOWING LOADS APPLIED AS INDICATED: 1. CONCENTRATED LOAD OF 200 LBS APPLIED AT ANY POINT AND IN ANY DIRECTION.
- 2. UNIFORM LOAD OF 50 LBS PER LINEAR FOOT APPLIED HORIZONTALLY AND CONCURRENTLY WITH UNIFORM LOAD OF 100 LBS PER LINEAR FOOT APPLIED VERTICALLY DOWNWARD.
- CONCENTRATED AND UNIFORM LOADS ABOVE NEED NOT BE ASSUMED TO ACT CONCURRENTLY. B. HANDRAILS NOT SERVING AS TOP RAILS: CAPABLE OF WITHSTANDING
- THE FOLLOWING LOADS APPLIED AS INDICATED. 1. CONCENTRATED LOAD OF 200 LBS APPLIED AT ANY POINT AND IN ANY DIRECTION
- UNIFORM LOAD OF 50 LBS PER LINEAR FOOT APPLIED IN ANY DIRECTION. CONCENTRATED AND UNIFORM LOADS ABOVE NEED NOT TO BE ASSUMED TO ACT CONCURRENTLY. C. INFILL AREA OF GUARDRAIL SYSTEMS: CAPABLE OF WITHSTANDING A

HORIZONTAL CONCENTRATED LOAD OF 50 LBS APPLIED TO ONE

SQUARE FOOT AT ANY POINT ON THE SYSTEM INCLUDING PANELS,

- INTERMEDIATE RAILS, BALUSTERS, OR OTHER ELEMENTS COMPOSING THE INFILL AREA. ABOVE LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH LOADS ON TOP RAILS OF RAILING SYSTEM IN DETERMINING
- STRESS ON GUARD 4. SUBMIT PRODUCT DATA FOR STAIRS, TREADS & RISERS, NON-SLIP AGGREGATES AND NON-SLIP AGGREGATE SURFACE FINISHES, CAST NOSINGS, EXTRUDED NOSINGS, FLOOR PLATE, PAINT PRODUCTS, AND
- 5. SUBMIT SHOP DRAWINGS DETAILING FABRICATION AND INSTALLATION OF ALL STAIRS AND HANDRAILS. INCLUDE PLANS, ELEVATIONS, SECTIONS, AND DETAILS OF ALL STAIRS/HANDRAILS AND THEIR CONNECTIONS, SHOW ANCHORAGE AND ACCESSORY ITEMS. PROVIDE TEMPLATES FOR ANCHORS AND BOLTS SPECIFIED FOR INSTALLATION UNDER OTHER SECTIONS. A. FOR ALL STAIRS AND HANDRAILS, INCLUDE STRUCTURAL ANALYSIS DATA, TO BE SUBMITTED WITH THE SHOP DRAWINGS, SIGNED AND

SEALED BY THE QUALIFIED PROFESSIONAL ENGINEER WHO WAS

RESPONSIBLE FOR THEIR PREPARATION AND LICENSED IN THE STATE

1. THE EXTENT OF THE LIGHT GAGE FRAMING IS SHOWN ON THE DRAWINGS AND INCLUDES ALL COLD FORMED FRAMING 22 GAGE AND HEAVIER. IT INCLUDES, BUT IS NOT LIMITED TO INSTALLATION OF ROOF JOIST, WALL STUDS AND RUNNER TRACKS COMPLETE WITH CLIPS, BRIDGING, STIFFENERS, ETC. AS REQUIRED FOR A COMPLETE FRAMING PACKAGE.

LIGHT GAGE STEEL STUDS NOTES:

- 2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. DRAWINGS SHALL BE COMPLETE IN ALL DETAILS, INCLUDING ALL CONNECTIONS AND MEMBER SIZES AND BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT AND SHALL BE SOLELY RESPONSIBLE FOR SAME.
- ALL MEMBERS SHALL BE COLD FORMED FROM GALVANIZED STRUCTURAL QUALITY SHEET STEEL MEETING THE REQUIREMENTS OF ASTM A446 GRADE 'A', MINIMUM YIELD OF 33,000 PSI FOR 18 GAGE AND LIGHTER AND MEETING THE REQUIREMENTS OF ASTM A446 GRADE "D", MINIMUM YIELD OF 50,000 PSI FOR 16 GAGE AND HEAVIER.
- 4. ALL MEMBERS SHALL HAVE A GALVANIZED FINISH COMPLYING WITH ASTM A526, G 60 COATING.
- 5. INSTALL STUDS IN CONTINUOUS TRACKS, SIZED TO MATCH STUDS (UNLESS NOTED OTHERWISE), TOP AND BOTTOM, AND SECURE THE STUDS TO THE TRACKS WITH APPROVED CONNECTIONS, INSTALL 1 1/2" C. R. BRIDGING @ 48" O.C. W/ CLIPS & SCREWS @ EA. STUD OR WELD DIRECTLY TO STUD OR AS INDICATED ON THE DRAWINGS. (TYPICAL)
- 6. INSTALL THE JOIST AS INDICATED ON THE DRAWINGS, PROVIDING FULL BEARING AS INDICATED. THE ENDS OF THE JOIST SHALL BE SECURED WITH A RUNNER TRACK OR CONTINUOUS JOIST SIZED TO MATCH. FOR WALL BEARING JOIST, LOCATE JOIST DIRECTLY OVER WALL STUDS OR PROVIDE DISTRIBUTION ELEMENT AT THE TOP OF THE WALL. PROVIDE JOIST STIFFENERS AT BEARING CONDITIONS AND AT CONCENTRATED LOADS. INSTALL STANDARD 1 1/2" - 20 GA. V-BRIDGING @ 8'-0" O.C. MAXIMUM OR AS INDICATED ON THE DRAWINGS. ALL MEMBERS SHALL BE SECURELY FASTENED IN PLACE WITH APPROVED FASTENERS.
- DRAWINGS OR AT LOCATIONS APPROVED BY ENGINEER, IN WRITING. 8. DO NOT CUT HOLES FOR OTHER TRADES (OTHER THAN MANUFACTURERS STANDARD PUNCH-OUTS) EXCEPT WITH THE APPROVAL OF THE ARCHITECT AND/OR ENGINEER. REINFORCE AROUND ALL HOLES AS

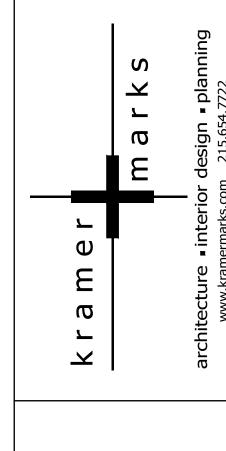
7. DO NOT SPLICE ANY FRAMING MEMBERS EXCEPT AS SHOWN ON THE

- 9. FRAME WALL AND FLOOR OPENINGS LARGER THAN 2'-0" WITH A MINIMUM OF TWO STUDS OR JOIST. PROVIDE JACK STUDS UNDER ENDS OF ALL HEADERS IN LOAD AND NON-LOAD BEARING APPLICATIONS. 10. FOR INTERIOR NON-LOAD BEARING WALLS, PROVIDE SLIP JOINTS @ TOP OF WALL BETWEEN TRACK AND VERTICAL STUD TO ALLOW FOR
- 11. FOR ALL LOAD BEARING WALL STUDS, CUT ENDS SQUARE AND PROVIDE FULL AND SOLID BEARING TO BOTH LOWER AND UPPER TRACK OR PROVIDE ADEQUATE CONNECTIONS TO TRANSMIT THE LOADS. 12. CONNECTIONS

A. WELDS

- WELDING SHALL BE IN CONFORMANCE WITH AWS D1.3-80 UTILIZING E70XX ELECTRODES. B. SCREWS
- SELF-DRILLING AND SELF-TAPPING, CADMIUM PLATED FOR ALL EXTERIOR USES OF THE SIZE REQUIRED FOR LOADING. C. POWER DRIVEN SHOTS
- SIZE AND SPACING REQUIRED TO PROPERLY ANCHOR THE FRAMING MEMBERS. USE CHARGE AS APPROPRIATE FOR ACTUAL USE. 13. SHOP DRAWINGS SHOW ALL SIZES, GAGES, CONNECTIONS, ETC. MUST BE

SUBMITTED TO ENGINEER FOR REVIEW.



RECEIVED W.S. CUMBY

COMMUNI

WBC FARMS
BALTIMC
A, PA 100

IR \simeq

GRANITE

(i) SHEET 11 OF 11

BID/PERMIT SET: 04/21/23 DO NOT SCALE MANUALLY OR ELECTRONICALLY FROM THIS DWG.

DO NOT SCALE MANUALLY OR ELECTRONICALLY FROM THIS DWG.

THIS DRAWING MUST BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS

OF THE PROJECT.

CONTRACTOR SHALL VERIFY ALL

CONTRACTOR NOTE:

DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK, AND SHALL BE RESPONSIBLE FOR SAME. COPYRIGHT 2023 **ELTON & THOMPSON P.C.**

ALL RIGHTS RESERVED.

ELTON & THOMPSON, P.C. STRUCTURAL CONSULTANTS 100 W. Main Street, Suite 365, Lansdale, PA 19446 Telephone: 215.576.6460 • www.etengr.com E-mail: DESIGN@ETENGR.COM

> FRANK C. THOMPSON, PROFESSIONAL ENGINEER PA. LICENSE NUMBER: PE050346 E

EQUIP

ESP

EVAP

EW

EQUIPMENT

EVAPORATOR

EMERGENCY SHOWER

EMERGENCY EYEWASH

ELECTRIC WATER COOLER

EXTERNAL STATIC PRESSURE

		<u>A</u>	BBREVIATIONS			
	10001177	-				
ABS AC	ABSOLUTE ALTERNATING CURRENT	EWH EWT	ELECTRIC WATER HEATER ENTERING WATER TEMPERATURE	N.O. NO.	NORMALLY OPEN NUMBER	
AD	AREA DRAIN	EXP	EXPANSION	NTS	NOT TO SCALE	
AFF	ABOVE FINISHED FLOOR	EXP JT	EXPANSION JOINT	OA	OUTSIDE AIR	
AGF	AIR GAP FITTING	EXT	EXTERIOR	OD	OUTSIDE DIAMETER	
AHU	AIR HANDLING UNIT	°F	DEGREE FAHRENHEIT	OD	OVERFLOW DRAIN	
AMP	AMPERE	F	FIRE PROTECTION WATER SUPPLY	OED	OPEN END DUCT	
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	FCO	FLOOR CLEANOUT	%	PERCENT	
APP	APPROVED	FD	FLOOR DRAIN	PCR	PUMPED CONDENSATE RETURN	
APPROX	APPROXIMATE	FDC	FIRE DEPARTMENT CONNECTION	PD	PUMPED DRAIN	
AV	ACID VENT	FHC	FIRE HOSE CABINET	PDI	PLUMBING & DRAINAGE INSTITUTE	
AVG B.O.P	AVERAGE	FHV FIM	FIRE HOSE VALVE	PG PH	PRESSURE GAUGE	
B.O.P BFP	BOTTOM OF PIPE BACKFLOW PREVENTION DEVICE	FIIVI	FINISH FINISHED FLOOR	PIV	PHASE-ELECTRICAL POST INDICATOR VALVE	
BFV	BUTTERFLY VALVE	FLFD	FUSIBLE LINK FIRE DAMPER	PLBG	PLUMBING	
ВНР	BRAKE HORSEPOWER	FLR	FLOOR	PP	POLYPROPYLENE PIPE	
BLDG	BUILDING	FO	FUEL OIL	PRV	PRESSURE REDUCING VALVE	
BLV	BALANCING VALVE	FPM	FEET PER MINUTE	PSF	POUNDS PER SQUARE FOOT	
BTU	BRITISH THERMAL UNIT	FPS	FEET PER SECOND	PSI	POUNDS PER SQUARE INCH	
BV	BALL VALVE	FS	FLOW SWITCH	PVC	POLYVINYL CHLORIDE PIPE	
BWV	BACKWATER VALVE	FT	FEET	QT	QUART	
CA	COMPRESSED AIR	FU	FIXTURE UNIT	(R)	REMOVE EXISTING	
C TO C	CENTER TO CENTER	FV	FLUSH VALVE	(RE)	RELOCATE EXISTING	
CD	CONDENSATE DRAIN	G	NATURAL GAS	RA	RETURN AIR	
CFH CFM	CUBIC FEET PER HOUR CUBIC FEET PER MINUTE	GA GAL	GAUGE GALLONS	RD R&D	ROOF DRAIN RESEARCH & DEVELOPMENT	
CHWR	CHILLED WATER RETURN	GALV	GALVANIZED	REQ	REQUIRED	
CHWS	CHILLED WATER SUPPLY	GPD	GALLONS PER DAY	RG	RETURN AIR GRILLE	
CI	CAST IRON	GPH	GALLONS PER HOUR	RH	RELATIVE HUMIDITY	
CISP	CAST IRON SOIL PIPE	GPM	GALLONS PER MINUTE	RM	ROOM	
CISPI	CAST IRON SOIL PIPE INSTITUTE	GR	GRAINS OF MOISTURE	RPM	REVOLUTIONS PER MINUTE	
CKT	CIRCUIT	GRD	GROUND	RR	RETURN AIR REGISTER	
CLG	CEILING	GWH	GAS WATER HEATER	RWC	RAINWATER CONDUCTOR	
CO	CLEANOUT	Н	ENTHALPY	RZPB	REDUCED PRESSURE ZONE BFP	
CO ₂	CARBON DIOXIDE	НВ	HOSE BIBB	SA	SHOCK ABSORBER	
COL	COLUMN	HC	HANDICAP	SAN	SANITARY WASTE	
COND	CONDENSATE	HD HP	HEAD HORSEPOWER	SCH SD	SCHEDULE SUPPLY AIR DIFFUSER	
CONN	CONNECTION CONTINUED	HPCR	HIGH PRESSURE CONDENSATE RETURN	F F	SQUARE FEET	
CONTR	CONTRACTOR	HPSS	HIGH PRESSURE STEAM SUPPLY	SH	SHOWER	
CP	CONTROL PANEL	HR	HOUR	SP	STANDPIPE	
CR	CONDENSER RETURN	HS	HOSE STATION	SPD	SURGE PROTECTION DEVICE	
CS	CONDENSER SUPPLY	НТ	HEIGHT	SPEC	SPECIFICATION	
CU FT	CUBIC FEET	HTR	HEATER	SPR	SPRINKLER	
CU IN	CUBIC INCH	HVAC	HEATING VENTILATION AIR CONDITIONING	SQ	SQUARE	
CV	CHECK VALVE	HW	HOT WATER (DOMESTIC)	SR	SUPPLY AIR REGISTER	
CW	COLD WATER (DOMESTIC)	HWR	HOT WATER RETURN (DOMESTIC)	SS	STAINLESS STEEL	
DB	DECIBEL	HWR	HOT WATER RETURN	STD	STANDARD	
DB	DRY BULB	HWS FZ	HOT WATER SUPPLY FREQUENCY-ELECTRICAL	STL STR	STEEL STRAINER	
DCBP DD	DOUBLE CHECK BACKFLOW PREVENTER DECK DRAIN	ID	INSIDE DIAMETER	STRUC	STRUCTURAL	
DEG	DEGREE	ID	INDIRECT DRAIN	SUCT	SUCTION	
DFU	DRAINAGE FIXTURE UNIT	ΙΕ	INVERT ELEVATION	SV	SANITARY VENT	
DI	DEIONIZED WATER	IW	INDIRECT WASTE	SWV	SANITARY WASTE VENT	
DIA	DIAMETER	KW	KILOWATT	T&P	TEMPERATURE & PRESSURE RELIEF VALVE	
DIS	DISTILLED WATER	KWH	KILOWATT HOUR	TEMP	TEMPERATURE	
DISCH	DISCHARGE	LAT	LEAVING AIR TEMPERATURE	THERM	THERMOMETER	
DN	DOWN	LAV	LAVATORY	T.O.P.	TOP OF PIPE	
DP	DEEP	LBS	POUNDS	TP	TRAP PRIMER	
DS	DOWNSPOUT	LF	LINEAR FEET	TYP	TYPICAL	
DSP	DRY STANDPIPE	LL LP	LOW LEVEL LIQUID PROPANE	UL UTIL	UNDERWRITER'S LABORATORY UTILITY	
DTR DTS	DUAL TEMPERATURE RETURN DUAL TEMPERATURE SUPPLY	LPCR	LOW PRESSURE CONDENSATE RETURN	VAC	VACUUM	
DTTV	DOUBLE THICK TURNING VANES	LPCS	LOW PRESSURE CONDENSATE SUPPLY	VAV	VARIABLE AIR VOLUME	
DVC	DRY VACUUM CLEANING	LWT	LEAVING WATER TEMPERATURE	VB	VACUUM BREAKER	
DWG	DRAWING	MAU	MAKE-UP AIR UNIT	VD	VOLUME DAMPER	
DWR	DOMESTIC WATER RISER	MAX	MAXIMUM	VEL	VELOCITY	
(E)	EXISTING	MECH	MECHANICAL	VERT	VERTICAL	
(ED)	EXISTING TO BE DEMOLISHED	MFR	MANUFACTURER	VFD	VARIABLE FREQUENCY DRIVE	
(ETR)	EXISTING TO BE RELOCATED	MH	MANHOLE	VIF	VERIFY IN FIELD	
EA	EXHAUST AIR	MIN	MINIMUM	VOL	VOLUME	
EAT	ENTERING AIR TEMPERATURE	MISC	MISCELLANEOUS	VPC	VIA PHOTOCELL	
EFF	EFFICIENCY	MOD	MOTOR OPERATED DAMPER	VTC	VIA TIME CLOCK	
EFL	EFFLUENT	MPCR	MEDIUM PRESSURE CONDENSATE RETURN	VTR	VENT THROUGH ROOF	
EL	ELEVATION	MPH	MILES PER HOUR	W/	WITH	
	ELECTRICAL	MPSS	MEDIUM PRESSURE STEAM SUPPLY	WB	WET BULB TEMPERATURE	
ELC		/NI\	NEW	WCC	WALL OF EVNOLLE	
ELC EMF EQ	ELECTROMOTIVE FORCE EQUAL	(N) NA	NEW NOT APPLICABLE	WCO WH	WALL CLEANOUT WALL HYDRANT	

NORMALLY CLOSED

NOT IN CONTRACT

WATER SUPPLY FIXTURE UNITS

WEATHERPROOF

WITHOUT

MECHANICAL GENERAL NOTES

- 1. ALL WORK IS TO BE IN COMPLIANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE. NOT ALL CODE REQUIREMENTS HAVE BEEN DESCRIBED IN THIS SPECIFICATION OR INDICATED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE CODES AND INSTALL THE WORK IN ACCORDANCE WITH CODES.
- 2. OBTAIN AND PAY FOR BUILDING PERMITS, INSPECTIONS, CONNECTION CHARGES, AND FEES.
- 3. THE CONTRACTOR IS TO SURVEY AND VERIFY ALL EXISTING CONDITIONS PRIOR TO BID SUBMISSION AND BECOME AWARE OF ALL CONDITIONS WHICH MAY IMPACT THE REQUIRED WORK. CONTRACTOR IS TO INCLUDE ALL ASSOCIATED COSTS (MATERIALS/ LABOR) DETERMINED TO BE REQUIRED DURING SITE INSPECTIONS. CONTRACTOR'S BID SUBMISSION IS TO BE CONSIDERED PROOF THAT THIS REQUIREMENT HAS BEEN MET.
- DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE TAKEN AS A WHOLE. IF A CONFLICT OR CONTRADICTION EXISTS BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT WILL APPLY. THE ARCHITECT'S AND ENGINEER'S INTERPRETATION OF THE DOCUMENTS ARE TO BE BINDING UPON THE CONTRACTOR.
- 5. ALL WORK IS TO BE COORDINATED WITH, AND APPROVED BY THE OWNER PRIOR TO ANY SHUT-DOWNS. ALL REQUESTS ARE TO BE SUBMITTED, IN WRITING, TO THE OWNER 24, TO 48 HOURS PRIOR TO REQUESTED DELETIONS.
- 6. COORDINATE ALL ELECTRICAL REQUIREMENTS WITH THE ELECTRICAL CONTRACTOR PRIOR TO PURCHASING EQUIPMENT. VERIFY ALL VOLTAGE AND AMPERE REQUIREMENTS FOR FEEDERS, AND MOCP DEVICES.
- 7. ALL EXTERIOR WALL/ ROOF PENETRATIONS ARE TO BE SEALED, AIR, AND WATER-TIGHT. ALL PIPING PASSING THROUGH WALL, OR FLOOR PENETRATIONS IS TO HAVE SLEEVES. ALL WALL, OR FLOOR-RATED PENETRATIONS ARE TO BE SEALED WITH FIRE-RATED SEALANT FORMED IN PLACE (BY 3M OR HILTI).
- 8. PROVIDE ALL ACCESS DOORS FOR ALL VALVES, DAMPERS, DEVICES, CONTROLLERS, ETC. WHICH MAY REQUIRE SERVICE. ALL ACCESS PANELS ARE BE 16 GAUGE STEEL FRAME, 20 GAUGE HINGED DOOR, LOCKABLE, AND FIRE-RATED (WHEN INSTALLED IN RATED WALLS, FLOORS, "B" LABEL, 1-1/2 HOURS), FINISH AS SELECTED BY THE ARCHITECT.
- 9. SUBMIT SHOP DRAWINGS FOR ALL EQUIPMENT TO BE REVIEWED BY THE ENGINEER PRIOR TO ORDERING. COORDINATE ALL ELECTRICAL REQUIREMENTS WITH ELECTRICAL CONTRACTOR, AND PHYSICAL DIMENSIONS PRIOR TO SHOP DRAWING SUBMISSION.
- 10. SUBMIT SHOP DRAWINGS OF ALL SHEET METAL FOR REVIEW. DRAWINGS ARE TO BE NOT LESS THAN 1/4"=1'-0" SCALE AND ARE TO INDICATE ALL STEEL, PIPING, CONDUIT WIRING METHODS, LIGHTING FIXTURES, SPRINKLER, EQUIPMENT, AND ARCHITECTURAL FEATURES, DUCTWORK IS TO BE INDICATED DOUBLE-LINE. INDICATE DETAIL OF FIRE DAMPER. SHEET METAL SHOP DRAWING WILL BE UTILIZED FOR CONTRACTOR'S COORDINATION DRAWINGS AND IS TO BE SUBMITTED FOR REVIEW, AND APPROVAL PRIOR TO INSTALLATION. IF SHEET METAL SHOP DRAWINGS ARE NOT SUBMITTED, OR IF THE CONTRACTOR INSTALLS THE DUCTWORK WITHOUT PRIOR APPROVALS, THE CONTRACTOR IS TO ASSUME ALL RESPONSIBILITIES AND FIELD COORDINATION, AND PAY ALL ASSOCIATED COSTS ASSOCIATED WITH DUCTWORK INSTALLATION DEFICIENCIES, AND FIELD COORDINATION ISSUES.
- 11. ALL DUCTWORK IS TO COMPLY WITH NFPA PAMPHLET 90 A. ALL DUCTWORK SEAMS ARE TO BE SEALED WITH DUCT SEALANT. ALL NEW DUCTWORK SECTIONS AND FITTINGS TO BE INSTALLED ON THE PROJECT ARE TO BE COVERED, AND SEALED FROM DUST, DIRT, DEBRIS.
- 12. PROVIDE THIRD-PARTY TEST, BALANCE, AND ADJUST REPORT (FOR ALL AIR AND HYDRONIC SYSTEMS) BOTH PRIOR TO DEMOLITION WORK, AND AT THE COMPLETION OF THE WORK. BALANCE AIR QUANTITIES AND FLOW RATES TO VALUES AS INDICATED ON THE DRAWINGS. SET DAMPER AND VALVE POSITIONS. ALLOW FOR ONE SHEAVE CHANGE PER EACH (50%) OF THE HVAC SYSTEMS. PROVIDE ONE SPEED TAP ADJUSTMENT FOR DIRECT DRIVE SYSTEMS PER EACH (100%) OF THE HVAC SYSTEMS. PROVIDE TOTAL AND STATIC PRESSURE READINGS, TRAVERSE AT FAN INLETS, AND OUTLETS. READ PUMP PRESSURE, AMPERAGE, GPMS, RPMS AND IDENTIFY OPERATING POINT ON THE IMPELLER CURVE. T.B.A. CONTRACTOR IS TO BE INDEPENDENT, AND AABC/ NEBB
- 13. ALL WORK IS TO BE CONCEALED, UNLESS OTHERWISE INDICATED.
- 14. NO PVC PIPING IS PERMITTED IN RETURN AIR PLENUMS.
- 15. ALL THREE PHASE STARTER EQUIPMENT IS TO BE PROVIDED BY THE MECHANICAL CONTRACTOR AND IS TO BE MAGNETIC, ACROSS-THE-LINE WITH AUXILIARY CONTACTS. ALL SINGLE PHASE STARTER EQUIPMENT IS TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
- 16. PROVIDE CONDENSATE DRAIN TO ACCEPTABLE CODE APPROVED DISCHARGE POINT, 1-1/2" PVC (COPPER). ALL CONDENSATE PIPING IS TO HAVE 1/2" FIBERGLASS INSULATION WITH VAPOR BARRIER, PROVIDE CONDENSATE PUMP(S) WITH DISCHARGE CHECK VALVE(S) IF GRAVITY FLOW IS NOT OBTAINABLE. SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL AND COORDINATE ELECTRICAL WORK WITH THE ELECTRICAL CONTRACTOR.
- 17. PROVIDE FIRE DAMPERS IN ALL RATED WALL/ FLOOR/ SHAFT ASSEMBLIES WHERE INDICATED ON THE ARCHITECTURAL PLANS. FIRE DAMPERS ARE TO BE INSTALLED IN ACCORDANCE WITH THE UL LISTING FOR THE DAMPER AND AS DETAILED AS ON THE DRAWINGS, AND DETAILS. THE DAMPERS ARE TO BE SET IN A STEEL SLEEVE, AND ARE TO BE PROVIDED WITH BREAKAWAY CONNECTIONS, DAMPERS ARE TO BE 1-1/2 HOUR RATED, PROVIDE SMOKE DAMPERS IN ALL SMOKE-RATED WALLS/ PARTITIONS PER THE ARCHITECTURAL PLANS. COORDINATE ALL LOCATIONS AND POWER REQUIREMENTS WITH ELECTRICAL, AND FIRE ALARM CONTRACTORS.
- 18. PROVIDE INSULATED PREFABRICATED ROOF CURB FOR ROOF-MOUNTED EQUIPMENT, DUCTWORK, AND PIPING AS MANUFACTURED BY THE ROOF-MOUNTED EQUIPMENT MANUFACTURER. ALL DUCT/ PIPING ROOF PENETRATIONS ARE TO HAVE ROOF CURBS. ALL ROOF CURBS ARE TO BE SECURED TO THE ROOF AND COORDINATED WITH THE OWNER'S ROOFING CONTRACTOR.
- 19. KITCHEN EXHAUST DUCTS ARE TO BE 16 GAUGE, CONTINUOUS WELDED STEEL, INSTALLED IN ACCORDANCE WITH NFPA 96. PROVIDE ONE HOUR FIRE-RATING AROUND THE ENTIRETY OF DUCTWORK FROM THE KITCHEN HOOD TO THE EXHAUST FAN. ALL ELBOWS ARE TO BE LONG-SWEEP RADIUS ELBOWS. PROVIDE CLEAN-OUT ACCESS PANELS AT ALL CHANGES IN DIRECTION, SPACED IN ACCORDANCE WITH NFPA-96 REQUIREMENTS.
- 20. ALL FINISHES RELATED TO MECHANICAL EQUIPMENT, TERMINAL EQUIPMENT, AIR DEVICES, PERIMETER HEATERS, LOUVERS, ACCESS PANELS, EXPOSED WIREMOLD/ RACEWAYS, ETC. ARE TO BE COORDINATED AND SELECTED BY THE ARCHITECT/ OWNER/ ENGINEER PRIOR TO SHOP DRAWING SUBMISSION, ORDERING, AND INSTALLATION.
- 21. FINAL LOCATIONS OF ALL THERMOSTATS, ACCESS PANELS, SPACE SENSORS, DETECTION DEVICES, ETC. IN FINISHED SPACES ARE TO BE COORDINATED AND APPROVED BY THE ARCHITECT/ OWNER PRIOR TO ROUGH-IN AND INSTALLATION.
- 22. PROVIDE NEW MERV 11 FILTERS FOR ALL NEW AND EXISTING HVAC EQUIPMENT. CONTRACTOR IS TO PROVIDE ONE SPARE SET OF MERV 11 FILTERS FOR EACH HVAC SYSTEM. AND TURN OVER TO THE OWNER. 23. RENOVATION PROJECTS: CONTRACTOR IS TO PROVIDE TEMPORARY FILTERS IN ALL EXISTING HVAC EQUIPMENT IMPACTED BY THE RENOVATION PROJECT'S

SCOPE OF WORK. CONTRACTOR IS TO COVER ALL EXISTING SUPPLY, RETURN, EXHAUST, AND RELIEF AIR OPENINGS DURING CONSTRUCTION, AND/OR

- 24. WATER SYSTEMS START-UP: FILL SYSTEM AND THOROUGHLY FLUSH ALL SEDIMENT, DIRT, PARTICLES, AND ANY OTHER MATERIAL FROM THE SYSTEM. REMOVE ALL AIR FROM THE SYSTEM. THIS WILL REQUIRE SEVERAL BLEEDING SEQUENCES. PROVIDE AIR VENTS AS REQUIRED. CLEAN ALL STRAINERS AFTER A THOROUGH FLUSHING, PROVIDE CHEMICAL TREATMENTS FOR THE FIRST YEAR OF OPERATION INCLUDING ALL NECESSARY TASKS, CHEMICALS, ADDITIVES. AND SERVICE VISITS.
- 25. THE CONTRACTOR IS TO PROVIDE RADIANT CEILING DAMPERS IN ALL CEILING AIR DEVICES, (DIFFUSERS, GRILLES, REGISTERS, ETC.) AND RECESSED CEILING EXHAUST FANS LOCATED IN A FIRE-RATED CEILING ASSEMBLY. REFER TO ATTACHED DETAILS.
- 26. THE CONTRACTOR IS TO BE RESPONSIBLE FOR PROVIDING AUXILIARY DEHUMIDIFICATION UNITS IN EACH DWELLING UNIT AND THROUGHOUT THE BUILDING AFTER THE BUILDING IS ENCLOSED, DRYWALL, AND PAINTING IS FINISHED. THE DEHUMIDIFICATION UNITS ARE TO REMAIN IN OPERATION UNTIL UNIT TURN-OVER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISCHARGE ALL CONDENSATE AND PROVIDE MEANS FOR POWER.
- 27. THE CONTRACTOR IS TO PROVIDE MANUFACTURER'S START-UP OF ALL EQUIPMENT, AND SYSTEMS.

DEMOLITION TO PREVENT DUST, DIRT, AND DEBRIS FROM ENTERING THE EXISTING DUCTWORK.

- 28. PROPERLY INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF ALL SYSTEMS AND EQUIPMENT. PROVIDE THREE INSTRUCTION AND MAINTENANCE MANUALS. SUBMIT MANUALS FOR REVIEW PRIOR TO OPERATING INSTRUCTION.
- 29. COORDINATE LOCATIONS AND ROUGH-IN REQUIREMENTS WITH ALL TRADES PRIOR TO INSTALLATION.
- 30. IF THE CONTRACTOR ELECTS TO SUBMIT ALTERNATE EQUIPMENT, MANUFACTURERS, SYSTEMS, METHODS, OR MATERIALS NOT SPECIALLY IDENTIFIED IN THE DRAWINGS AND SPECIFICATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE WORK WITH OTHER TRADES AND PAY FOR ANY ADDITIONAL COSTS ASSOCIATED WITH THE SUBSTITUTION OR CHANGE.
- 31. PROVIDE ONE SET OF ELECTRONIC AS-BUILT DRAWINGS AT COMPLETION OF WORK. SUBMIT TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

PROJECT DEDUCT/ADD ALTERNATES

REFER TO FLOOR PLANS

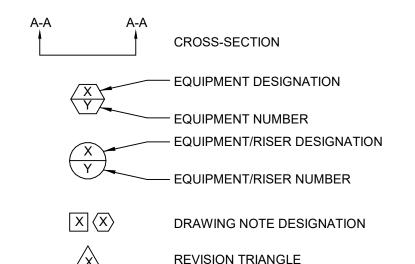
CONTRACTOR NOTES

CONTRACTOR IS TO COORDINATE FINAL LOCATIONS FOR ALL KITCHEN EQUIPMENT, FLOOR DRAINS, FLOOR SINKS, ETC. WITH THE ARCHITECT/ OWNER/ KITCHEN CONSULTANT PRIOR TO ROUGH-IN WORK. CONTRACTOR IS TO COORDINATE WITH KITCHEN VENDOR AND KITCHEN CONSULTANT FOR ALL KITCHEN EQUIPMENT CONNECTION POINT LOCATIONS PRIOR TO ROUGH-IN. IT IS THE INTENT FOR ALL WORK TO BE CONCEALED UNLESS DIRECTED OTHERWISE. CONTRACTORS ARE TO MAKE ALL FINAL CONNECTIONS TO KITCHEN EQUIPMENT (CONTRACTOR IS TO FURNISH AND INSTALL NEW VALVED CONNECTIONS, DAMPERS, FITTINGS, ETC. FOR EACH PIECE OF EQUIPMENT [NEW AND EXISTING]). CONTRACTOR IS TO PROVIDE FLEXIBLE PIPE CONNECTIONS FOR ALL MOVABLE PIECES OF EQUIPMENT. CONTRACTOR IS TO PROVIDE WASHABLE, PVC-INSULATED FITTED COVERS, AND JACKET (MAHVILLE "PERMEWELL SYSTEM", USDA AND FDA APPROVED, WHITE) ON ALL EXPOSED PIPING (NEW AND EXITING). CONTRACTOR IS TO PERFORM A SITE VISIT PRIOR TO BID SUBMISSION AND INCLUDE ALL ASSOCIATED COSTS FOR ALL NEW AND EXISTING CONDITIONS. CONTRACTOR'S BID SUBMISSION IS TO BE CONSIDERED PROOF THAT ALL SURVEY AND VERIFICATION REQUIREMENTS HAVE BEEN MET.

DRAWING LIST

	Drawing List- Mechanical														
NUMBER															
M-001	COVER SHEET- MECHANICAL	BID													
MD-101	DEMOLITION PLAN- MECHANICAL	BID	1	05/09/2023	ADDENDUM #1										
MD-102	DEMOLITION UNIT PLANS- MECHANICAL	BID	1	05/09/2023	ADDENDUM #1										
M-101A	FIRST FLOOR PLAN - MECHANICAL	BID	1	05/09/2023	ADDENDUM #1										
M-101B	FIRST FLOOR PLAN- MECHANICAL	BID	1	05/09/2023	ADDENDUM #1										
M-301	ENLARGED UNIT PLANS- MECHANICAL	BID													
M-400	DETAILS- MECHANICAL	BID													
M-401	DETAILS- MECHANICAL	BID													
M-500	SCHEDULES- MECHANICAL	BID													
M-501	SCHEDULES- MECHANICAL	BID	1	05/09/2023	ADDENDUM #1										

DRAWING SYMBOLS LIST



DESIGN NOTES

1. DESIGN CONDITIONS

SIZING, DESIGN AND PERFORMANCE OF THE HEATING AND COOLING SYSTEMS ARE BASED ON THE FOLLOWING DESIGN CHARACTERISTICS. MODIFICATION OF ANY OF THESE CHARACTERISTICS MAY ADVERSELY AFFECT THE HEATING AND COOLING PERFORMANCE AND LEVEL OF COMFORT TO THE BUILDING OCCUPANTS.

WEATHER STATION LOCATIONS - PHILADELPHIA, PA HEATING DEGREE DAYS = 4589

WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

OUTDOOR: WINTER DRY BULB 14°F

SUMMER DRY BULB 90°F SUMMER WET BULB 74°F INDOOR: WINTER DRY BULB 70°F

SUMMER DRY BULB 75°F

 $\boldsymbol{\omega}$

RECEIVED

DMMUNIT

TIREM 420 FORT V

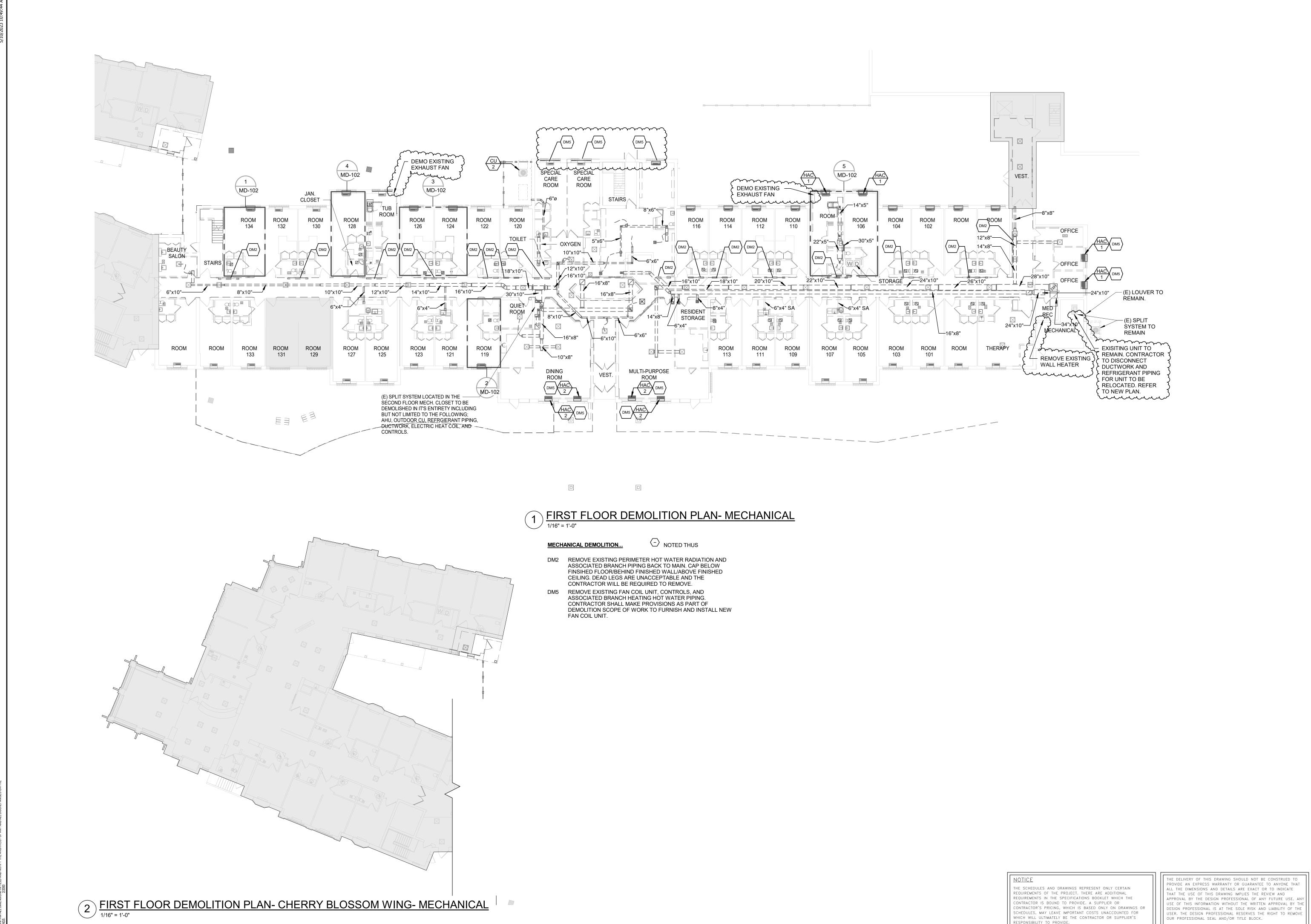
 \simeq

WBC

COVER SHEET

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. CONTRACTOR IS BOLIND TO PROVIDE A SUPPLIER OR USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY CONTRACTOR'S PRICING WHICH IS BASED ONLY ON DRAWINGS OF DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF T SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE

OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.



 $\boldsymbol{\sigma}$

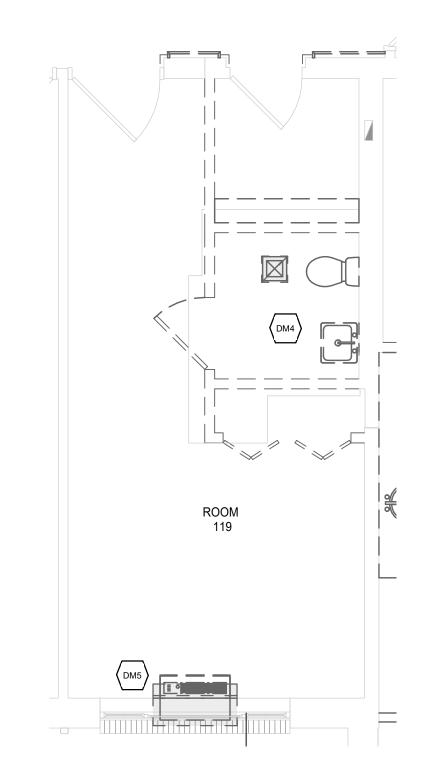


RETIREMENT - 420 DELA FORT WASHIN

DEMOLITION PLAN-

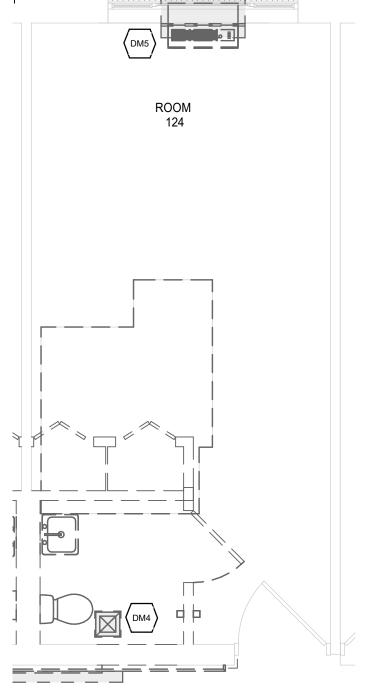
MECHANICAL



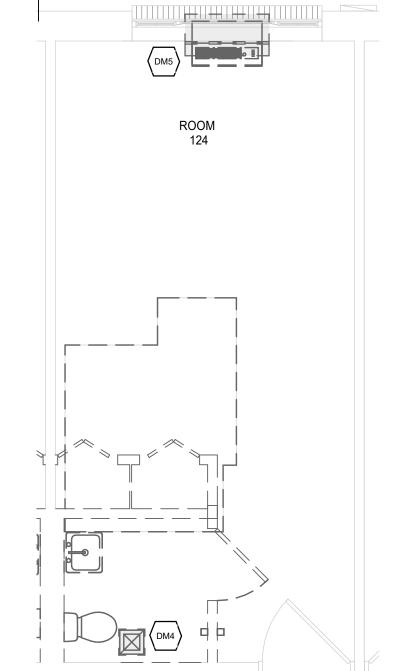


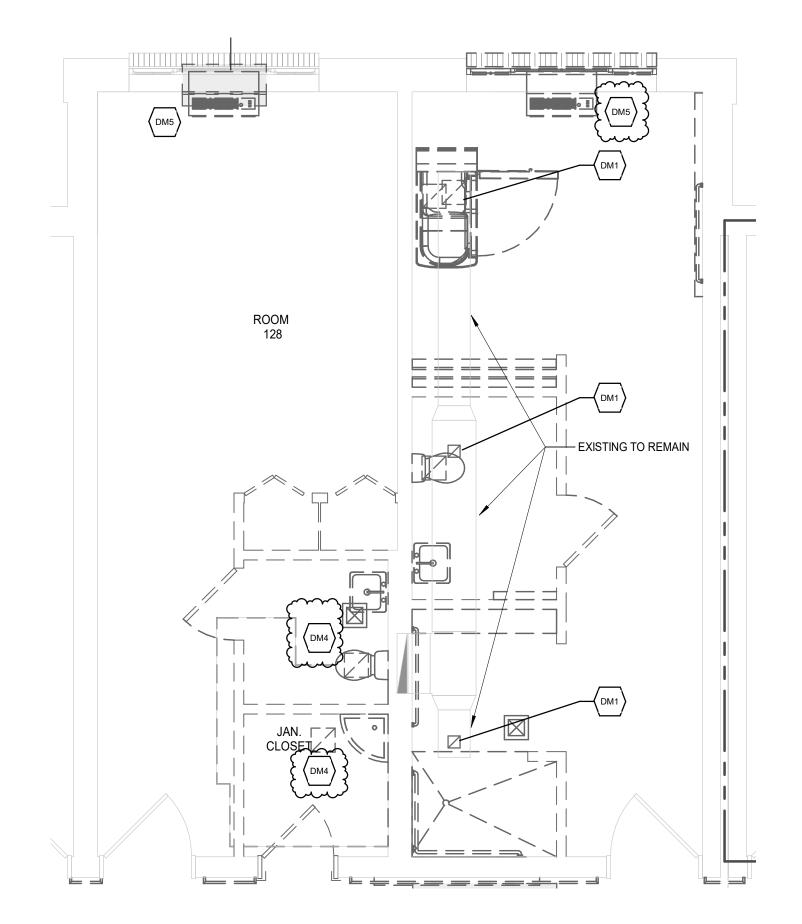
2 TYPICAL UNIT DEMO PLAN- TYPE 3- MECHANICAL

1/4" = 1'-0"



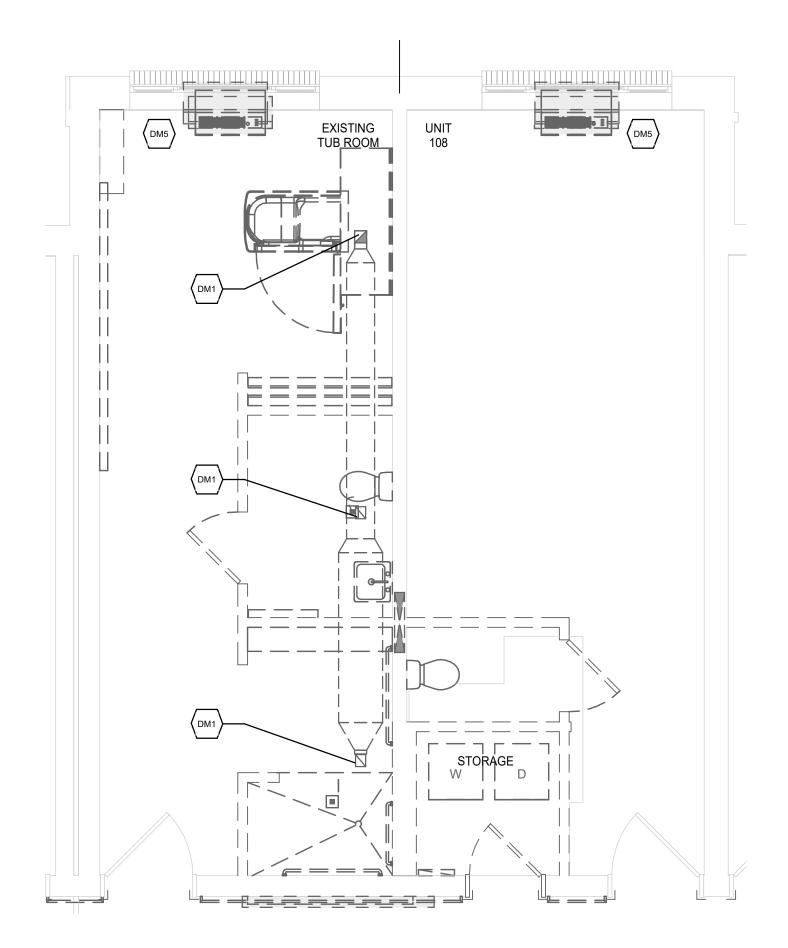
3 TYPICAL UNIT DEMO PLAN- TYPE 4- MECHANICAL





4 TYPICAL UNIT DEMO PLAN- TYPE 5- MECHANICAL

1/4" = 1'-0"



5 TYPICAL UNIT DEMO PLAN- UNITS 108 & TUB ROOM- MECHANICAL

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY (USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

O NOTED THUS

DM1 REMOVE EXISTING AIR DEVICE AND ASSOCIATED BRANCH

ASSOCIATED BRANCH HEATING HOT WATER PIPING. CONTRACTOR SHALL MAKE PROVISIONS AS PART OF

DM5 REMOVE EXISTING FAN COIL UNIT, CONTROLS, AND

WORK FOR INSTALLATION OF NEW.

DM4 REMOVE EXISTING CEILING EXHAUST FAN. CONTRACTOR SHALL MAKE PROVISIONS AS PART OF DEMOLITION SCOPE OF

DEMOLITION SCOPE OF WORK TO FURNISH AND INSTALL NEW

DUCTWORK.

FAN COIL UNIT.

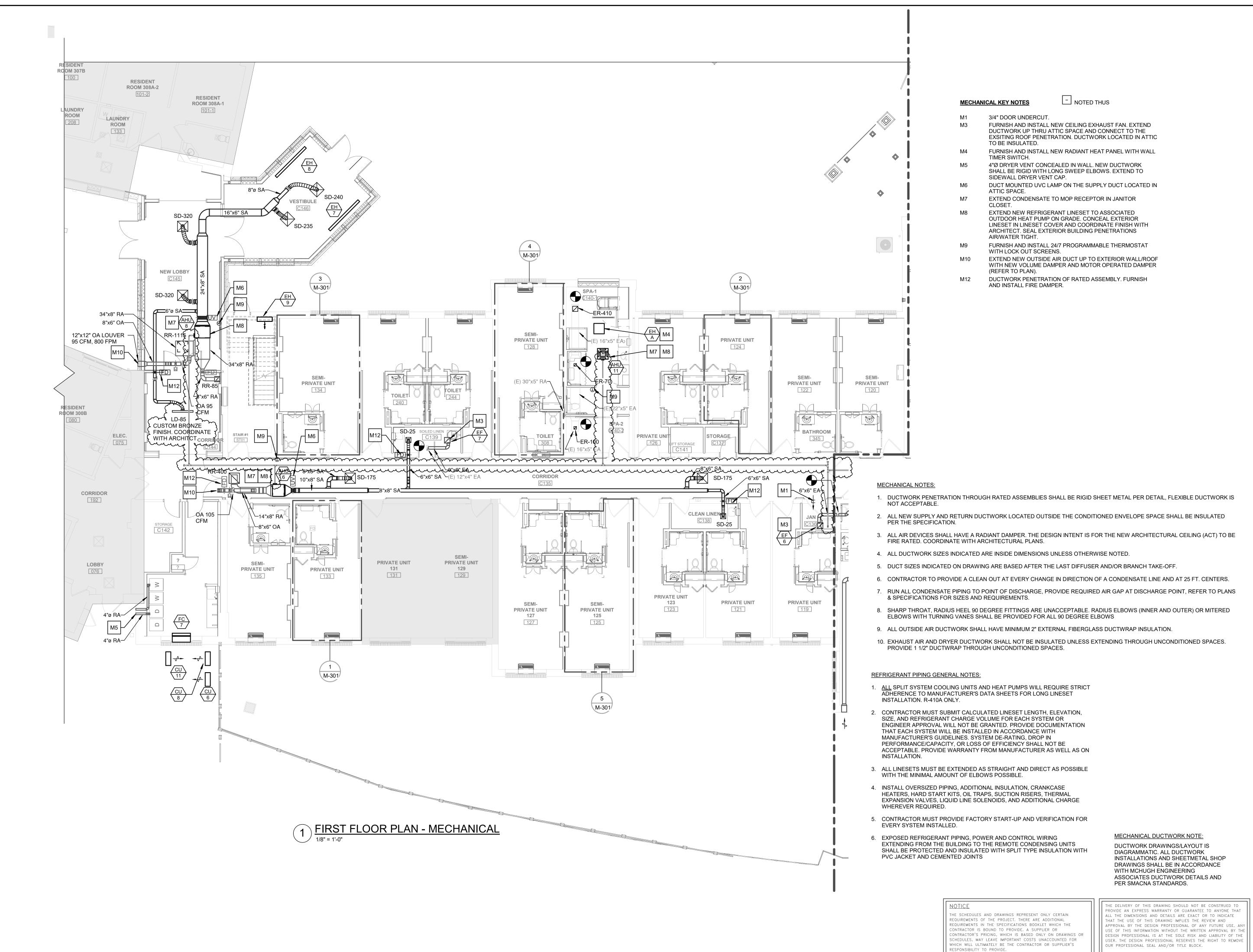
 $\boldsymbol{\sigma}$ \checkmark



RETIREMENT - 420 DELA FORT WASHIN

DEMOLITION UNIT PLANS-MECHANICAL

MD-102



ENGINEERING ASSOCIATES INC.

136 Pop 1950 Route 7

a m e r m a r k s ecture = interior design = planning

~

RECEIVED

5/10/2023

W.S. CUMBY

5/10/2023 W.S. CUMBY 14/21/2023

MS WBC - PHASE 2
LTIMORE PIKE
A 19063
LIFE COMMUNITIES

GRANITE FARMS WBC - 1343 WEST BALTIMORE PIKE MEDIA, PA 19063

Acts RETIREMENT - 420 DELAY FORT WASHIN

WNN P. M. P.I.C. ISSUE DATE
B JB SGG 04.21.2023

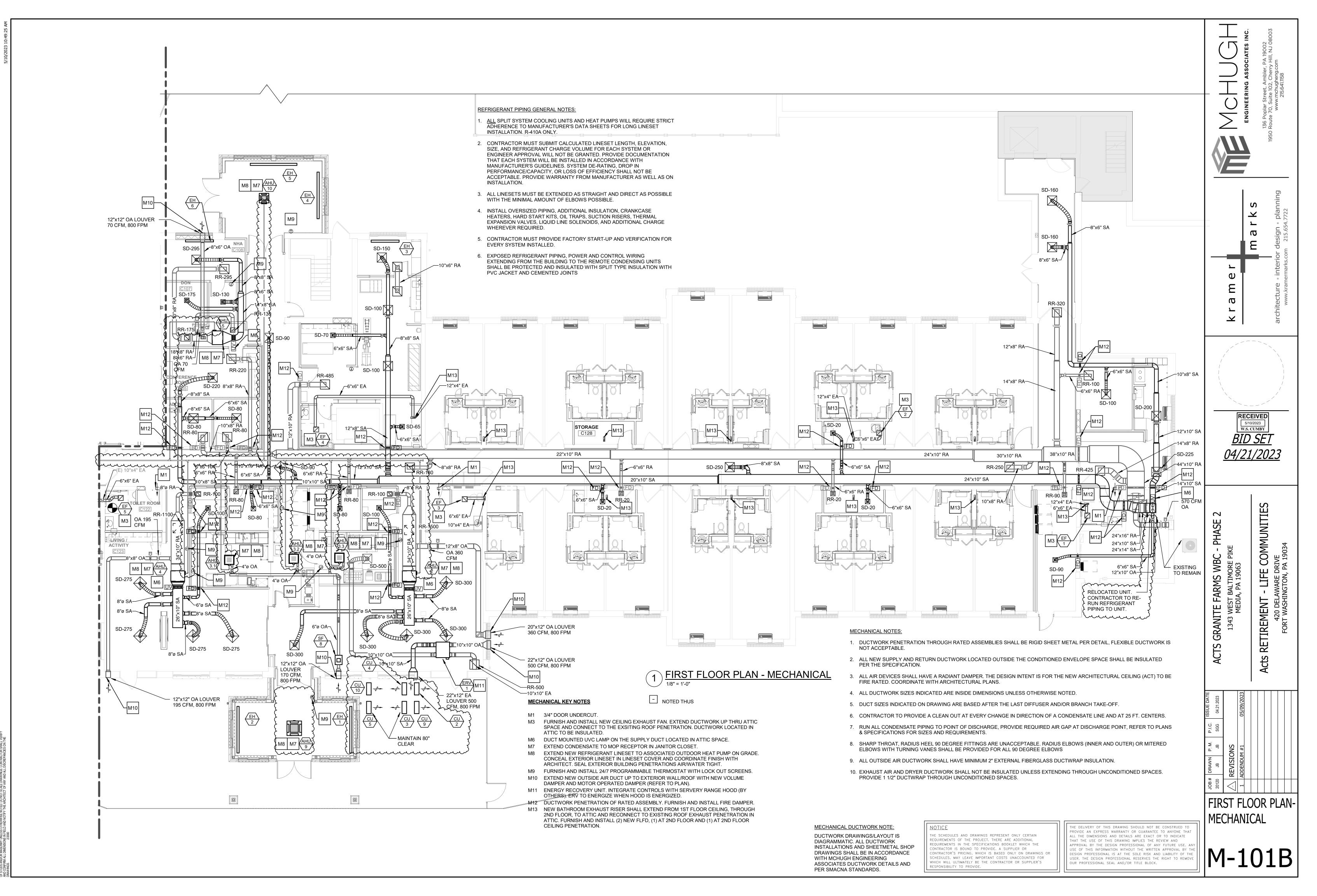
ISIONS

NDUM #1 05/09/2023

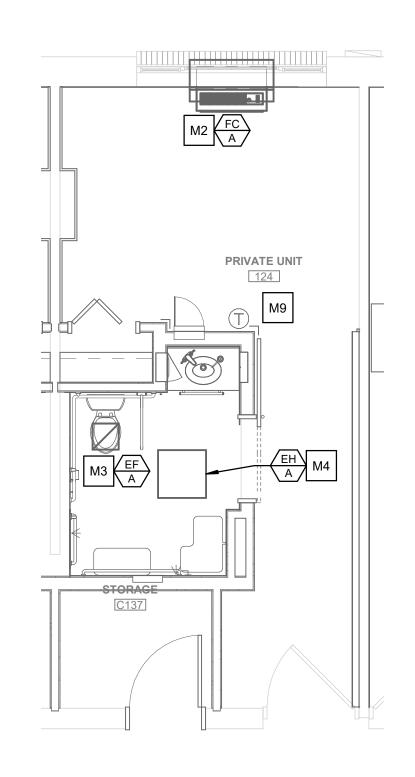
PLOOR PLAN

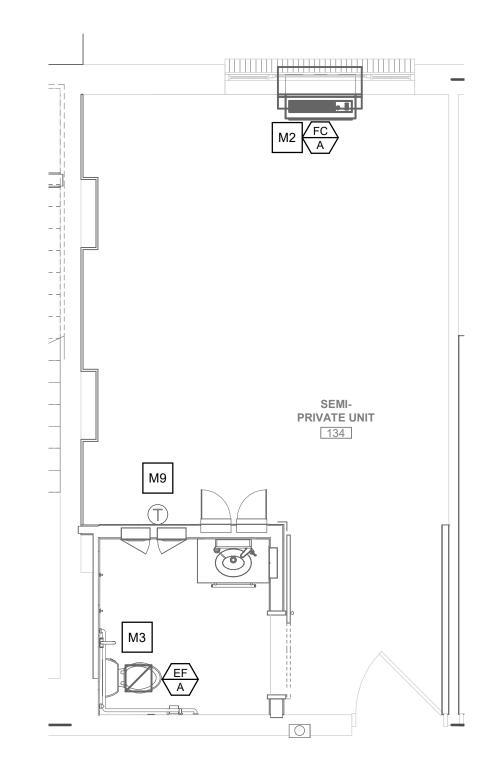
- MECHANICAL

M-101A



TS ARE RESERVED. NO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE CONTENTS M. THE EXPRESS WRITTEN PERMISSION OF THE AUTHOR. ALL PLAN DIMENSIONS ARE GENERALLY TAKE TYPICAL UNIT PLAN - TYPE 1- PRIVATE- MECHANICAL





- NOTED THUS **MECHANICAL KEY NOTES**

- M2 FURNISH AND INSTALL NEW THROUGH WALL FAN COIL UNIT, 3-WAY HOT WATER CONTROL VALVE ASSEMBLY AND (2) NEW BALL VALVES. FURNISH AND INSTALL NEW HARDWIRED WALL MOUNTED THERMOSTAT. BASED ON ISLANDAIRE EZ SERIES RM, 12,000 BTU/HR DX COOLING, 14,900 BTU/HR HOT WATER HEATING. CONTRACTOR SHALL FIELD FABRICATE AN ENCLOSURE TO ENTEND TO THE FLOOR AND HIDE THE HYDRONIC PIPING SIMILAR TO PREVIOUS PHASES OF CONSTRUCTION. COORDINATE WITH ACTS.
- M3 FURNISH AND INSTALL NEW CEILING EXHAUST FAN. EXTEND DUCTWORK UP THRU ATTIC SPACE AND CONNECT TO THE EXSITING ROOF PENETRATION. DUCTWORK LOCATED IN ATTIC TO BE INSULATED.
- M4 FURNISH AND INSTALL NEW RADIANT HEAT PANEL WITH WALL TIMER SWITCH.
- M9 FURNISH AND INSTALL 24/7 PROGRAMMABLE THERMOSTAT WITH LOCK OUT SCREENS.

 $\boldsymbol{\sigma}$ **×**

RECEIVED

W.S. CUMBY

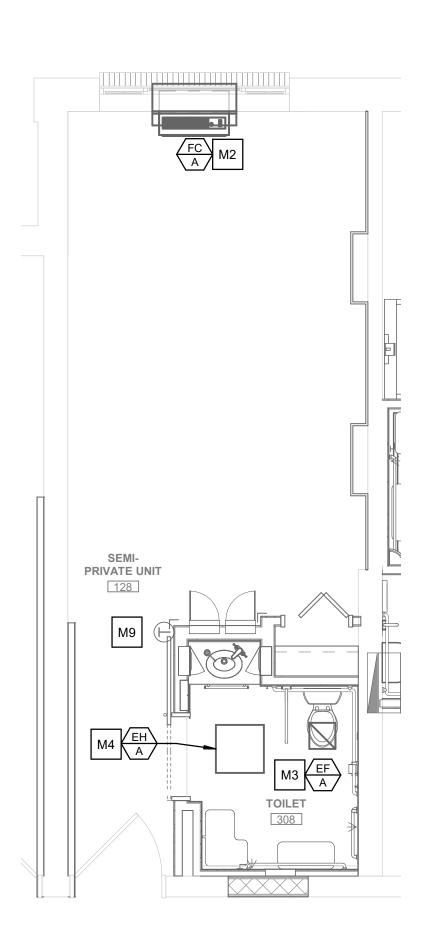
7 COMMUNITI WBC **FARMS**

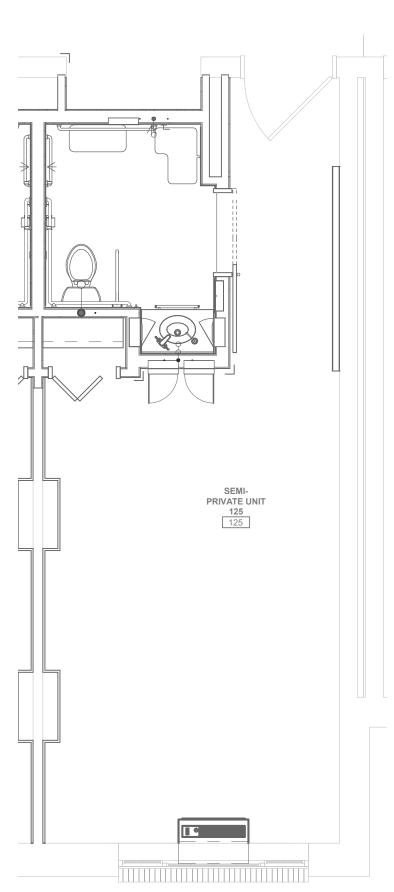
TREM

ENLARGED UNIT

(3) TYPICAL UNIT PLAN - TYPE 3- SEMI PRIVATE- MECHANICAL 2 TYPICAL UNIT PLAN- TYPE 2- PRIVATE- MECHANICAL

1/4" = 1'-0"





MECHANICAL NOTES:

NOT ACCEPTABLE.

- 3. ALL AIR DEVICES SHALL HAVE A RADIANT DAMPER. THE DESIGN INTENT IS FOR THE NEW ARCHITECTURAL CEILING (ACT) TO BE

1. DUCTWORK PENETRATION THROUGH RATED ASSEMBLIES SHALL BE RIGID SHEET METAL PER DETAIL, FLEXIBLE DUCTWORK IS

2. ALL NEW SUPPLY AND RETURN DUCTWORK LOCATED OUTSIDE THE CONDITIONED ENVELOPE SPACE SHALL BE INSULATED

- FIRE RATED. COORDINATE WITH ARCHITECTURAL PLANS.
- 4. ALL DUCTWORK SIZES INDICATED ARE INSIDE DIMENSIONS UNLESS OTHERWISE NOTED.
- 5. DUCT SIZES INDICATED ON DRAWING ARE BASED AFTER THE LAST DIFFUSER AND/OR BRANCH TAKE-OFF.
- 6. CONTRACTOR TO PROVIDE A CLEAN OUT AT EVERY CHANGE IN DIRECTION OF A CONDENSATE LINE AND AT 25 FT. CENTERS.
- 7. RUN ALL CONDENSATE PIPING TO POINT OF DISCHARGE, PROVIDE REQUIRED AIR GAP AT DISCHARGE POINT, REFER TO PLANS & SPECIFICATIONS FOR SIZES AND REQUIREMENTS.
- 8. SHARP THROAT, RADIUS HEEL 90 DEGREE FITTINGS ARE UNACCEPTABLE. RADIUS ELBOWS (INNER AND OUTER) OR MITERED ELBOWS WITH TURNING VANES SHALL BE PROVIDED FOR ALL 90 DEGREE ELBOWS
- 9. ALL OUTSIDE AIR DUCTWORK SHALL HAVE MINIMUM 2" EXTERNAL FIBERGLASS DUCTWRAP INSULATION.
- 10. EXHAUST AIR AND DRYER DUCTWORK SHALL NOT BE INSULATED UNLESS EXTENDING THROUGH UNCONDITIONED SPACES. PROVIDE 1 1/2" DUCTWRAP THROUGH UNCONDITIONED SPACES.

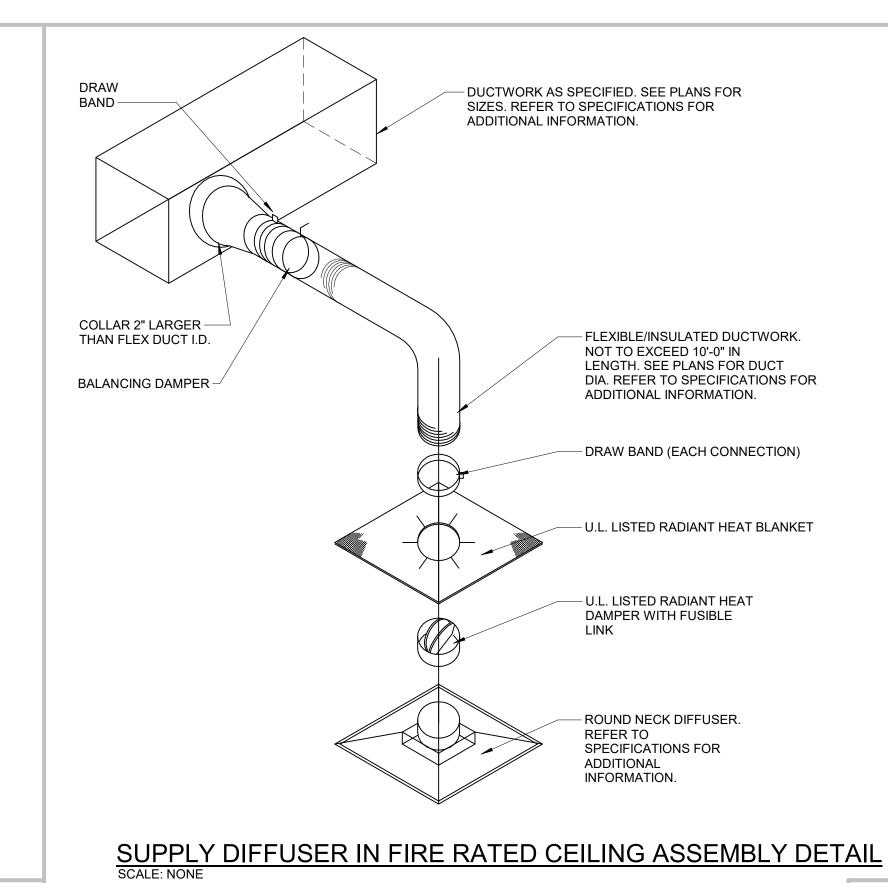
4 TYPICAL UNIT PLAN- TYPE 4- SEMI PRIVATE- MECHANICAL

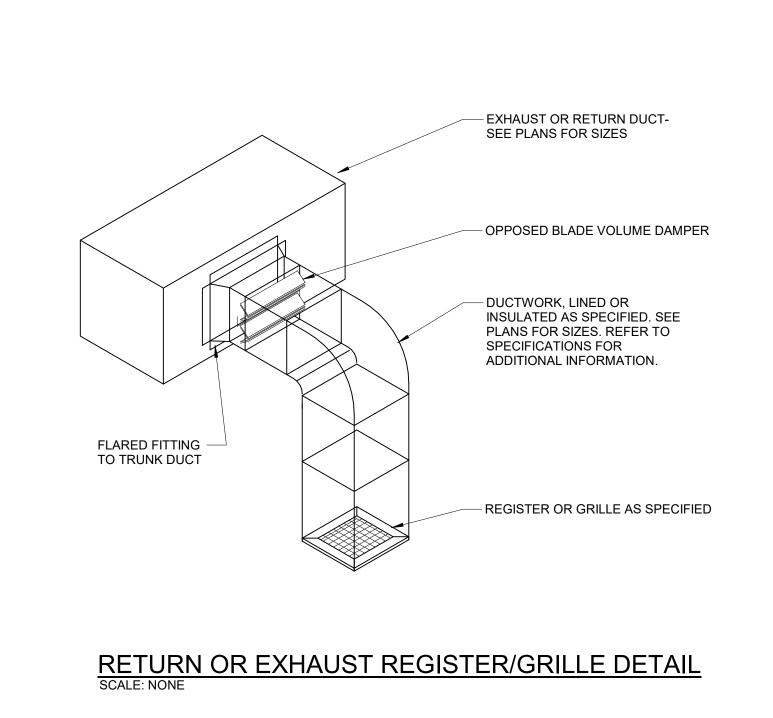
5 TYPICAL UNIT PLAN- TYPE 5- SEMI PRIVATE- MECHANICAL

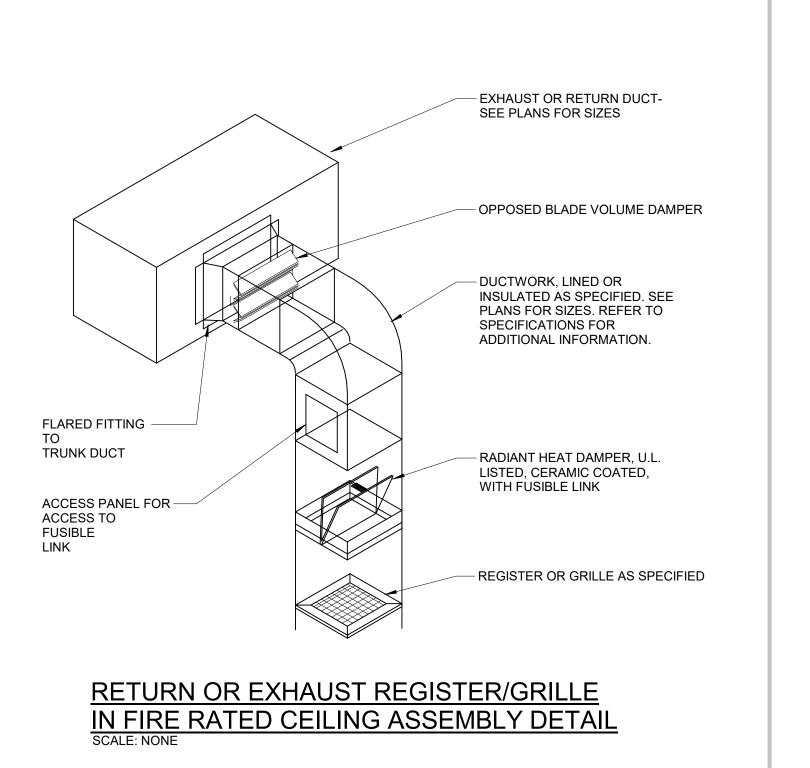
THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OF SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. AN USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY T DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF TH USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO







MECHANICAL SYMBOLS AND ABBREVIATIONS

----- NEW DUCTWORK

- EXISTING DUCTWORK

— DUCTWORK TO BE DEMOLISHED

FLEXIBLE DUCTWORK

——A—— COMPRESSED AIR

— L — REFRIGERANT LIQUID

——S— REFRIGERANT SUCTION

— C/D— A/C UNIT DRAIN

SUPPLY DIFFUSER

SUPPLY DIFFUSER W/ROUND DUCT CONNECTION

RETURN REGISTER/GRILLE

EXHAUST REGISTER/GRILLE SPIN IN TAP W/DAMPER

SPIN IN TAP W/DAMPER BOTTOM TAKEOFF

SPIN IN TAP W/DAMPER TOP TAKEOFF

TAKEOFF W/DAMPER FLEXIBLE CONNECTION

TRANSITION FROM RIGID DUCT TO ROUND FLEXIBLE DUCT

DUCT REDUCER

FUSIBLE LINK FIRE DAMPER

COMBINATION FIRE/SMOKE

SMOKE DAMPER

CONSTANT AIRFLOW REGULATOR

CARBON MONOXIDE SENSOR

CARBON DIOXIDE SENSOR

HUMIDISTAT

THERMOST**HE**IGHT 54" STANDARD HEIGHT 48" HANDICAP

 $\mathrel{\rlap{$\longleftarrow}}$, VD VOLUME DAMPER

──── 1" DOOR UNDERCUT

CONTINUATION/BREAK

INLINE PUMP

BACKDRAFT DAMPER

——M MOTOR OPERATED DAMPER

DTTV DOUBLE THICK. TURN VANES

EA EXHAUST AIR

OA OUTSIDE AIR

RA RETURN AIR

RG RETURN AIR GRILLE

RR RETURN AIR REGISTER

SA SUPPLY AIR SUPPLY AIR DIFFUSER

SR SUPPLY AIR REGISTER

NEW

(E) EXISTING

(ED) EXISTING TO BE DEMOLISHED

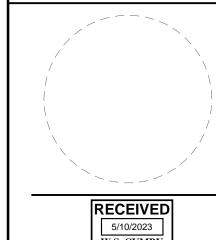
CONNECT TO EXISTING

POINT OF REMOVAL

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OF SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY TH DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

 $\boldsymbol{\sigma}$ \checkmark



W.S. CUMBY

COMMUNITIE GRANITE FARMS WBC - 1343 WEST BALTIMORE PIKE MEDIA, PA 19063

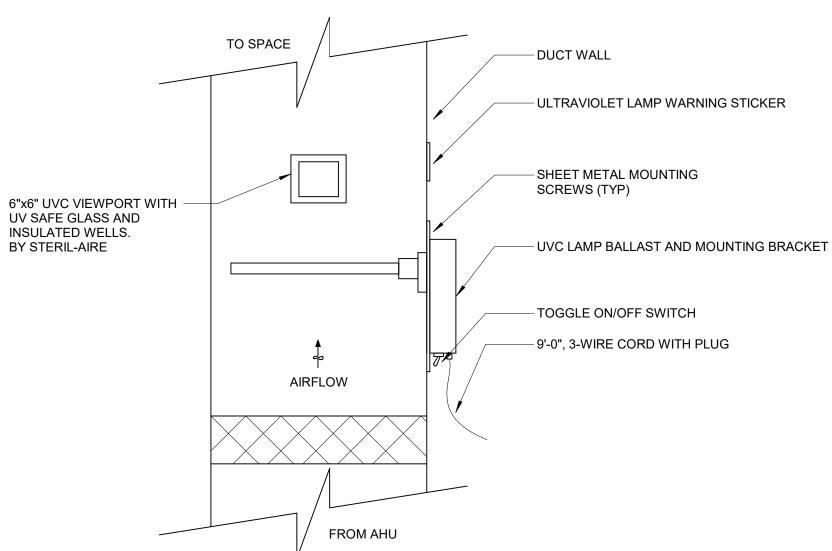
RETIREMENT . 420 DELA FORT WASHIN

DETAILS-

RECESSED DRYER WALL BOX DETAIL

SCALE: NONE

- 1. INSTALL PER MANUFACTURER REQUIREMENT. DETAIL BASED ON IN-O-VATE TECHNOLOGIES DRYERBOX MODEL 350.
- 2. DRYER VENTING: MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR RUNNING ALL DUCTWORK FOR THE DRYER EXHAUST SYSTEM. ALL DUCT CONNECTIONS SHALL BE UL LISTED, UNLESS FLEX DUCT IS USED. CABLE TRAYS AND FITTINGS AS BUS DUCT BACKED PRESSURE SENSITIVE DUCT TAPE MEETING THE REQUIREMENTS OF UL 181. DUCT JOINTS SHALL BE INSTALLED SO THAT THE MALE END OF THE DUCT POINTS IN THE DIRECTION OF THE AIRFLOW. DO NOT USE RIVETS OR SCREWS IN THE JOINTS OR ANYWHERE ELSE IN THE DUCT AS THESE WILL ENCOURAGE LINT COLLECTION.
- 3. DRYER BOX RECEPTACLE SHALL BE METAL AND BE INSTALLED AS LOW AS POSSIBLE AS TO PERMIT THE PROPER AND SAFE COLLECTION OF THE DRYER TRANSITION HOSE. DRYERBOX SHOULD BE RESTING ON THE BOTTOM PLATE AND BE LOCATED AT OR NEAR THE CENTERLINE OF THE PROPOSED DRYER APPLIANCE. RIGID DUCT SHOULD PENETRATE DRYERBOX PORT 2 INCHES TO PROVIDE FOR FUTURE CONNECTION AND STORAGE OF TRANSITION HOSE. BASEBOARD SHALL BE "BUTTED" UP TO THE FIXED EXTENSION RIM AND SLIGHTLY BACK-CUT. DRYERBOX SHOULD BE CAULKED AND THEN PAINTED WITH THE TRIM PAINT. FOR USAGE IN A ONE-HOUR WALL ASSEMBLY, UL REQUIRES THAT BATT INSULATION BE STUFFED AROUND THE DRYERBOX AND IN THE ENTIRE WALL CAVITY CELL.
- 4. LENGTH OF CONCEALED RIGID METAL DUCTING SHALL NOT EXCEED 35 FEET. DEDUCT 5 FEET FROM THE ALLOWABLE LENGTH FOR EVERY 3.5" RADIUS 90 DEGREE ELBOW AND TWO AND A HALF FEET FOR EVERY 45 DEGREE FITTING. DRYER VENTING SHALL BE INDEPENDENT OF ANY OTHER SYSTEMS (CHIMNEYS OR EXHAUST VENTS). TERMINATION OF DRYER VENTING MUST BE TO THE EXTERIOR WITH A PROPER HOOD OR ROOF JACK EQUIPPED WITH A BACK-DRAFT DAMPER. SMALL ORIFICE METAL SCREENING SHOULD NOT BE PART OF THE HOOD OR ROOF JACK AS THIS WILL ACCELERATE LINT ACCUMULATION AND BLOCKAGE. THE HOOD OPENING SHOULD POINT DOWN AND EXHIBIT 12 INCHES OF CLEARANCE BETWEEN THE BOTTOM OF THE HOOD AND THE GROUND OR OTHER OBSTRUCTION. VERIFY APPLIANCE MANUFACTURER'S RECOMMENDATIONS FOR ANY OTHER FACTORS.
- 5. WHERE THE EQUIVALENT LENGTH EXCEEDS 35 FT. THE CONTRACTOR IS TO PROVIDE A 3"x4" POLYCARBONATE PLACARD INDICATING THE VENT SIZE AND EQUIVALENT LENGTH. PLACARD TO BE MANUFACTURED BY IN-O-VATE TECHNOLOGIES OR EQUAL. PLACARD TO BE LOCATED WITHIN 6'-0" OF VENT



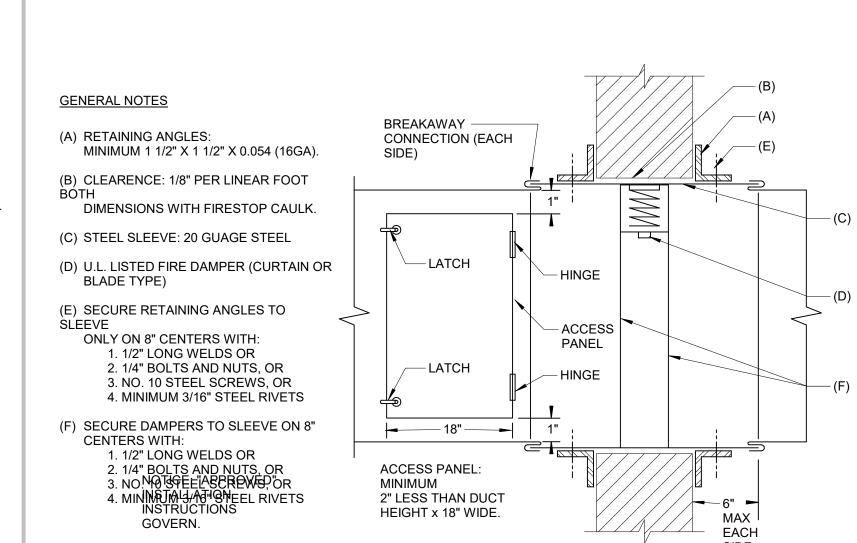
DUCT MOUNTED UV-C LAMP DETAIL

SCALE: NONE

GENERAL NOTES:

1. THE UV LAMP SHALL BE INSTALLED ON THE SUPPLY DUCTWORK AFTER THE FLEXIBLE CONNECTION TO THE AIR HANDLING UNIT.

2. THE POWER CORD SHALL BE CONNECTED TO A RECEPTACLE WIRED AFTER THE AIR HANDLING UNIT DISCONNECT TO DE-ENERGIZE THE UV LAMP WHEN THE DISCONNECT IS IN THE OFF POSITION.



FIRE DAMPER DETAIL SCALE: NONE

> - IF THE LENGTH OF HORIZONTAL RUN IS GREATER THAN 15' INSTALL VENT SAME SIZE AS DRAIN, 10' DOWNSTREAM

FROM TRAP.

CONDENSATE TRAP DETAIL
SCALE: NONE

RECEIVED

 $\boldsymbol{\omega}$

 $\boldsymbol{\prec}$

WBC **FARMS**

GRANITE

S

COMMUNITI TIREM $\overline{\mathbf{A}}$ Acts

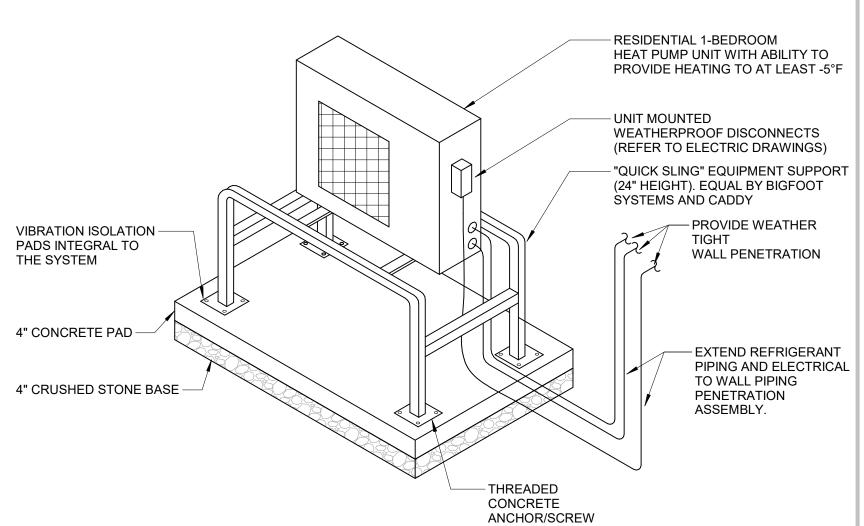
DETAILS-

- REFER TO ARCHITECTURAL PLANS FOR STRUCTURE - CONTRACTOR TO PROVIDE — FLEX SUPPLEMENTAL STEEL AS CONNECTION NECESSARY FOR HANGING OF UNIT STRUCTURE ABOVE 3/4" Ø HANGER RODS VIBRATION -**ISOLATORS** SA ← **◆**₽ RA C/D—NOTE#4 — REMOVABLE PLUĠ GALVANIZED STEEL DRAIN —RS→REF. LINE - SUCTION PAN UNDER UNIT, SUSPEND REF. LINE - LIQUID FROM STRUCTURE NOT UNIT ELECTRICAL SERVICE - DEPTH OF TRAP EQUAL TO PANEL. MAINTAIN 36" MINIMUM OF 1 1/2" S.P. OF UNIT CLEARANCE IN FRONT REFRIGERANT VALVE (TYP) -**CLEARANCE FOR** FILTER REMOVAL

HORIZONTAL DX AIR HANDLING UNIT DETAIL SCALE: NONE

NOTES:

- CONTRACTOR TO FURNISH AND INSTALL A CONDENSATE PUMP IF GRAVITY CONDENSATE DRAINAGE PIPING SYSTEM IS NOT POSSIBLE. INTERLOCK CONDENSATE PUMP OPERATION WITH ASSOCIATED AIR HANDLING UNIT CONTROLS.
- 2. UL LISTED CONDENSATE DETECTION DEVICE ON DRAIN PAN WITH SENOR INTERLOCKED W/AIR HANDLER. SHUT UNIT DOWN IF WATER IS DETECTED.
- 3. 1 1/2" Ø MIN. CONDENSATE LINE TO ACCEPTABLE DISCHARGE POINT. REFER TO SEPARATE CONDENSATE TRAP DETAIL.



1. SUPPORT HEIGHT SHALL BE DETERMINED BY MANUFACTURER REQUIREMENTS AND THE

LOCATION ANTICIPATED SNOWFALL. 2. COORDINATE WITH ARCHITECT FOR MULTIPLE HEAT PUMP ARRAY DIRECTION



PITCH DOWN

DRAIN @ 1/4' PER

ACCEPTABLE

RECEPTOR. JANITOR'S

SINK, LOOSEWELL, OR

DISCHARGE

INDICATED

TOWARDS

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING. WHICH IS BASED ONLY ON DRAWINGS O SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF TH USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

- EQUIPMENT DRAIN

- DI-ELECTRIC

A-B = STATIC

CAPABILITY OF

MINIMUM OF 1 1/2".

PRESSURE

COUPLING/UNION (IF REQUIRED)

RETIREMENT - 420 DELA FORT WASHIN Acts

ACTS

SCHEDULES-

					FAN SC	CHEDUI	_E (EF,S	F)						
TAG	TAG NO. CFM ESP (in wg) RPM SONES FAN HP FAN WATTS VOLTS PHASE HEIGHT BASIS OF DESIGN COMMENT													
EF	1	80	0.5	773	2.5	N/A	17	120	1	8	Greenheck SP			
EF	2	80	0.5	773	2.5	N/A	17	120	1	8	Greenheck SP			
EF	3	80	0.5	773	2.5	N/A	17	120	1	8	Greenheck SP			
EF	4	80	0.5	773	2.5	N/A	17	120	1	8	Greenheck SP			
EF	5	80	0.5	773	2.5	N/A	17	120	1	8	Greenheck SP			
EF	6	80	0.5	773	2.5	N/A	17	120	1	8	Greenheck SP			
EF	7	80	0.5	773	2.5	N/A	17	120	1	8	Greenheck SP			
SF	8	170	0.5	1550	6.5	1/12	N/A	120	1	15	Greenheck SQ			
FF	Α	80	0.5	773	2.5	N/A	17	120	1	8	Greenheck SP			

MOTOR STARTERS
MECHANICAL CONTRACTOR SHALL PROVIDE FOR POLYPHASE AND SINGLE PHASE ABOVE 1/2 HP. ELECTRICAL CONTRACTOR SHALL PROVIDE FOR FRACTIONAL HORSEPOWER UP TO 1/2 HP.

ELECTRICAL CONTRACTOR SHALL INSTALL ALL STARTERS EXCEPT FOR THOSE INTEGRAL TO THE EQUIPMENT.

COMMENTS 1. MANUAL MOTOR STARTER

2. GRAVITY BACKDRAFT DAMPER

3. EQUIVALENT MANUFACTURER BY CARNES, COOK, ACME, PENN, PANASONIC

4. GREASE DRAIN & PAN TO BE NFPA 96 COMPLIANT

5. BIRDSCREEN 6. FLEXIBLE CONNECTIONS

7. VIBRATION ISOLATING HANGERS 8. DIRECT DRIVE FAN MOTOR

			E	LECT	RIC HEA	TER SC	HEDULI	E (EH)				
TAG	NO.	TYPE	BTU/HR	CFM	LENGTH (in.)	WIDTH (in.)	HEIGHT (in.)	WATTS	VOLTS	PHASE	BASIS OF DESIGN	REMARKS
EH	1	TRENCH HEATERS	5130	N/A	60	6	0' 4"	1500	120	1	AIRFIXTURE SOHO	
EH	2	TRENCH HEATERS	5130	N/A	60	6	0' 4"	1500	120	1	AIRFIXTURE SOHO	
EH	3	ELECTRIC FIN RADIATION	3800	N/A	72	2 3/4	0' 6"	1130	120	1	QMARK ASLC	
EH	4	TRENCH HEATERS	5130	N/A	60	6	0' 4"	1500	120	1	AIRFIXTURE SOHO	
EH	5	TRENCH HEATERS	5130	N/A	60	6	0' 4"	1500	120	1	AIRFIXTURE SOHO	
EH	6	ELECTRIC FIN RADIATION	3800	N/A	72	2 3/4	0' 6"	1130	120	1	QMARK ASLC	
EH	7	TRENCH HEATERS	5130	N/A	60	6	0' 4"	1500	120	1	AIRFIXTURE SOHO	
EH	8	TRENCH HEATERS	5130	N/A	60	6	0' 4"	1500	120	1	AIRFIXTURE SOHO	
EH	9	RECESSED WALL HEATER	6141	100	15 13/16	6 11/20	19 1/4	1800	120	1	QMARK SSAR	
EH	Α	RADIANT HEAT PANEL	1280	N/A	24"	24"	1 1/4"	375	120	1	QMARK CP	

1. CUSTOM FINISH AND COLOR TO BE SELECTED BY ARCHITECT AND OWNER.

2. INCLUDE ALL END CAPS, BLANK SECTIONS, CORNER PIECES, BACK PLATES, ETC FOR A CONTINUOUS INSTALLATION

8. TRENCH HEATERS IN SLAB. COORDINATE POWER WITH ALL OTHER TRADES PRIOR TO INSTALLATION OF NEW SLAB.

4. THERMAL CUTOUT

5. INDEPENDENT WALL TIMER SWITCH 6. CONTACTOR RELAY PANEL TO BE PROVIDED BY ELECTRICAL CONTRACTOR WITH INTERLOCK TO OUTDOOR TEMPERATURE SENSOR BY MECHANICAL CONTRACTOR 7. MOUNTING BRACKETS AND HARDWARE

AIR HANDLING UNIT SCHEDULE (AHU, RTU)

						EXTERNAL		LIFIGUE	COOL	LING	HEATING		ELECTE	RICAL (AHU)		FIL	TERS			
TAG	NO.	CONFIGURATION	SERVES	CFM	OA CFM	S.P. (IN.	WEIGHT (LBS)	HEIGHT (IN.)	TOTAL BTU	SENS BTU	HEATING (HEAT PUMP) BTU CAPACITY AT 17 F	VOLTS	PHASE	MCA	MOCP	EER	MIN MERV	TYPE	BASIS OF DESIGN	MODEL	REMARKS
AHU	2	DUCTED CONCEALED	C124 DINING	1600	360	0.6	100	10	48000	33600	54000	208	1	4.38	15		11	WASHABLE	MITSUBISHI	PEFY	
AHU	3.1	CASSETTE	C119 SERVERY	400	50	-	75	10 3/16	12000	8400	13500	208	1	0.39	15		-	WASHABLE	MITSUBISHI	PLFY	
AHU	3.2	CASSETTE	C117 PANTRY	265	70	-	50	8 3/16	8000	5600	9000	208	1	0.3	15		-	WASHABLE	MITSUBISHI	PLFY	
AHU	3.3	CASSETTE	C118 SERVERY	1000	50	-	75	11 3/4	30000	21000	34000	208	1	0.57	15		-	WASHABLE	MITSUBISHI	PLFY	
AHU	4	DUCTED CONCEALED	C123 LIVING/ACTIVITY	1200	195	0.6	100	10	36000	30240	40000	208	1	3.25	15	12.6	11	WASHABLE	MITSUBISHI	PEAD	
AHU	5	DUCTED CONCEALED	C106-108 AA/DON/NHA	600	70	0.6	75	10	18000	14040	28000	208	1	2.44	15	12.8	11	WASHABLE	MITSUBISHI	PEAD	
AHU	6	DUCTED CONCEALED	C135 CORRIDOR	400	105	0.6	75	10	12000	9840	18000	208	1	0.54	15	14.1	11	WASHABLE	MITSUBISHI	PEAD	
AHU	8	DUCTED CONCEALED	C144-146 CORRIDOR/LOBBY/VEST	1200	95	0.6	100	10	36000	30240	40000	208	1	3.25	15	12.6	11	WASHABLE	MITSUBISHI	PEAD	
AHU	9	CASSETTE	C146 SUNROOM	1200	-	-	75	10 3/16	36000	29880	40000	208	1	2.0	15	13.0	-	WASHABLE	MITSUBISHI	PLA	
AHU	10	CASSETTE	C101 VESTIBULE	600	-	-	50	10	16800	12100	20000	208	1	0.54	15	12.5	-	WASHABLE	MITSUBISHI	SLZ	
AHU	11	CASSETTE	C140 SPA	300	45	-	50	10	9000	6930	13200	208	1	0.25	15	15	-	WASHABLE	MITSUBISHI	SLZ	

COMMENTS

1. INDOOR UNIT RECEVIED POWER FROM ASSOCIATED OUTDOOR UNIT. CONTRACTOR TO PROVIDE COMMUNICATION/POWER WIRING.

2. VIBRATION ISOLATION PADS 3. DISCONNECT SWITCH. PROVIDED BY THE ELECTRICAL CONTRACTOR

4. VENTILATION KIT 5. PROGRAMMABLE 24HR/7 DAY- HONEYWELL COMMERCIAL TYP "17350" SERIES OR APPROVED EQUAL

6. MERV 11, 30% EFF FILTERS, 2" THRUWAY

7. INTEGRAL CONDENSATE PUMP.

8. EQUIVALENTS BY MITSUBISHI, LG, HITACHI. 9. ON SPLIT SYSTEM AND FAN COIL UNITS CONTRACTOR SHALL PROVIDE A UL LISTED CONDENSATE DETECTION DEVICE ON THE UNITS PRIMARY DRAIN PAN WALL. INTERLOCK SENSOR WITH AIR HANDLER

10. DDC INTERFACE. INTEGRATE WITH EXISTING AUTOMATRIX BUILDING AUTOMATION SYSTEM. 11. REFRIGERANT PIPING SIZED BY THE MANUFACTURER. LINESETS SHALL NOT EXCEED THE MANUFACTURER'S MAXIMUM ALLOWABLE LENGTHS.

12. CONDENSATE PIPING TO APPROVED POINT OF DISCRAGE WITH AIR GAP.

	CONDENSING UNIT & HEAT PUMP SCHEDULE (CU)															
TAC	NO	WEIGHT (Ibe.)	HEIGHT (im.)	COOL	LING	HEATING (HEAT PUMP)	- ' FI F(ELECTRICAL				
TAG	NO.	WEIGHT (lbs.)	HEIGHT (in.)	TOTAL BTU	SENS BTU	BTU CAPACITY AT 17 F	VOLTS	PHASE	HSPF	MCA	МОСР	SEER	EER	DESIGN	MODEL	COMMENTS
CU	2	300	52 11/16	48000	33600	54000	208	1	11.0	36	45	16.5	11.3	MITSUBISHI	PUMY	
CU	3	300	52 11/16	48000	33600	54000	208	1	11.0	36	45	16.5	11.3	MITSUBISHI	PUMY	
CU	4	300	52 11/16	36000	30240	40000	208	1	10.4	24	40	17.1	12.6	MITSUBISHI	PUZ	
CU	5	200	34 5/8	18000	14040	28000	208	1	10.8	17	35	18.9	12.8	MITSUBISHI	SUZ	
CU	6	200	34 5/8	12000	9840	18000	208	1	11.0	17	35	19.3	14.1	MITSUBISHI	SUZ	
CU	8	300	52 11/16	36000	30240	40000	208	1	10.4	24	40	17.1	12.6	MITSUBISHI	PUZ	
CU	9	300	52 11/16	36000	30240	40000	208	1	10.4	36	45	20.0	13.0	MITSUBISHI	PUZ	
CU	10	200	34 5/8	16800	12100	20000	208	1	9.4	17	35	19.0	12.5	MITSUBISHI	SUZ	
CU	11	200	34 5/8	9000	6930	13200	208	1	10.0	14	25	20.2	15.0	MITSUBISHI	SUZ	

COMMENTS

1. 1 YEAR MANUFACTURER'S WARRANTY AND START-UP.

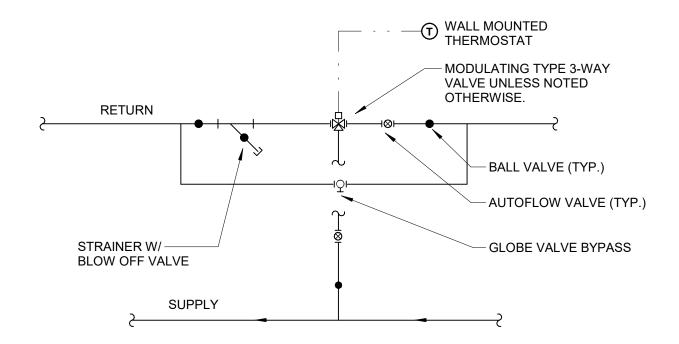
2. 5 YEAR COMPRESSOR WARRANTY.

3. UNIT MOUNTED DISCONNECT SWITCH ON OUTDOOR UNIT (BY EC). 4. SINGLE POINT POWER CONNECTION. INDOOR UNIT POWERED

5. LOW AMBIENT CONTROL KIT. 14F MINIMUM OUTDOOR OPERATING TEMPERATURE.

6. WALL MOUNTED HARD WIRED PROGRAMMABLE THERMOSTAT.
7. EXTENDED REFRIGERANT LINE KIT. SIZED BY MANUFACTURER.

8. FURNISH AND INSTALL NEW CONCRETE HOUSEKEEPING PAD.



HW WATER CONTROL VALVE DETAIL (3-WAY)

NOTES: 1. FURNISH AND INSTALL IN ACCESSIBLE LOCATION.

2. CONTRACTOR TO FURNISH AND INSTALL 24"x24" ACCESS PANELS WHERE REQUIRED. 3. COORDINATE WORK WITH ARCHITECT PRIOR TO ROUGH-IN. PAINT AS DIRECTED BY

ARCHITECT.

	FAN COIL UNIT SCHEDULE (FC)																						
									COOLING		HEATING (HOT WATER)				ELECTRICAL								
					WEIGHT	HEIGHT	TOTAL	SENS	ENTERING AIR												BASIS OF		1
TAG	NO	CONFIGURATION	CFM	OA CFM	(lbs)	(in.)	BTU	BTU	DB	WB	MBH	GPM	EWT	LWT	VOLTS	PHASE	MCA	MOCP	EER	FILTER TYPE	DESIGN	MODEL	COMMENTS
FC	Α	PTAC	360	70	250		12000	8400	75	62	13.5	1.4	180	160	208	1	6.48	15	10.5	WASHABLE	ISLANDAIRE	EZ SERIES RM	1,2,3,4,5,6,7,8

COMMENTS

1. DUAL POWER CONNECTION. PROVIDE 120V RECEPTACLE FOR HOT WATER HEATING FAN AND CONTROLS. HOT WATER HEATING FAN AND CONTROLS TO BE ON ITS OWN CIRCUIT AND COMPRESSOR TO BE ON ITS OWN CIRCUIT.

2. CONTROL WIRING - LOW VOLTAGE. FURNISH AND ISNTALLED BY MECHANICAL CONTRACTOR. 3. WALL MOUNTED 24HR/7DAY PROGRAMMABLE THERMOSTAT. REMOTE CONTROL NOT ACCEPTABLE. INTEGRATE WITH EXISTING HONEYWELL BAS.

4. DX COOLING, HYDRONIC HEATING. FURNISH AND INSTALL NEW MODULATING CONTROL VALVE ASSEMBLY.

5. ARCHITECTURAL LOUVER. 6. EXTERNAL CONDENSATE REMOVAL SYSTEM.

7. POWER CONNECTION KIT. 8. EQUIVALENT MANUFACTURERS: MCQUAY, LG.

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY T DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF TH USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE

OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

ENERGY RECOVERY VENTILATION UNIT SCHEDULE (ERV)													
TYPE	NO.	CFM (SA/EA)		ELECT	RICAL		FILTERS	WEIGHT	BASIS OF DESIGN	REMARKS			
IIFE	NO.	CIVI (SAVEA)	VOLTS	PHASE	MCA	MOCP	FILTERS	WEIGHT	DASIS OF DESIGN	KEWAKKS			
ERV	1	500	120	1	9	15	MERV 8	250	RenewAire EV450	1,2,3,4,5,6			

COMMENTS

- UNIT MOUNTED DISCONNECT SWITCH.
 VIBRATION ISOLATION HANGERS.
 DOUBLE WALL CONSTRUCTION.
- 4. ECM MOTOR FANS.
- 5. PROVIDE FILTER SENSOR AN ALARM.
 6. ENHANCED CONTROLS WITH BACNET FACTORY ACTIVATION. 7. INTEGRATE WITH KITCHEN HOOD CONTROLS.

ULTRAVIOLET (UV-C) LIGHT SCHEDULE											
AHU TAG	UV-C FIXTURE	UV-C LAMP	LAMP LENGTH (IN.)	VOLTAGE	BASIS OF DESIGN	COMMENTS					
(E) 1	ADPL	(2) PL-L, 60 W	22	120	LUMALIER	1, 2, 3, 4					
2	ADPL	PL-L, 60 W	24	120	LUMALIER	1, 2, 3, 4					
4	ADPL	PL-L, 60 W	24	120	LUMALIER	1, 2, 3, 4					
5	ADPL	PL-L, 60 W	12	120	LUMALIER	1, 2, 3, 4					
6	ADPL	PL-L, 60 W	8	120	LUMALIER	1, 2, 3, 4					
8	ADPL	PL-L, 60 W	22	120	LUMALIER	1, 2, 3, 4					

COMMENTS:

- 1. UV-C LAMP TO OPERATE CONTINUOUS. 2. UV-C 12x8 WARNING SIGN. 3. HARDWIRED ELECTRICAL CONNECTION. 4. DUCT MOUTNED ON THE SUPPLY DUCT. REFER TO DETIAL.

	AIR DEVICE SCHEDULE																
TAG		MAX CFM	ТҮРЕ	# OF SLOTS	SLOT SPACING	NECK DIAMETER	CONNECTION SIZE	DEVICE SIZE LxW	MAX DEPTH FROM CEILING	TOTAL STATIC PRESSURE	NC	VEL FPM	DAMPER	MATERIAL	FINISH	MANUFACTURER	SERIES
SD	0	61	SQUARE DIFFUSER PLAQUE STYLE	N/A	N/A	4"	6"	12"x12"	1/4"	0.10	21	700	YES	STEEL	WHITE	TITUS/PRICE	OMNI / SPD
SD	61	175	SQUARE DIFFUSER PLAQUE STYLE	N/A	N/A	8"	10"	12"x12"	1/4"	0.10	21	500	YES	STEEL	WHITE	TITUS/PRICE	OMNI / SPD
SD	175	280	SQUARE DIFFUSER PLAQUE STYLE	N/A	N/A	8"	10"	24"x24"	1/4"	.07	17	800	YES	STEEL	WHITE	TITUS/PRICE	OMNI / SPD
SD	281	380	SQUARE DIFFUSER PLAQUE STYLE	N/A	N/A	10"	12"	24"x24"	1/4"	.08	15	700	YES	STEEL	WHITE	TITUS/PRICE	OMNI / SPD
SD	381	550	SQUARE DIFFUSER PLAQUE STYLE	N/A	N/A	12"	14"	24"x24"	1/4"	0.12	18	700	YES	STEEL	WHITE	TITUS/PRICE	OMNI / SPD
SD	551	640	SQUARE DIFFUSER PLAQUE STYLE	N/A	N/A	14"	16"	24"x24"	1/4"	0.12	14	600	YES	STEEL	WHITE	TITUS/PRICE	OMNI / SPD
SD	641	735	SQUARE DIFFUSER PLAQUE STYLE	N/A	N/A	15"	16"	24"x24"	1/4"	0.13	26	600	YES	STEEL	WHITE	TITUS/PRICE	OMNI / SPD
SR	0	150	SUPPLY REGISTER	N/A	N/A	-	10"x5"	8"x6"	1/4"	0.06	11	580	YES	STEEL	WHITE	TITUS/PRICE	300/301; 520/510
SR	151	300	SUPPLY REGISTER	N/A	N/A	-	14"x6"	10"x8"	1/4"	0.08	15	650	YES	STEEL	WHITE	TITUS/PRICE	300/301; 520/510
SR	301	600	SUPPLY REGISTER	N/A	N/A	-	18"x8"	12"x12"	1/4"	0.08	20	670	YES	STEEL	WHITE	TITUS/PRICE	300/301; 520/510
~~~\$R~~~	~601~	~~	~~~~SUPPLY REGISTER~~~~	~~WA~	~~ ^{DV} &~~	~~~~	<del>~~22"</del> ¥1 <del>0</del> "~~	~18"×12"~~	~~^4\\\\	~~~ ^{\$\$}	~ <del>22</del> ~	~67 <del>Q</del> ~	IJĘŞ√	STEEL	WHITE,	TITUS/PRICE	300/301; 520/510
nnn Bunn	سشيا	125	LINEAR AIR DIFFUSER	سئس	س ^{1/2} " س	ىد يە"8	سى"8"x8".	4"x12" ~ ~ ~ ~ ~ ~ ~	سىد 1//4"سىد	ىرىد 20.06	²⁰ ک	400	YES	STEEL	WHITE	TITUS/PRICE	305/301; 520/510
EXH/RET REG/GRILLE	0	100	EXH/RET REG/GRILLE	N/A	N/A	-	8"x6"	10"x5"	1/4"	0.10	25	400	YES	STEEL	WHITE	TITUS/PRICE	350 / 350
EXH/RET REG/GRILLE	101	185	EXH/RET REG/GRILLE	N/A	N/A	-	10"x8"	14"x6"	1/4"	0.10	27	400	YES	STEEL	WHITE	TITUS/PRICE	350 / 350
EXH/RET REG/GRILLE	186	270	EXH/RET REG/GRILLE	N/A	N/A	-	12"x12"	18"x8"	1/4"	0.06	24	300	YES	STEEL	WHITE	TITUS/PRICE	350 / 350
EXH/RET REG/GRILLE	271	400	EXH/RET REG/GRILLE	N/A	N/A	-	12"x18"	22"x10"	1/4"	0.06	25	300	YES	STEEL	WHITE	TITUS/PRICE	350 / 350
EXH/RET REG/GRILLE	401	625	EXH/RET REG/GRILLE	N/A	N/A	-	18"x18"	36"x10"	1/4"	0.06	27	300	YES	STEEL	WHITE	TITUS/PRICE	350 / 350

## COMMENTS:

USE SCHEDULE SIZES UNLESS OTHERWISE NOTED.
 USE ALTERNATE SIZE WHEN APPROVED BY ENGINEER.
 PROVIDE VOLUME DAMPER AT TRUNK DUCT CONNECTION.

4. ALL SUPPLY REGISTERS TO BE DOUBLE DEFLECTION TYPE.

5. ALUMINUM ARE TO BE PROVIDED IN MOIST AREAS, I.E.TOILET ROOMS. 6. FOR LAY-IN CEILING PROVIDE A 2'x2' PAN FOR A 12"x12" FACE SIZE DIFFUSER. 7. BRANCH DUCT DIAMETER SHALL BE REDUCED AT COLLAR CONNECTIONS TO DIFFUSER. COMMUNITIES

RECEIVED

 $\boldsymbol{\sigma}$ 

 $\prec$ 

S GRANITE FARMS WBC - P 1343 WEST BALTIMORE PIKE MEDIA, PA 19063 ACTS

RETIREMENT - 420 DELAY FORT WASHIN

SCHEDULES-

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.



**ABSOLUTE** 

ALTERNATING CURRENT

ABOVE FINISHED FLOOR

AMERICAN NATIONAL STANDARDS

AIR HANDLING UNI

APPROVED

APPROXIMATE

ABS

ANSI

**EQUIP** 

**EQUIPMENT** 

**EVAPORATOR** 

EMERGENCY SHOWER

**EMERGENCY EYEWASH** 

ELECTRIC WATER COOLER

EXTERNAL STATIC PRESSURE

NOT APPLICABLE

NOISE CRITERIA

NORMALLY CLOSED

NOT IN CONTRACT

**ABBREVIATIONS** 

NIGHT LIGHT

NUMBER

NORMALLY OPEN

NOT TO SCALE

OUTSIDE AIR

PERCENT

PCR

**OUTSIDE DIAMETER** 

OVERFLOW DRAIN

PUMPED DRAIN

WALL CLEANOUT

WALL HYDRANT

WEATHERPROOF

WATER SUPPLY FIXTURE UNITS

WITHOUT

PUMPED CONDENSATE RETURN

PLUMBING & DRAINAGE INSTITUTE

ELECTRIC WATER HEATER

EXPANSION JOIN

DEGREE FAHRENHEIT

FI OOR CLEANOUT

FIRE HOSE CABINET

FLOOR DRAIN

**EXTERIOR** 

**ENTERING WATER TEMPERATURE** 

FIRE PROTECTION WATER SUPPLY

FIRE DEPARTMENT CONNECTION

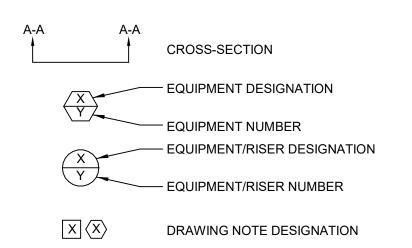
## PLUMBING GENERAL NOTES

- 1. ALL WORK TO BE IN CONFORMANCE WITH THE INTERNATIONAL PLUMBING CODE OR LOCAL CODE HAVING JURISDICTION. NOT ALL CODE REQUIREMENTS HAVE BEEN DESCRIBED IN THIS SPECIFICATION OR INDICATED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE CODES AND INSTALL THE WORK IN ACCORDANCE WITH CODES.
- 2. OBTAIN AND PAY FOR BUILDING PERMITS, INSPECTIONS, CONNECTION CHARGES, AND FEES.
- 3. THE CONTRACTOR IS TO SURVEY AND VERIFY ALL EXISTING CONDITIONS PRIOR TO BID SUBMISSION AND BECOME AWARE OF ALL CONDITIONS WHICH MAY IMPACT THE REQUIRED WORK. CONTRACTOR IS TO INCLUDE ALL ASSOCIATED COSTS (MATERIALS/LABOR) DETERMINED TO BE REQUIRED DURING SITE INSPECTIONS. CONTRACTOR'S BID SUBMISSION IS TO BE CONSIDERED PROOF THAT THIS REQUIREMENT HAS BEEN MET.
- 4. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE TAKEN AS A WHOLE. IF A CONFLICT OR CONTRADICTION EXISTS BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT WILL APPLY. THE ARCHITECT'S AND ENGINEER'S INTERPRETATION OF THE DOCUMENTS ARE TO BE BINDING UPON THE CONTRACTOR.
- 5. ALL WORK IS TO BE COORDINATED WITH, AND APPROVED BY THE OWNER PRIOR TO ANY SHUT-DOWNS. ALL REQUESTS ARE TO BE SUBMITTED, IN WRITING, TO THE OWNER 24, TO 48 HOURS PRIOR TO REQUESTED DELETIONS.
- 6. COORDINATE LOCATIONS AND ROUGH-IN REQUIREMENTS WITH ALL TRADES PRIOR TO INSTALLATION.
- 7. COORDINATE ALL ELECTRICAL REQUIREMENTS WITH THE ELECTRICAL CONTRACTOR PRIOR TO PURCHASING EQUIPMENT. VERIFY ALL VOLTAGE AND AMPERE REQUIREMENTS FOR FEEDERS, AND MOCP DEVICES.
- ALL EXTERIOR WALL/ ROOF PENETRATIONS ARE TO BE SEALED, AIR, AND WATER-TIGHT. ALL PIPING PASSING THROUGH WALL, OR FLOOR PENETRATIONS IS TO HAVE SLEEVES. ALL WALL, OR FLOOR-RATED PENETRATIONS ARE TO BE SEALED WITH FIRE-RATED SEALANT FORMED IN PLACE (BY 3M OR HILTI).
- VENTS THROUGH ROOF SHALL BE FLASHED WITH "SURE SEAL" PRE-MOLDED OR SIMILAR TYPE BOOT AS RECOMMENDED BY THE ROOFING CONTRACTOR.
- 10. PROVIDE ALL ACCESS DOORS FOR ALL VALVES, DAMPERS, DEVICES, CONTROLLERS, ETC. WHICH MAY REQUIRE SERVICE. ALL ACCESS PANELS ARE BE 16 GAUGE STEEL FRAME, 20 GAUGE HINGED DOOR, LOCKABLE, AND FIRE-RATED (WHEN INSTALLED IN RATED WALLS, FLOORS, "B" LABEL, 1-1/2 HOURS). FINISH AS SELECTED BY THE ARCHITECT.
- 11. SUBMIT SHOP DRAWINGS FOR ALL EQUIPMENT TO BE REVIEWED BY THE ENGINEER PRIOR TO ORDERING. COORDINATE ALL ELECTRICAL REQUIREMENTS WITH ELECTRICAL CONTRACTOR, AND PHYSICAL DIMENSIONS PRIOR TO SHOP DRAWING SUBMISSION.
- 12. ALL WORK TO BE CONCEALED UNLESS OTHERWISE INDICATED.
- 13. THE PLUMBING CONTRACTOR SHALL PROVIDE ALL REQUIRED INPUT OF THE PLUMBING SYSTEM TO THE MECHANICAL CONTRACTOR FOR THE COORDINATION DRAWINGS.
- 14. PROVIDE RECORD AS-BUILT DRAWINGS AT COMPLETION OF WORK. SUBMIT TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.
- 15. ALL FINISHES RELATED TO PLUMBING EQUIPMENT, TERMINAL EQUIPMENT, AIR DEVICES, PERIMETER HEATERS, LOUVERS, ACCESS PANELS, EXPOSED WIREMOLD/RACEWAYS, ETC. SHALL BE COORDINATED AND SELECTED BY THE ARCHITECT/OWNER/ENGINEER PRIOR TO SHOP DRAWING SUBMISSION, ORDERING, AND INSTALLATION.
- 16. FINAL LOCATIONS OF ALL ACCESS PANELS, ETC. IN FINISHED SPACES SHALL BE COORDINATED AND APPROVED BY THE ARCHITECT/OWNER PRIOR TO ROUGH-IN AND INSTALLATION.
- 17. NO PVC PIPING IS PERMITTED IN RETURN AIR PLENUMS.
- 18. ALL THREE PHASE STARTER EQUIPMENT IS TO BE PROVIDED BY THE MECHANICAL CONTRACTOR AND IS TO BE MAGNETIC, ACROSS-THE-LINE WITH AUXILIARY CONTACTS. ALL SINGLE PHASE STARTER EQUIPMENT IS TO BE PROVIDED BY ELECTRICAL CONTRACTOR
- 19. ALL TRIM, TRAPS, ESCUTCHEON PLATES, SEAT HINGES AND ANY MISCELLANEOUS PARTS OF FIXTURES SHALL BE CHROME PLATED
- 20. THE CONTRACTOR IS TO COORDINATE HIS WORK, AND THE WORK OF HIS SUB-CONTRACTORS TO ENSURE THAT ALL OF THE WORK IS COMPLETE AND OPERATIONAL. THE CONTRACTOR IS TO PROVIDE COMPLETE COORDINATION DRAWINGS, INCLUDING ALL TRADES (MECHANICAL, ELECTRICAL, AND FIRE PROTECTION). THE CONTRACTOR IS TO COORDINATE ALL CONNECTIONS TO SITE CIVIL WORK PRIOR TO STARTING WORK.
- 21. THE CONTRACTOR IS TO PROVIDE BALANCING VALVES ON ALL BRANCHES OF THE DOMESTIC HOT WATER RETURN SYSTEM, BALANCE THE SYSTEM, AND PROVIDE BALANCING REPORT TO THE OWNER/ ENGINEER FOR RECORD.
- 22. THE CONTRACTOR IS TO PROVIDE MANUFACTURER'S START-UP OF ALL EQUIPMENT, AND SYSTEMS
- 23. PROPERLY INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF ALL SYSTEMS AND EQUIPMENT. PROVIDE THREE INSTRUCTION AND MAINTENANCE MANUALS. SUBMIT MANUALS FOR REVIEW PRIOR TO OPERATING INSTRUCTION.
- 24. COORDINATE LOCATIONS AND ROUGH-IN REQUIREMENTS WITH ALL TRADES PRIOR TO INSTALLATION.
- 25. IF THE CONTRACTOR ELECTS TO SUBMIT ALTERNATE EQUIPMENT, MANUFACTURERS, SYSTEMS, METHODS, OR MATERIALS NOT SPECIALLY IDENTIFIED IN THE DRAWINGS AND SPECIFICATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE WORK WITH OTHER TRADES AND PAY FOR ANY ADDITIONAL COSTS ASSOCIATED WITH THE SUBSTITUTION OR CHANGE.
- 26. PROVIDE ONE SET OF ELECTRONIC AS-BUILT DRAWINGS AT COMPLETION OF WORK. SUBMIT TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

## DRAWING LIST

Drawing List- Plumbing									
NUMBER	NAME	Current Issue	Current Revision	Current Revision Date	Current Revision Description				
P-001	COVER SHEET- PLUMBING	BID							
PD-101	DEMOLITION PLAN- PLUMBING	BID							
PD-102	DEMOLITION UNIT PLANS- PLUMBING	BID	1	05/09/2023	ADDENDUM #1				
P-101A	FIRST FLOOR PLAN- PLUMBING	BID	1	05/09/2023	ADDENDUM #1				
P-101B	FIRST FLOOR PLAN- PLUMBING	BID	1	05/09/2023	ADDENDUM #1				
P-602	RISER DIAGRAMS- DOMEWSTIC WATER / GAS	BID	1	05/09/2023	ADDENDUM #1				
P-300	ENLARGED PLANS- DRAINAGE	BID	1	05/09/2023	ADDENDUM #1				
P-301	ENLARGED PLANS- DRAINAGE	BID	1	05/09/2023	ADDENDUM #1				
P-302	ENLARGED PLANS- DRAINAGE	BID	1	05/09/2023	ADDENDUM #1				
P-303	ENLARGED UNIT PLANS- DRAINAGE	BID							
P-304	ENLARGED PLANS- DOMESTIC WATER & GAS	BID	1	05/09/2023	ADDENDUM #1				
P-305	ENLARGED PLANS- DOMESTIC WATER & GAS	BID	1	05/09/2023	ADDENDUM #1				
P-306	ENLARGED UNIT PLANS- DOMESTIC WATER & GAS	BID							
P-400	DETAILS- PLUMBING	BID							
P-401	DETAILS- PLUMBING	BID							
P-500	SCHEDULES- PLUMBING	BID	1	05/09/2023	ADDENDUM #1				
P-600	RISER DIAGRAMS- SANITARY/STORM	BID	1	05/09/2023	ADDENDUM #1				
P-601	RISER DIAGRAMS- SANITARY/STORM	BID	1	05/09/2023	ADDENDUM #1				

## DRAWING SYMBOLS



**REVISION TRIANGLE** 

# PROJECT DEDUCT/ADD ALTERNATES

# SPRINKLER NOTE:

## SPRINKLER NOTE

CONTRACTOR IS TO MODIFY THE EXISTING SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA-13 LIGHT HAZARD OCCUPANCY. SPRINKLER SHOP DRAWINGS AND HYDRAULIC CALCULATIONS SHALL BE SUBMITTED TO THE STATE DEPARTMENT OF HEALTH, LOCAL AUTHORITY HAVING JURISDICTION, OWNER'S INSURANCE CARRIER, AND MCHUGH ENGINEERING, PRIOR TO ORDERING, ROUGH-IN, OR INSTALLATION. CONTRACTOR SHALL RAISE OR EXTEND EXISTING BRANCH/MAIN SPRINKLER PIPING TO SUIT NEW CEILING AND PARTITION ARRANGEMENT. ALL EXISTING HEADS SHALL BE REPLACED W/ CONCEALED HEADS. PROVIDE ADDITIONAL CONCEALED HEADS TO MATCH EXISTING WHERE REQUIRED, AND READJUST EXIST. HEADS TO SUIT THE NEW CEILING GRID LAYOUT. SPRINKLER HEADS SHALL BE CENTERED IN THE TILES. CONTRACTOR IS TO PROVIDE ALL THE NECESSARY MATERIALS & LABOR TO MODIFY AND COMPLETE INSTALLATION. "FLEX HEAD" SPRINKLER HEADS ARE ACCEPTABLE EQUAL.

## CONTRACTOR NOTES

CONTRACTOR IS TO COORDINATE FINAL LOCATIONS FOR ALL KITCHEN EQUIPMENT, FLOOR DRAINS, FLOOR SINKS, ETC. WITH THE ARCHITECT/ OWNER/ KITCHEN CONSULTANT PRIOR TO ROUGH-IN WORK. CONTRACTOR IS TO COORDINATE WITH KITCHEN VENDOR AND KITCHEN CONSULTANT FOR ALL KITCHEN EQUIPMENT CONNECTION POINT LOCATIONS PRIOR TO ROUGH-IN. IT IS THE INTENT FOR ALL WORK TO BE CONCEALED UNLESS DIRECTED OTHERWISE. CONTRACTORS ARE TO MAKE ALL FINAL CONNECTIONS TO KITCHEN EQUIPMENT (CONTRACTOR IS TO FURNISH AND INSTALL NEW VALVED CONNECTIONS, DAMPERS, FITTINGS, ETC. FOR EACH PIECE OF EQUIPMENT [NEW AND EXISTING]). CONTRACTOR IS TO PROVIDE FLEXIBLE PIPE CONNECTIONS FOR ALL MOVABLE PIECES OF EQUIPMENT. CONTRACTOR IS TO PROVIDE WASHABLE, PVC-INSULATED FITTED COVERS, AND JACKET (MAHVILLE "PERMEWELL SYSTEM", USDA AND FDA APPROVED, WHITE) ON ALL EXPOSED PIPING (NEW AND EXITING). CONTRACTOR IS TO PERFORM A SITE VISIT PRIOR TO BID SUBMISSION AND INCLUDE ALL ASSOCIATED COSTS FOR ALL NEW AND EXISTING CONDITIONS. CONTRACTOR'S BID SUBMISSION IT TO BE CONSIDERED PROOF THAT ALL SURVEY AND VERIFICATION REQUIREMENTS HAVE BEEN MET.

<u>NOTICE</u>

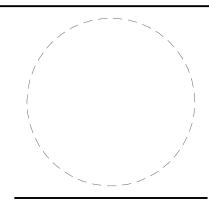
THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN
REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL
REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE
CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR
CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR
SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR
WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO

ENGINEERING ASSOCIATES INC





 $\omega$ 



04/21/202 SII

RANITE FARMS WBC - PHASE
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063
REMENT - LIFE COMMUNIT

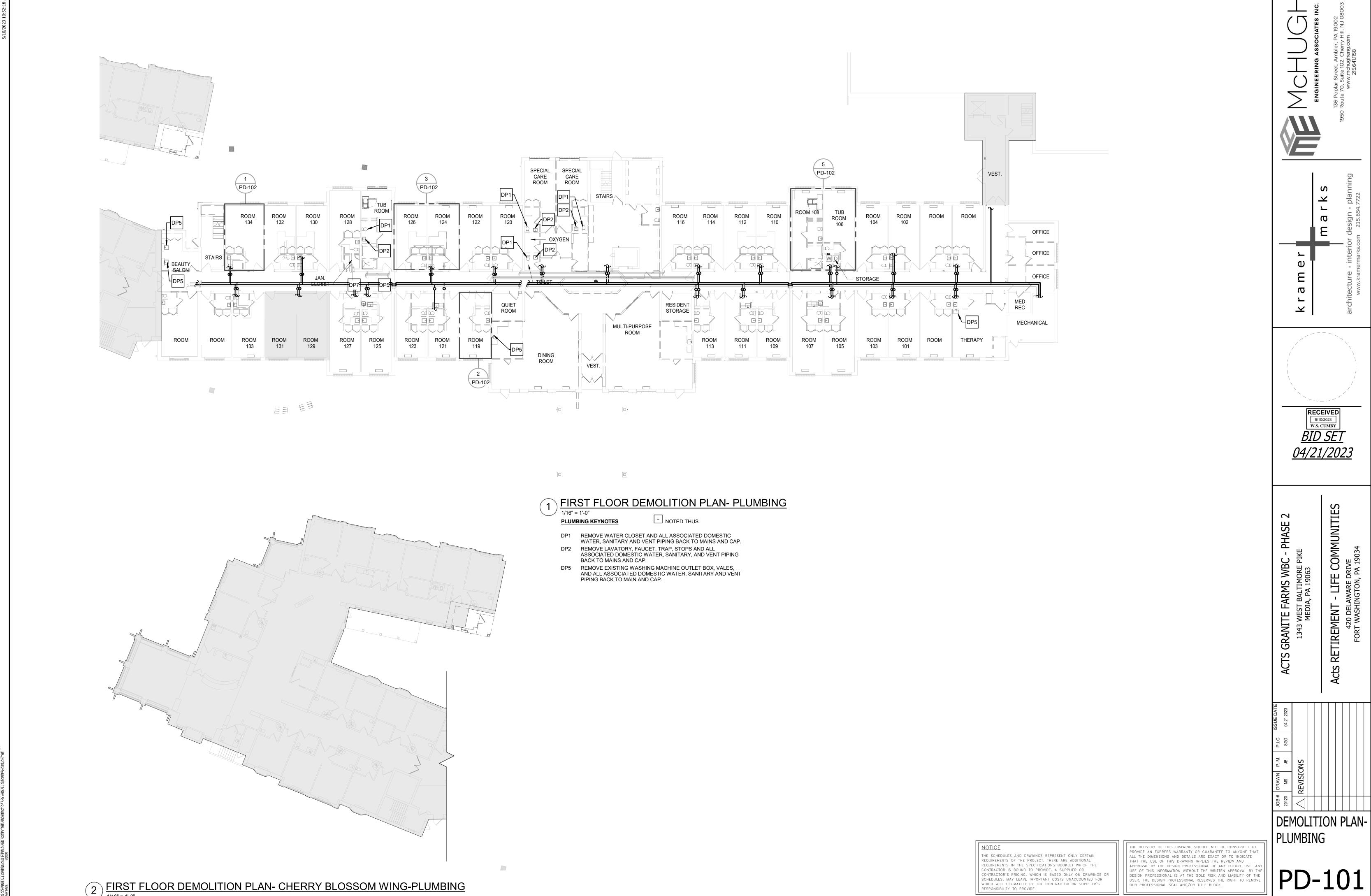
Acts RETIREMENT -

EVISIONS

SGG 04.21.2023

COVER SHEET-

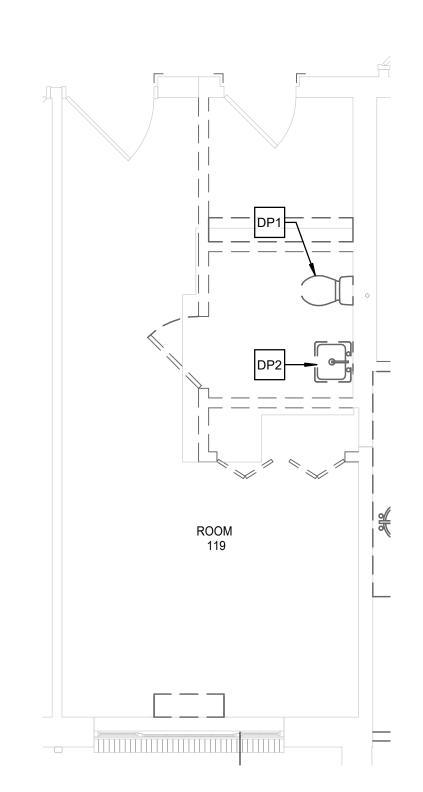
²-001



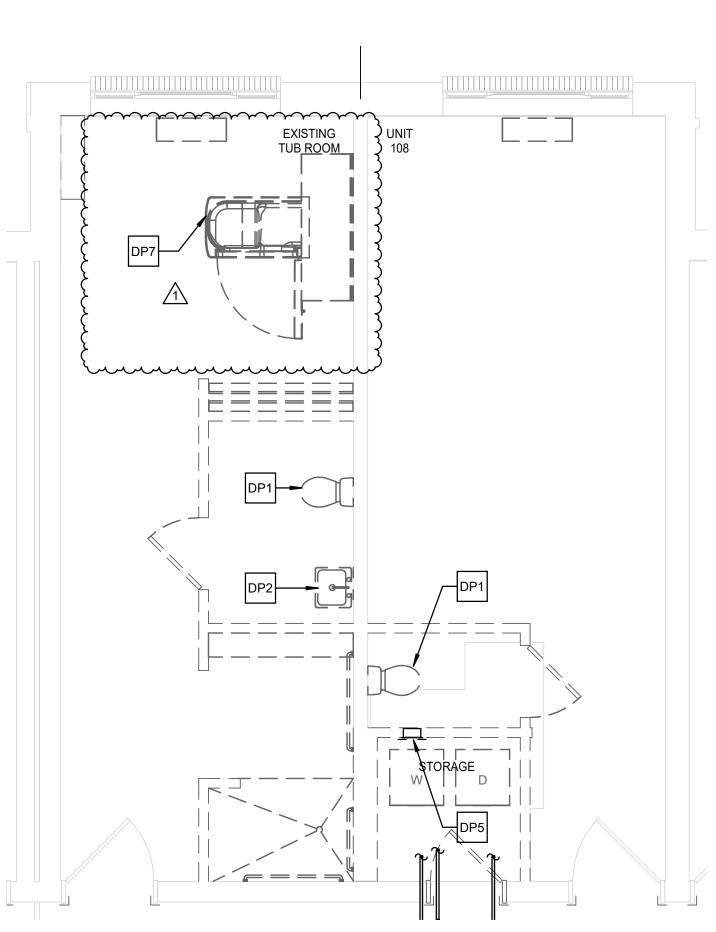
OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

1 TYPICAL UNIT DEMO PLAN- TYPE 1 AND TYPE 2- PLUMBING

 $\sim$ ROOM 128 CLOSET



2 TYPICAL UNIT DEMO PLAN- TYPE 3- PLUMBING
(3) TYPICAL UNIT DEMO PLAN- TYPE 4- PLUMBING



PLUMBING KEYNOTES

- NOTED THUS

REMOVE WATER CLOSET AND ALL ASSOCIATED DOMESTIC WATER, SANITARY AND VENT PIPING BACK TO MAINS AND CAP.

REMOVE LAVATORY, FAUCET, TRAP, STOPS AND ALL ASSOCIATED DOMESTIC WATER, SANITARY, AND VENT PIPING BACK TO MAINS AND CAP.

DP3 REMOVE EXISTING SHOWER, DRAIN, MIXING VALVE, HEAD, AND ALL ASSOCIATED DOMESTIC WATER, SANITARY, AND VENT PIPING BACK TO MAINS AND CAP.

DP4 REMOVE EXISTING MOP RECEPTOR, FAUCET, AND ALL ASSOCIATED DOMESTIC WATER, SANITARY AND VENT PIPING BACK TO MAIN AND CAP.

DP5 REMOVE EXISTING WASHING MACHINE OUTLET BOX, VALES, AND ALL ASSOCIATED DOMESTIC WATER, SANITARY AND VENT PIPING BACK TO MAIN AND CAP.

DP6 REMOVE EXISTING TUB, FAUCET, AND ALL ASSOCIATED DOMESTIC WATER, SANITARY AND VENT PIPING BACK TO MAIN

AND CAP. DP7 RELOCATE EXISTING TUB, FAUCET AND REMOVE ALL ACCOCIATED DOMESTIC WATER, SANITARY AND VENT PIPING

BACK TO MAIN AND CAP. 

 $\boldsymbol{\sigma}$ 

RECEIVED

W.S. CUMBY

GRANITE FARMS WBC

RETIREMENT - 420 DELA FORT WASHIN

COMMUNITIES

DEMOLITION UNIT PLANS- PLUMBING

PD-102

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR

REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE US USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT

5 TYPICAL UNIT DEMO PLAN- UNITS 108 & TUB ROOM- PLUMBING 4 TYPICAL UNIT DEMO PLAN- TYPE 5- PLUMBING



1. COORDINATE ALL BELOW GRADE PLUMBING PIPING WITH FOUNDATION ELEVATIONS AND SITE UTILITY INVERTS. VERIFY EXISTING ELEVATIONS AND INVERTS PRIOR TO

3. DO NOT ROUTE PLUMBING PIPING THROUGH ELECTRICAL

4. DO NOT ROUTE PLUMBING PIPING THROUGH ELEVATOR SHAFT UNLESS PIPING IS DEDICATED TO SHAFT. DO NOT ROUTE PLUMBING PIPING THROUGH UTILITY CHASES UNLESS CHASE IS DEDICATED FOR PLUMBING SERVICES.

5. PROVIDE SHUT OFF VALVES CLOSE TO MAINS ON EACH BRANCH AND RISER SERVING PLUMBING FIXTURES, CASEWORK OR EQUIPMENT. PROVIDE SHUT OFF VALVES ON EACH WATER SUPPLY TO PLUMBING FIXTURES THAT DO NOT HAVE SUPPLY STOPS. PROVIDE ACCESS PANELS

7. COORDINATE LOCATIONS OF FLOOR DRAINS WITH

9. PROVIDE NONCOMBUSTIBLE INSULATION ON ALL PLASTIC PIPING IN PLENUM SPACES. INSULATION SHALL HAVE A

10. COMMERCIAL KITCHENS - PROVIDE DRAINAGE PIPING FROM COLD BOX REFRIGERATION UNITS TO INDIRECT

CONNECTIONS ON EACH FLOOR. LOCATE WHERE SERVICE MAINS CONNECT TO RISERS IN VALVE CLOSETS OR JANITOR'S CLOSETS. PROVIDE BLUE AND RED CIELING

13. REFER TO ENLARGED UNIT PLANS FOR MORE PIPING

CONFORMANCE WITH PDI AND LOCAL ORDINANCES AT MACHINES(COMMERCIAL AND RESIDENTIAL), SOLENOIDS,

6. PROVIDE CLOSED CELL MOLDED VINYL INSULATION ON EXPOSED ADA LAVATORY DRAINS, TRAPS, AND SUPPLIES.

8. PROVIDE CLEANOUTS AT THE BASE OF ALL RAINWATER CONDUCTORS AND SANITARY WASTE STACKS, AT EVERY CHANGE IN DIRECTION AND 50'-0" ON CENTER FOR

FLAME SPREAD RATING OF NOT MORE THAN 25 AND A SMOKE DEVELOPED RATING OF NOT MORE THAN 50 IN

11. THE CONTRACTOR SHALL PROVIDE BALANCING VALVES ON ALL BRANCHES OF THE DOMESTIC HOT WATER RETURN SYSTEM, BALANCE THE SYSTEM, AND PROVIDE BALANCING REPORT TO THE OWNER/ENGINEER FOR RECORD. ALL HOT WATER BALANCING VALVES SHALL BE

 $\boldsymbol{\omega}$ 

RECEIVED

W.S. CUMBY

COMMUNITIES

RETIREMENT - 420 DELA PORT WASHIN

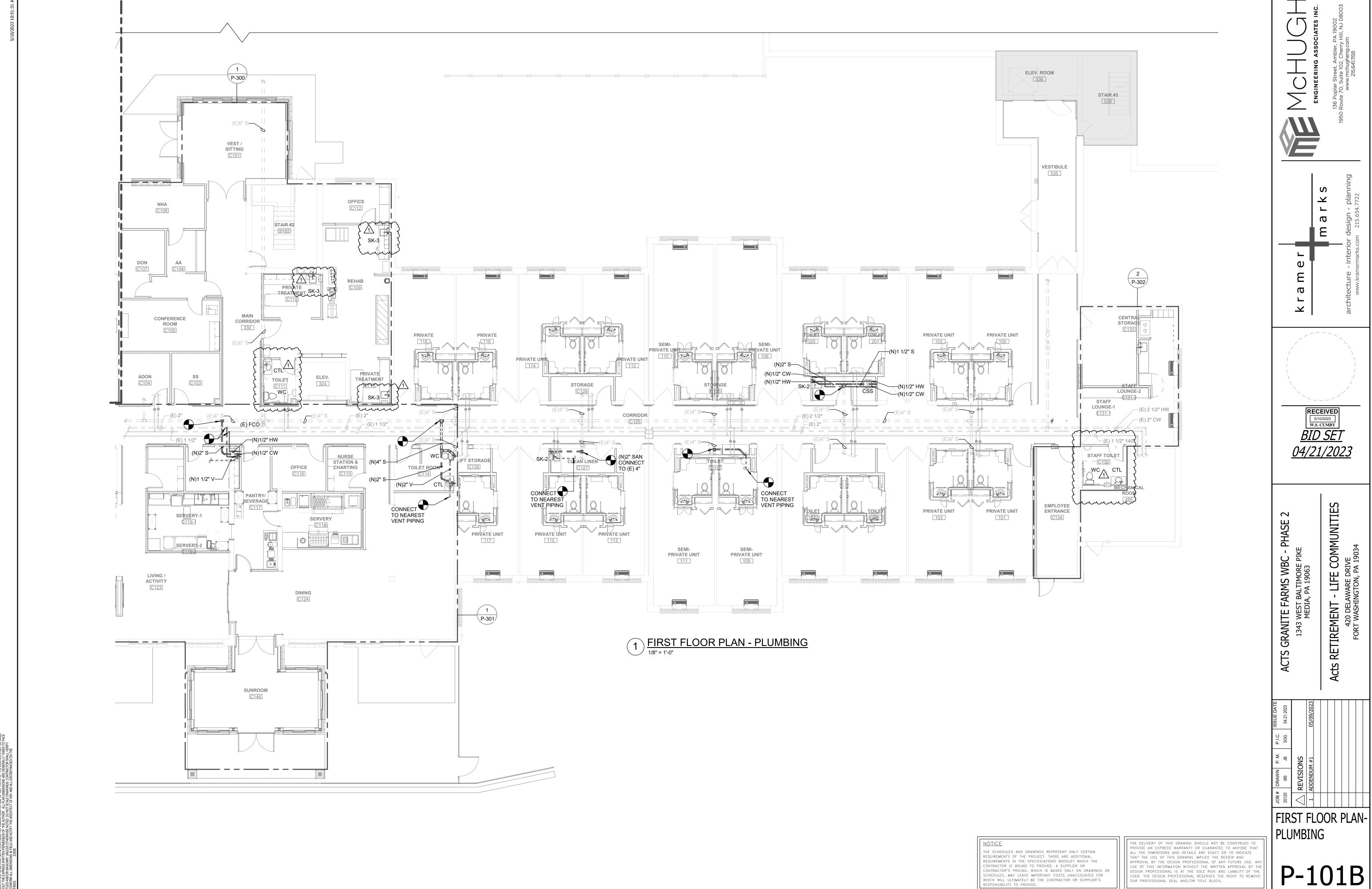
WBC .

GRANITE FARMS WBC 1343 WEST BALTIMORE PMEDIA, PA 19063

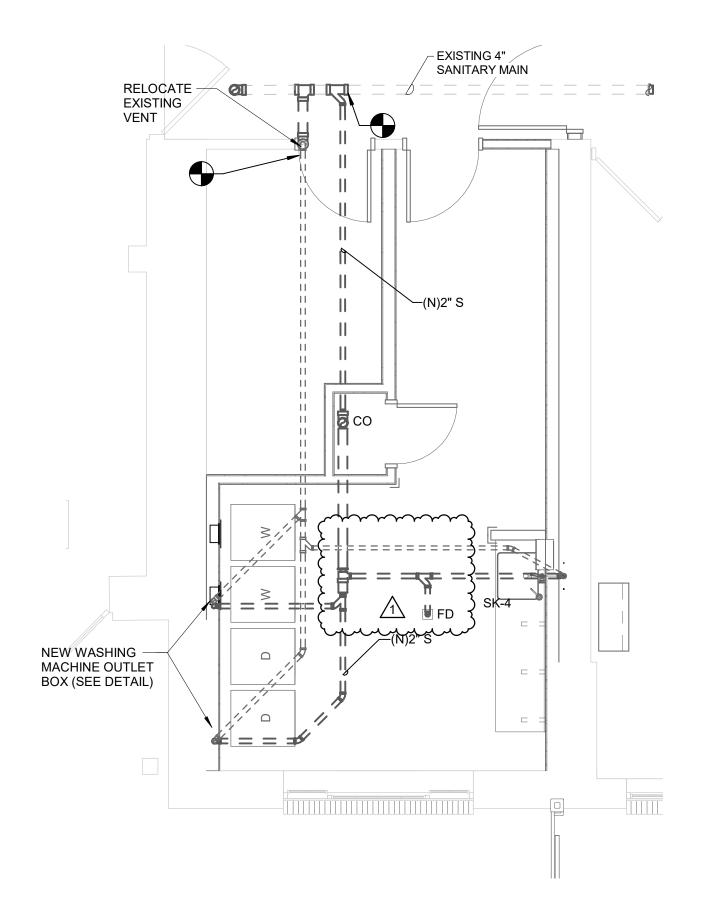
ACTS

FIRST FLOOR PLAN-

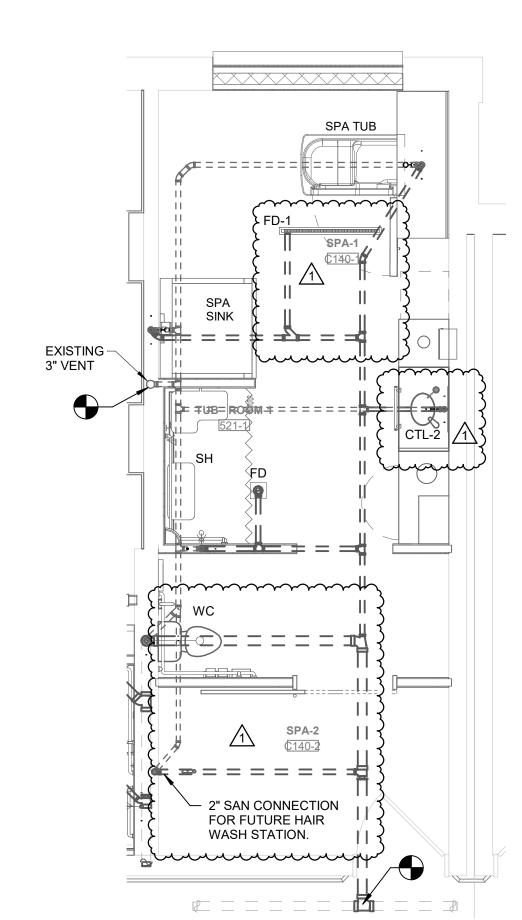
THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY (



P-101B



3 ENLARGED LAUNDRY LOUNGE PLAN- DRAINAGE



2 ENLARGED PLAN - TUB ROOM- DRAINAGE

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN
REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL
REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE
CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR
CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR
SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR
WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S
RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

ENGINEERING ASSOCIATES INC.

136 Poplar Street, Ambler, PA 19002
1950 Route 70, Suite 102, Cherry Hill, NJ 08003
www.mchugheng.com
215.641.1158

kramermarks.com 215.654.7722

RECEIVED

5/10/2023
W.S. CUMBY

BID SET

04/21/2023

BID SET

04/21/2023

CTS GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063

S RETIREMENT - LIFE COMMUNITIE

| 1343 WEST B | 1343 WEST B | MEDIA, |

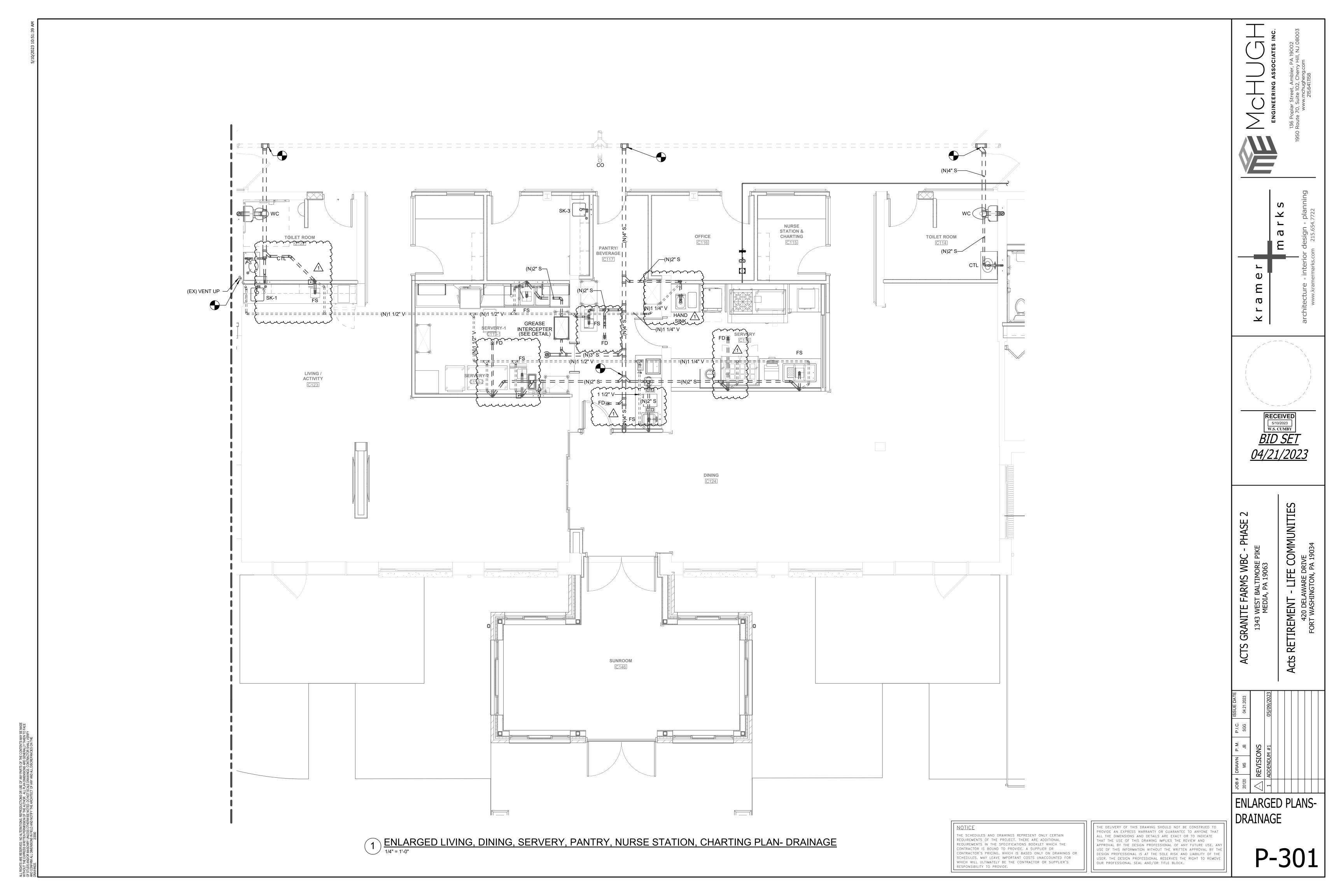
 JOB #
 DRAWN
 P. M.
 P.I.C.
 ISSUE DATE

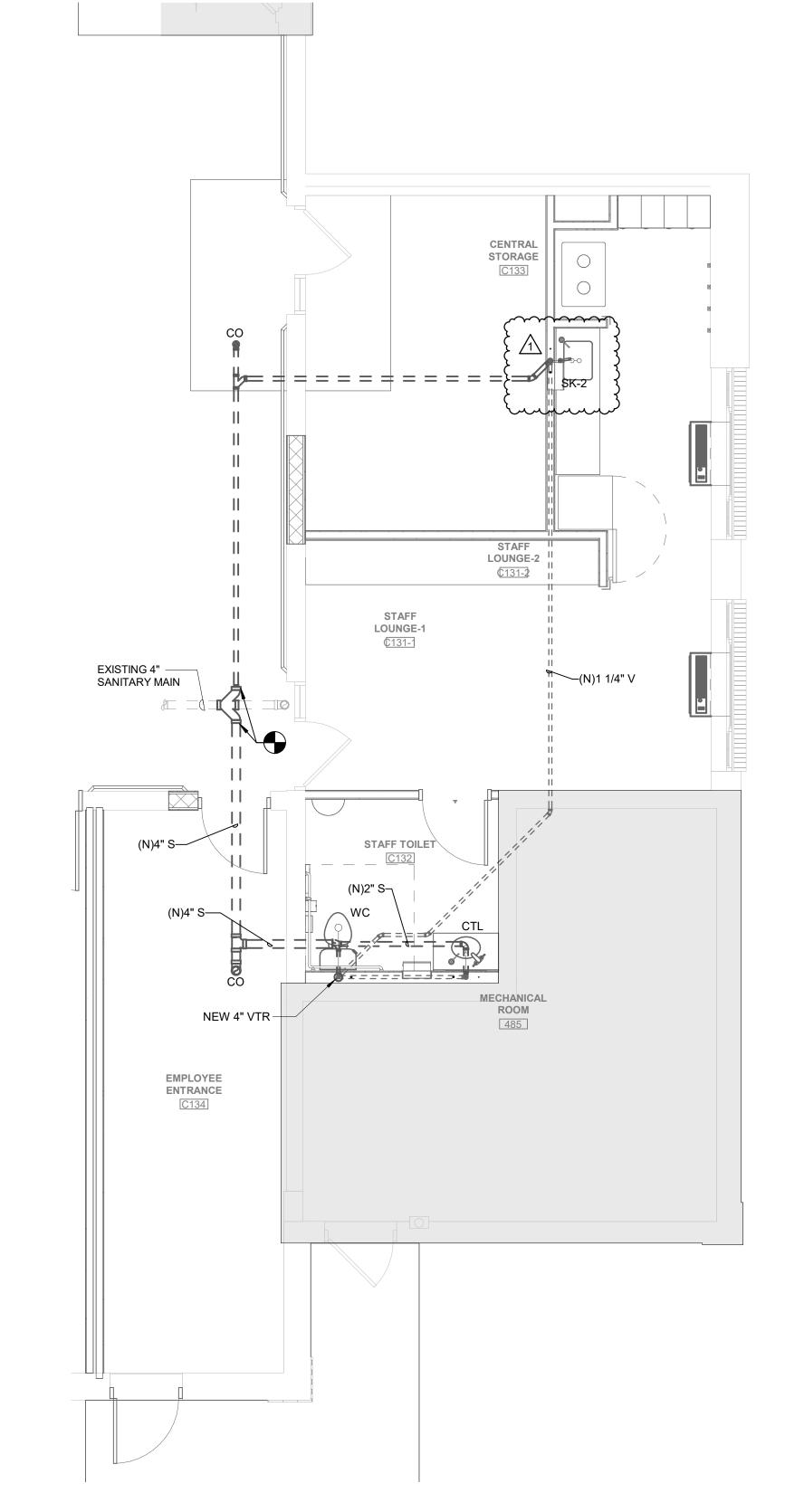
 20120
 MS
 JB
 SGG
 04.21.2023

 △
 REVISIONS
 05/09/2022

ENLARGED PLANS-DRAINAGE

P-300





2 ENLARGED STAFF LOUNGE AND EMPLOYEE ENTRANCE- DRAINAGE

1/4" = 1'-0"

NOTICE

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

ENGINEERING ASSOCIATES INC.

136 Poplar Street, Ambler, PA 19002
1950 Route 70, Suite 102, Cherry Hill, NJ 08003

kramermarks.com 215.654.7722



S GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063

Acts RETIREMENT - LIFE COMMUNITIES

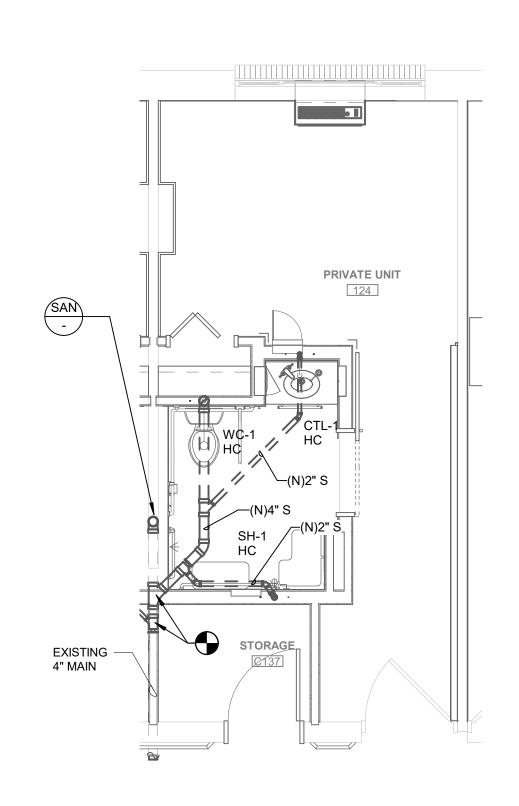
420 DELAWARE DRIVE
FORT WASHINGTON, PA 19034

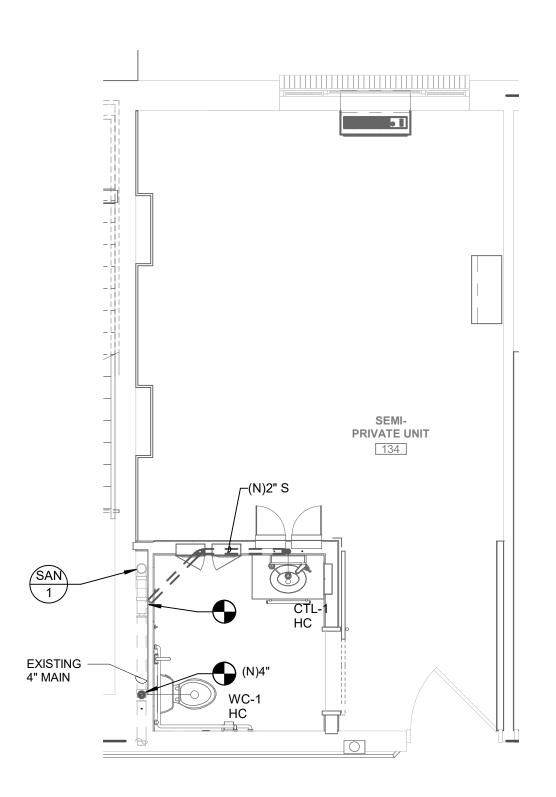
JOB # DRAWN P. M. P.I.C. ISSUE DATE
20120 MS JB SGG 04.21.2023

ABDENDUM #1 05/09/2023

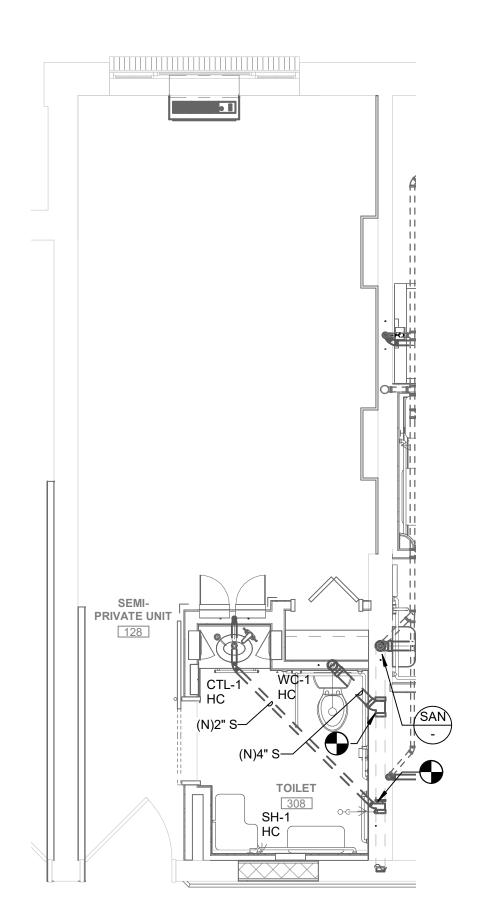
ENLARGED PLANS-DRAINAGE

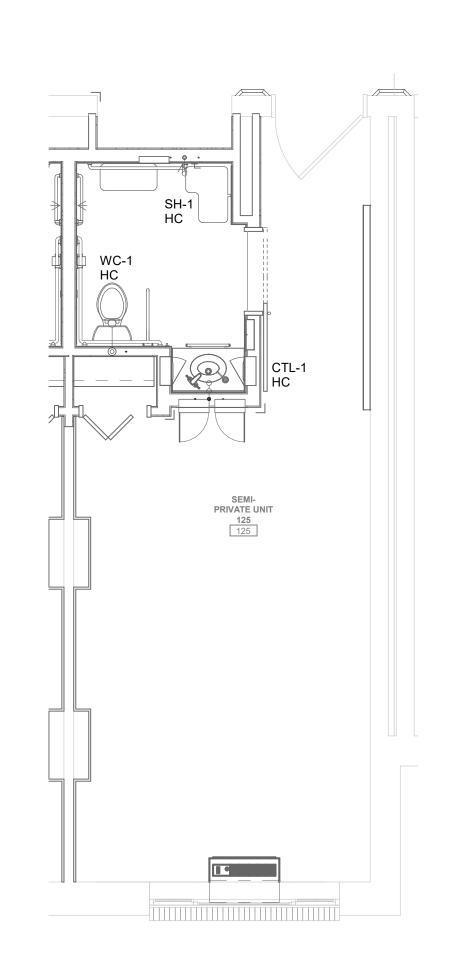
P-302





 $\underbrace{1}_{1/4" = 1"-0"} \underbrace{\frac{\text{TYPICAL UNIT PLAN - TYPE 1- PRIVATE- DRAINAGE}}{1}_{1/4" = 1"-0"}} \underbrace{2}_{1/4" = 1"-0"} \underbrace{\frac{\text{TYPICAL UNIT PLAN- TYPE 2- PRIVATE- DRAINAGE}}{1}_{1/4" = 1"-0"}} \underbrace{3}_{1/4" = 1"-0"} \underbrace{\frac{\text{TYPICAL UNIT PLAN - TYPE 3- SEMI PRIVATE- DRAINAGE}}{1}_{1/4" = 1"-0"}} \\$ 





TYPICAL UNIT PLAN- TYPE 4- SEMI PRIVATE- DRAINAGE

5 TYPICAL UNIT PLAN- TYPE 5- SEMI PRIVATE- DRAINAGE

1/4" = 1'-0"

NOTICE

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

ENGINEERING ASSOCIATES INC.

136 Poplar Street, Ambler, PA 19002
1950 Route 70, Suite 102, Cherry Hill, NJ 08003
www.mchugheng.com
2015 A111158

kramermarks.com 215.654.7722

RECEIVED

5/10/2023

W.S. CUMBY

BID SET

04/21/2023

S GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063
ETIREMENT - LIFE COMMUNITIES

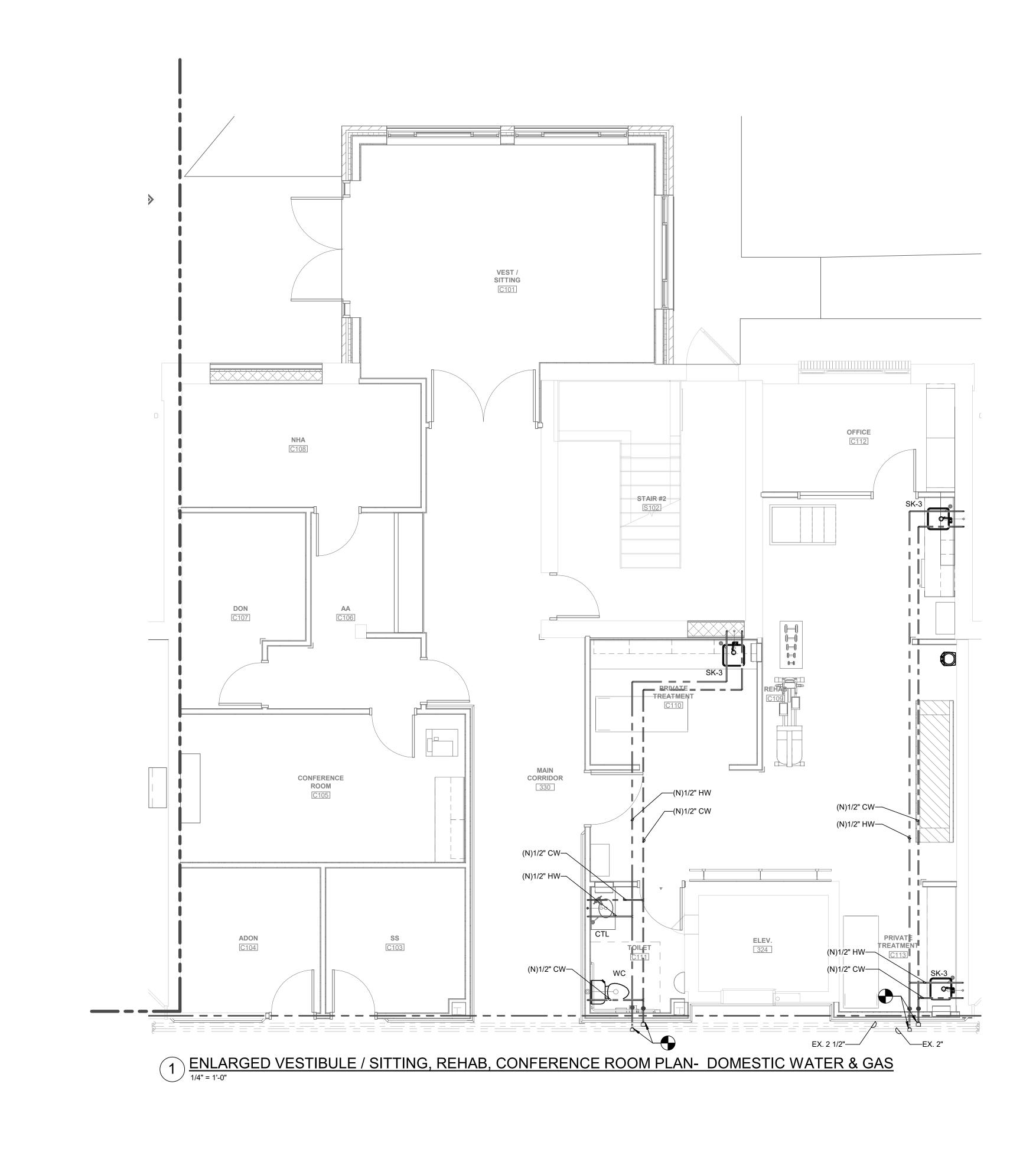
ACTS GRANITE FARM
1343 WEST BALT
MEDIA, PA
ACTS RETIREMENT - LI
FORT WASHINGTO

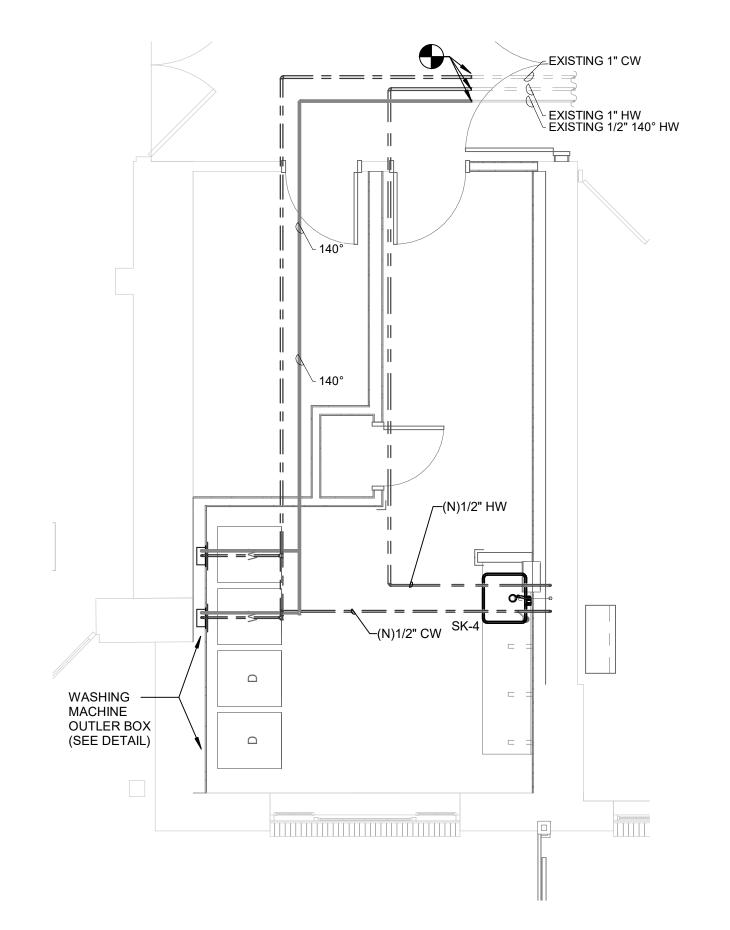
JOB# DRAWN P. M. P.I.C. ISSUE DATE
20120 MS JB SGG 04.21.2023

✓ REVISIONS

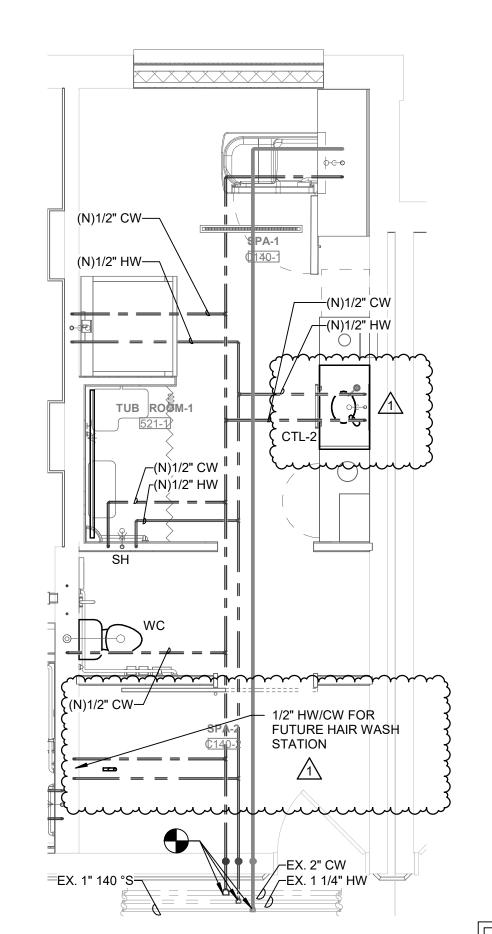
ENLARGED UNIT PLANS- DRAINAGE

P-303





3 ENLARGED LAUNDRY LOUNGE PLAN- DOMESTIC WATER & GAS



NOTICE

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

ENGINEERING ASSOCIATES INC.

136 Poplar Street, Ambler, PA 19002
1950 Route 70, Suite 102, Cherry Hill, NJ 08003
www.mchugheng.com
215.641,1158

kramermarks.com 215.654.7722

RECEIVED

5/10/2023
W.S. CUMBY

BID SET

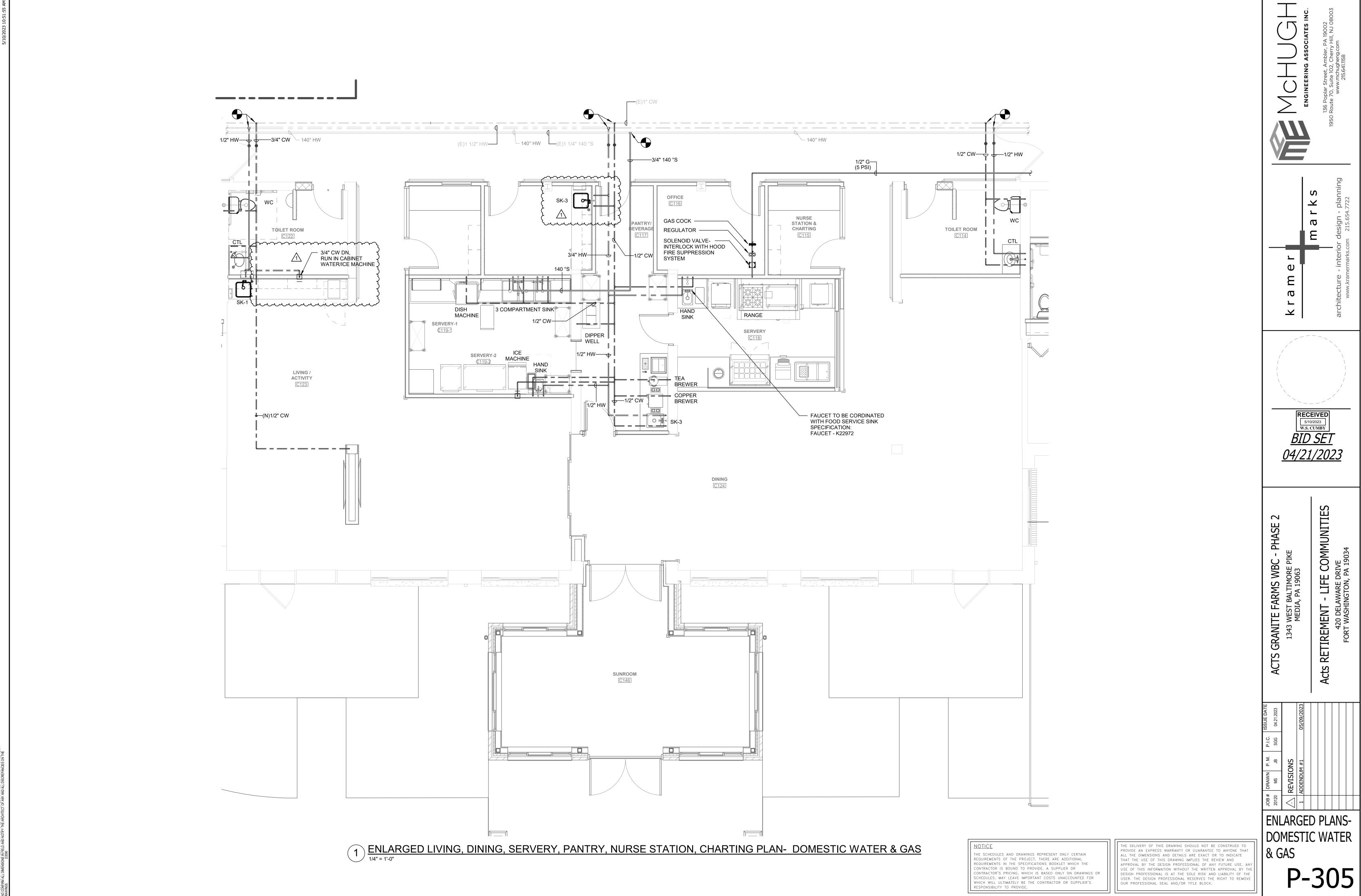
04/21/2023

GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063
TIREMENT - LIFE COMMUNITIES

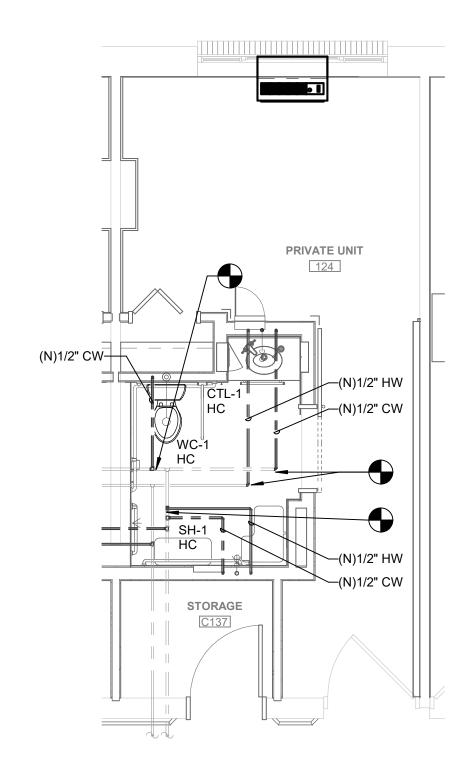
Acts RETIREMENT - LIF

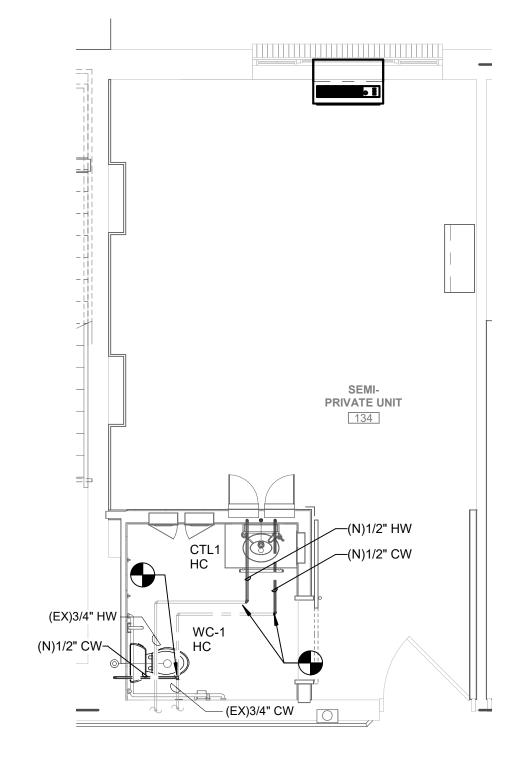
ENLARGED PLANS-DOMESTIC WATER & GAS

P-304



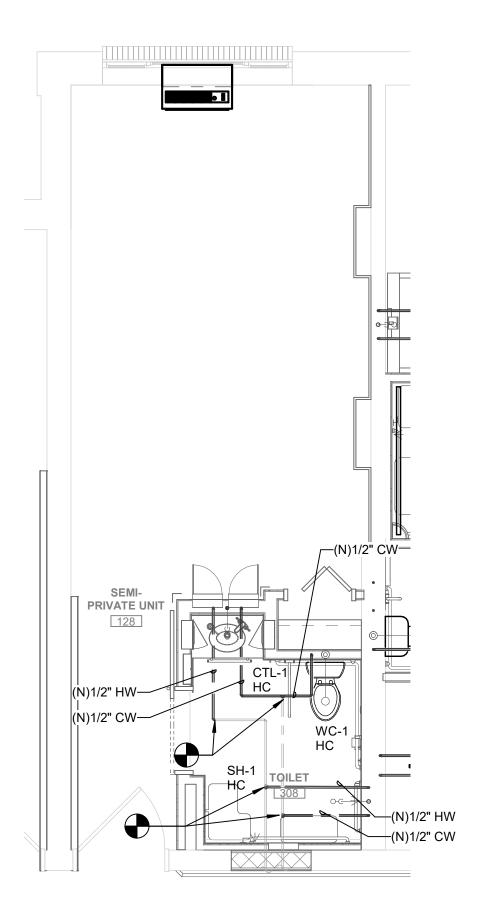
IO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE CONTENTS MAY BE MADE. TEN PERMISSION OF THE AUTHOR. ALL PLAN DIMENSIONS ARE GENERALLY TAKEN TO FACE UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS, CONTRACTOR SHALL VERIFY



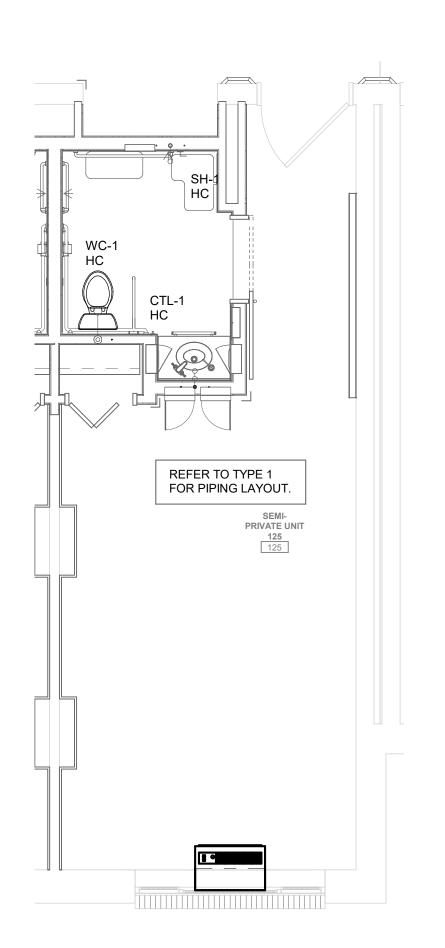


2 TYPICAL UNIT PLAN - TYPE 1- PRIVATE- DOMESTIC WATER 4 TYPICAL UNIT PLAN- TYPE 2- PRIVATE- DOMESTIC WATER 1/4" = 1'-0"

1 TYPICAL UNIT PLAN - TYPE 3- SEMI PRIVATE- DOMESTIC WATER



5 TYPICAL UNIT PLAN- TYPE 4- SEMI PRIVATE- DOMESTIC WATER



3 TYPICAL UNIT PLAN- TYPE 5- SEMI PRIVATE- DOMESTIC WATER

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR
CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR
SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR
WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S
RESPONSIBILITY TO PROVIDE. THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY TI DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

RECEIVED

COMMUNITIES

S GRANITE FARMS WBC - P
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063 Acts RETIREMENT - 420 DELAV FORT WASHIN

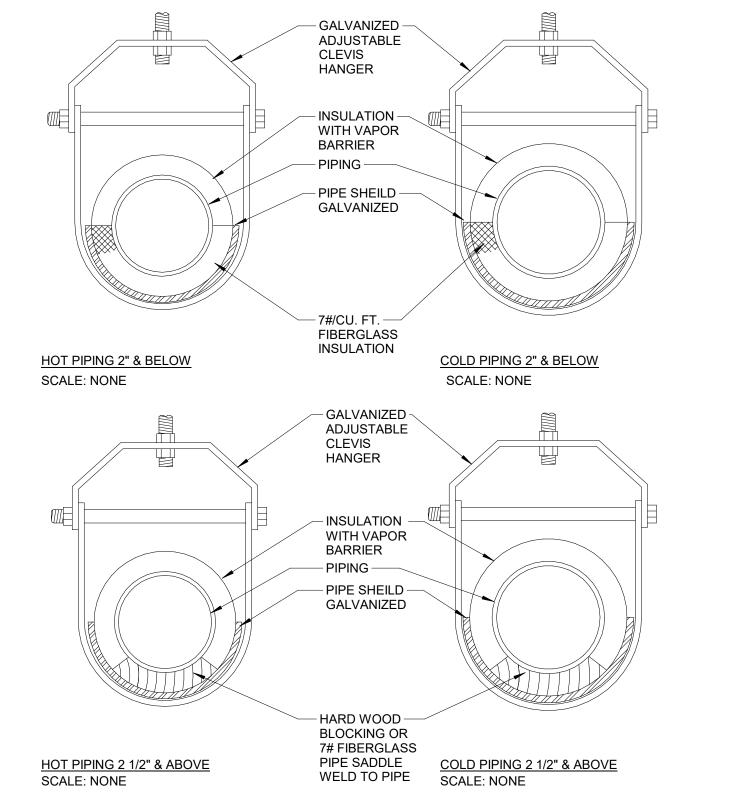
ENLARGED UNIT PLANS- DOMESTIC WATER & GAS

 $\checkmark$ 

RETIREMENT - 420 DELA FORT WASHIN Acts

ACTS

DETAILS-



PIPE HANGER DETAILS
SCALE: NONE

WEJLOC INVERTIBLE -- FLOOR SINK TO BE FLUSH WITH FINISHED FLASHING COLLAR FINISHED FLOOR — OTHERWISE REQUIRED - CAULK OUTLET FLOOR DRAIN DETAIL
SCALE: NONE NOTE: 1. CONTRACTOR TO PROVIDE TRAP PRIMER. REFER TO TRAP

PRIMER DETAIL FOR MORE INFORMATION.

FHC FIRE HOSE CABINET FVC FIRE VALVE CABINET FU FIXTURE UNIT GWH GAS WATER HEATER I.E. INVERT ELEVATION MH MAN HOLE PRV PRESSURE REDUCING VALVE SP WET STANDPIPE SF SQUARE FEET S & VST SOIL & VENT STACK W & VST WASTE & VENT STACK VTR VENT THRU ROOF (E) EXISTING (ED) EXISTING TO BE DEMOLISHED (N) NEW INLINE PUMP THERMOMETER —⇒— PIPE DOWN —o— PIPE UP

──₩── WATER SERVICE ——— DOM. COLD WATER —— — DOM. HOT WATER ———— DOM. HOT WATER RETURN — T— TEMP. WATER —140— 140°F LAUNDRY HOT WATER ———— SOIL, WASTE ____ VENT — — — STORM

—— A — COMPRESSED AIR —BGP GABACK FLOW PREVENTER -BTVV- BARTHWATERSERVICE CO CLEAN OUT DS DOWNSPOUT DSP DRY STANDPIPE DWR DOMESTIC WATER RISERS EWH ELECTRIC WATER HEATER RWC RAIN WATER CONDUCTOR

PLUMBING SYMBOLS AND ABBREVIATIONS RELIEF VALVE CHECK VALVE SHUT-OFF VALVE STRAINER W/ BLOW OFF VALVE BALANCING VALVE UNION PIPE REDUCER PIPE INCREASER PIPE FLEXIBLE CONNECTION GATE VALVE BALL VALVE BALL VALVE GAS COCK/GAS RATED BALL VALVE **BUTTERFLY VALVE** PLUG VALVE PRESSURE REDUCING → MININH DOUBLE CHECK BACKFLOW PREVENTER MANUAL AIR VENT WALL HYDRANT HOSE BIBB FLOOR DRAIN **ROOF DRAIN** DECK DRAIN OVERFLOW DRAIN AREA DRAIN NEW CONNECTION TO EXISTING POINT OF REMOVAL MEDICAL GAS OUTLET (LETTER DESIGNATES SERVICE) MG-VB MEDICAL GAS VALVE BOX MG-AP MEDICAL GAS ALARM PANEL MEDICAL GASES — N— NITROGEN

— V— VACUUM

— Q— OXYGEN

<u>NOTICE</u>

RESPONSIBILITY TO PROVIDE.

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO

TRAP PRIMER -

FLOOR UNLESS

BY LOCAL CODE

BUCKET

-WATERPROOFING AROUND FLOOR SINK

- HUB OUTLET

THREADED TYPE VENT COUNTER FLASHING.

FITTING BY PLUMBING CONTRACTOR

ROOF BASE FLASHING

BY ROOFING

ROOF

DWG)

CONTRACTOR

(REFER TO ARCH

REFER TO PLUMBING

**DRAWINGS** 

MIN.

SCALE: NONE

**ROOF VENT DETAIL** 

NOTES:
FITTING IS OF THE COUPLING TYPE THAT PERMITS STACK

EXTENSION TO THE DESIRED HEIGHT.
COUNTER FLASHING FITTING. J.R. SMITH FIG. 1740C OR

INDIRECT WASTE LINE -

FINISHED FLOOR -

2" MIN. AIR GAP

— SLAB

- BODY - SMOOTH

BUCKET

STRAINER

FLOOR SINK DETAIL
SCALE: NONE

- HUB OUTLET -BOTTOM DOME

LENTER WALL SURFACE

S GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063

RETIREMENT - LIFE COMMUNITIES
420 DELAWARE DRIVE
FORT WASHINGTON, PA 19034

NS ACTS

ACTS

ACTS

ACTS

ACTS

ACTS

ACTS

JOB # DRAWN P. M. P.I.C. ISSUE I
20120 MS JB SGG 04.21.2

AEVISIONS

DETAILS-PLUMBING

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE

APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE

THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND

OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

P-401

NOTICE

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

#### PLUMBING FIXTURE SCHEDULE

ALL FIXTURES AND TRIM TO BE LEAD FREE.

ALL HANDICAP FIXTURES TO BE INSTALLED ADA COMPLIANT WITH OFFSET WASTE WHERE REQUIRED AND INCLUDING UNDERFIXTURE PROTECTIVE KIT.
REFER TO SPECIFICATION FOR ADDITIONAL FIXTURE REQUIREMENTS AND ALTERNATE MFR'S.

ALL TRIM TO BE CHROME PLATED CAST BRASS. LAVATORIES IN PUBLIC TOILETS TO BE FURNISHED WITH GRID STRAINERS. FIXTURES IN PRIVATE TOILETS AND LOCKER ROOMS SHALL BE FURNISHED WITH POP-UP DRAINS.
TRAPS FOR LAV./SINKS SHALL BE SEMI-CAST BRASS/17 GAUGE WASTE 1 1/4"x1 1/2" OR 1 1/2" DEPENDING ON FIXTURE OUTLET.
ALL FIXTURES TO BE FURNISHED WITH INDIVIDUAL FIXTURE STOP VALVES. IN PUBLIC AREAS VALVES SHALL BE LOOSE KEY TYPE.

ALL WALL HUNG FIXTURES TO BE PROVIDED WITH SUITABLE FLOOR MOUNTED SUPPORTS.

WALL HUNG WATER CLOSETS SHALL BE PROVIDED WITH COMBINATION CARRIER WITH HORIZONTAL OR VERTICAL FITTING TO SUIT PIPING ARRANGEMENT. VENTS NOTED ARE FOR INDIVIDUAL FIXTURE VENTS ONLY.

WATER CLOSETS LOCATED IN PUBLIC AREAS SHALL BE PROVIDED WITH OPEN FRONT SEATS. ALL DIDLIC HAND WASHING SINKS SHALL HAVE AN ADDOMED TEMPEDATIDE LIMITING DEVICE THAT CONFORMS TO ASSE 4070

12.	ALL PUBLIC HAND WASHING	SINKS SHALL HAVE AI	N APPROVED TE	MPERATURE LIMIT	ING DEVICE THAT	CONFORMS	S TO ASSE 10	70.									
		BASIS OF DE	SIGN (APPROVE	D MFR.'S ARE LIST	ED IN SPECIFICATI	IONS)	COLOR/	FLOW	MAP		ROU	GH-IN		F	IXTURE	UNITS	
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.	FAUCET OR FLUSH VALVE	CARRIER OR SUPPORT	TRIM	FINISH	(GPF)	IVIAC .	CW	HW	SAN	SWV	CW	HW	DFU	NOTES:
CTL	COUNTER-TOP LAVATORY	WILSONART	BV1512N	BOBRICK B8875	COUNTER-TOP	•	BRUSHED NICKEL	0.5 GPM	-	1/2"	1/2"	1 1/4"	1 1/4"	-	-	-	ADA COMPLIANT, HARDWIRED WITH BATTERY BACKUP.
CLT-1 HC	COUNTER-TOP LAVATORY	WOLF		BOBRICK FAUCET B-8875	COUNTER-TOP	-	BRUSHED NICKEL	0.5 GPM	-	1/2"	1/2"	1 1/4"	1 1/4"	-	-	-	ADA COMPLIANT, HARCHWIRED. BOBRICK SOAP DISPENSER SERIES B-855.
CTL-2	COUNTER-TOP LAVATORY	KOHLER	LR2022	BOBRICK B8875	COUNTER-TOP	-	BRUSHED NICKEL	0.5 GPM	-	1/2"	1/2"	1 1/4"	1 1/4"	-	-	-	ADA COMPLIANT, HARDWIRED WITH BATTERY BACKUP.
SK-1	SINK (ACTIVITY RM)	KOHLER	K-8223	KOHLER K-29709	COUNTER-TOP	-	STAINLESS STEEL	1.75 GPM	-	1/2"	1/2"	1 1/2"	1 1/2"	-	-	-	
SK-2	SINK (SOILED/CLEAN, BREAK RM)	KOHLER	K-6661	KOHLER K22972	COUNTER-TOP	-	STAINLESS STEEL	1.75 GPM	-	1/2"	1/2"	1 1/2"	1 1/2"	-	-	-	
SK-3	SINK (REHAB, PRIVATE TREATMENT, MED PREP)	WILSONART	AV1812	KOHLER K29709	COUNTER-TOP	-	STAINLESS STEEL	1.5 GPM	-	1/2"	1/2"	1 1/2"	1 1/2"	-	-	-	
SK-4	SINK (LAUNDRY)	KOHLER	K3894-4	KOHLER K29709	COUNTER-TOP	-	STAINLESS STEFL	1.5 GPM	-	1/2"	1/2"	1 1/2"	1 1/2"	-	-	-	
KS	ADA KITCHEN SINK	ELKAY	PSRQ2521	MOEN COMMERCIAL 8780	-	-	STAINLESS STEEL	1.5 GPM	-	1/2"	1/2"	1 1/2"	1 1/2"	-	-	-	
WC	ADA WATER CLOSET	KOHLER	K-3519-TR	-	FLR MOUNTED	-	WHITE	1.0 GPF	-	1/2"	-	4"	2"	-	-	-	ADA COMPLIANT, TANK COVER LOCK, ELONGATED, CHAIR HEIGHT, VITREOUS CHINA, FLUSH CONTROLS ON OPEN SIDE OF WATER CLOSET. KOHLER ELONGATED SEAT (LUSTRA) K-4650-A. TO BE NSTALLED WITHOUT COVER
WC-1 HC	ADA WATER CLOSET	KOHLER	K-3519-TR	-	FLR MOUNTED	-	WHITE	1.0 GPF	-	1/2"	-	4"	2"				ADA COMPLIANT, TANK COVER LOCK, ELONGATED, CHAIR HEIGHT, VITREOUS CHINA, FLUSH CONTROLS ON OPEN SIDE OF WATER CLOSET. KOHLER ELONGATED SEAT ONLY, NO LID, K4636(COLOR BLACK)
SH	SHOWER (SPA)	-	-	KOHLER T8342	-	-	BRUSHED NICKEL	-	-	1/2"	1/2"	2"	2"	-	-	-	KOHLER SERIES COMMERCIAL THREE FUNCTION SHOWER SYSTEM. WITH DIVERTER VALVE. PROVIDE SLIDEBAR/SHOWER WAND AT BOTH END WALL AND REAR WALL. CONTROLS AT REAR WALL WITH DIVERTER.
SH-1 HC	SHOWER (RESIDENT RM)	-	-	KOHLER T8342	-	-	BRUSHED NICKEL	-	-	1/2"	1/2"	2"	2"	-	-	-	PROVIDE LINEAR SHOWER DRAIN - ZURN MODEL ZS880-72-TG WITH KOHLER K-737-K-NA DIVERTER VALVE.
CSS	CLINICAL SERVICE SINK	KOHLER	-	-	-	-	-	-	-	1/2"	1/2"	2"	2"				
FD	SQUARE FLOOR DRAIN	JR SMITH	2010	-	-	-	-	-	-	-	-	2"	2"				PROVIDE TRAP PRIMER.
FD-1	LINEAR FLOOR DRAIN (SPA)	-	-	-	-	-	-	-	-	-	-	2"	2"				

 $\boldsymbol{\sigma}$ 

RECEIVED

S GRANITE FARMS WBC - P 1343 WEST BALTIMORE PIKE MEDIA, PA 19063

**ACTS** 

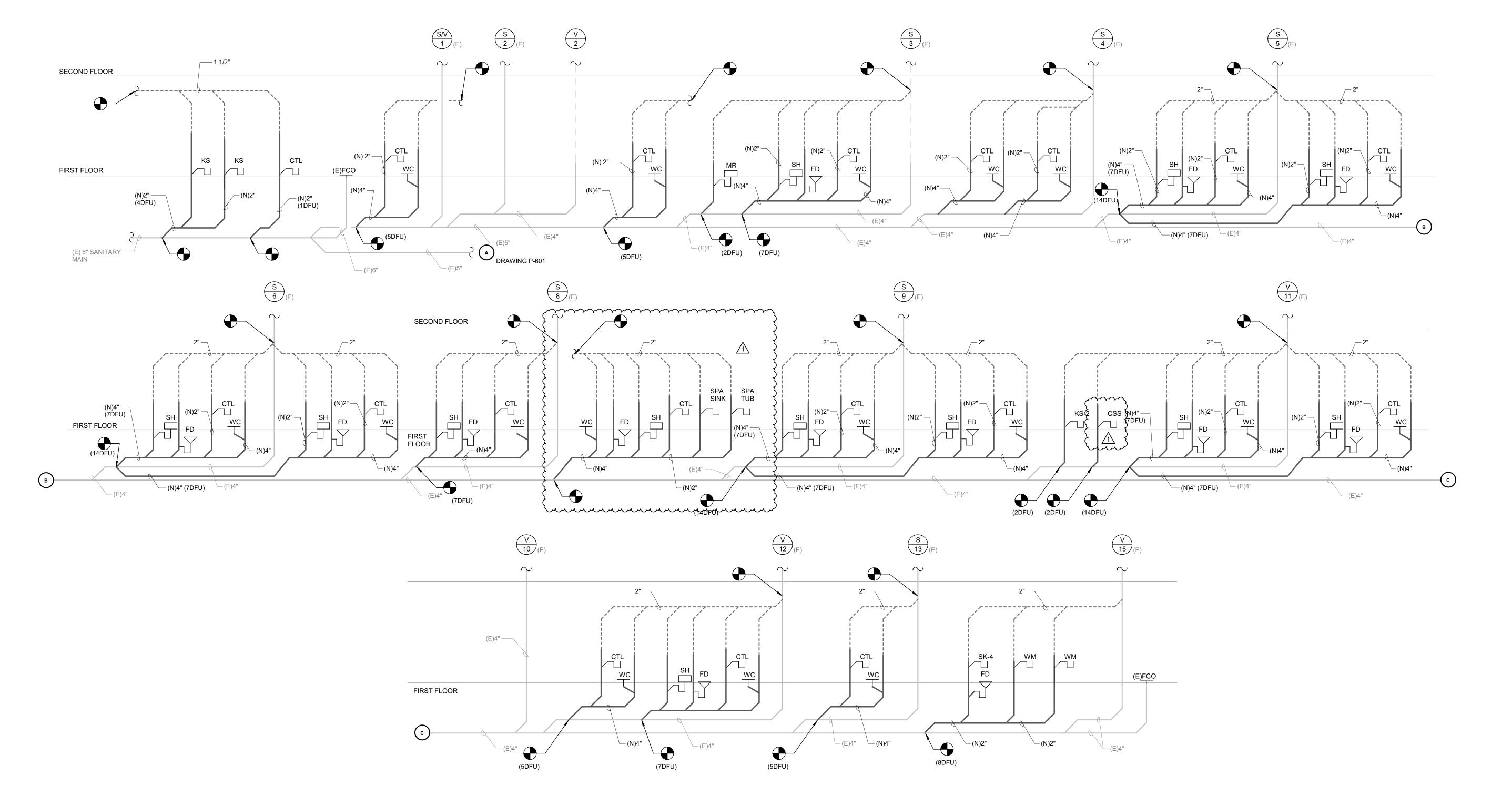
RETIREMENT - LIFE COMMUNITIES
420 DELAWARE DRIVE
FORT WASHINGTON, PA 19034

SCHEDULES-PLUMBING

<u>NOTICE</u>

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL
REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE
CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR
CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR
SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR
WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S
RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.



## SANITARY RISER DIAGRAM

SANITARY RISER DIAGRAM NOTES

- 1. PROVIDE A TRAP PRIMER AT EVERY FLOOR DRAIN.
- PIPING SHALL BE SLOPED AT AN 1/8" PER LNFT FOR 3" PIPE AND ABOVE.
- 3. PIPING SHALL BE SLOPED AT A 1/4" PER LNFT FOR 2-1/2" PIPE OR SMALLER UNLESS OTHERWISE NOTED.
- 4. REFER TO PLUMBING FIXTURE SCHEDULE FOR FIXTURE BRANCH PIPE SIZING.
- 5. ALL UNDERGROUND SANITARY PIPING SHALL BE 2" MINIMUM PIPE SIZE.

<u>NOTICE</u> THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE

OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

 $\boldsymbol{\sigma}$ 

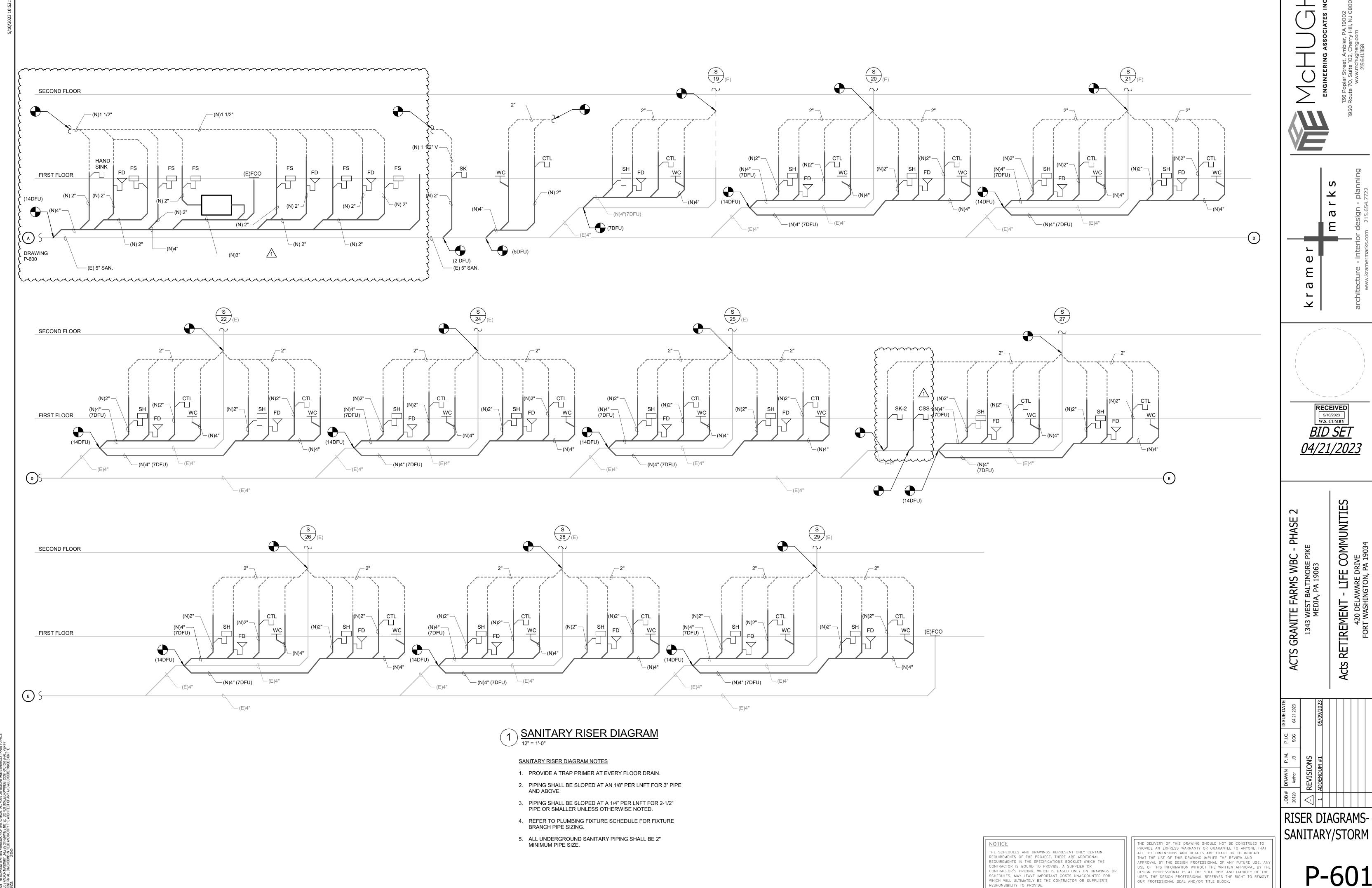
RECEIVED 5/10/2023 W.S. CUMBY

COMMUNITIES GRANITE FARMS WBC 1343 WEST BALTIMORE PIKE
MEDIA, PA 19063

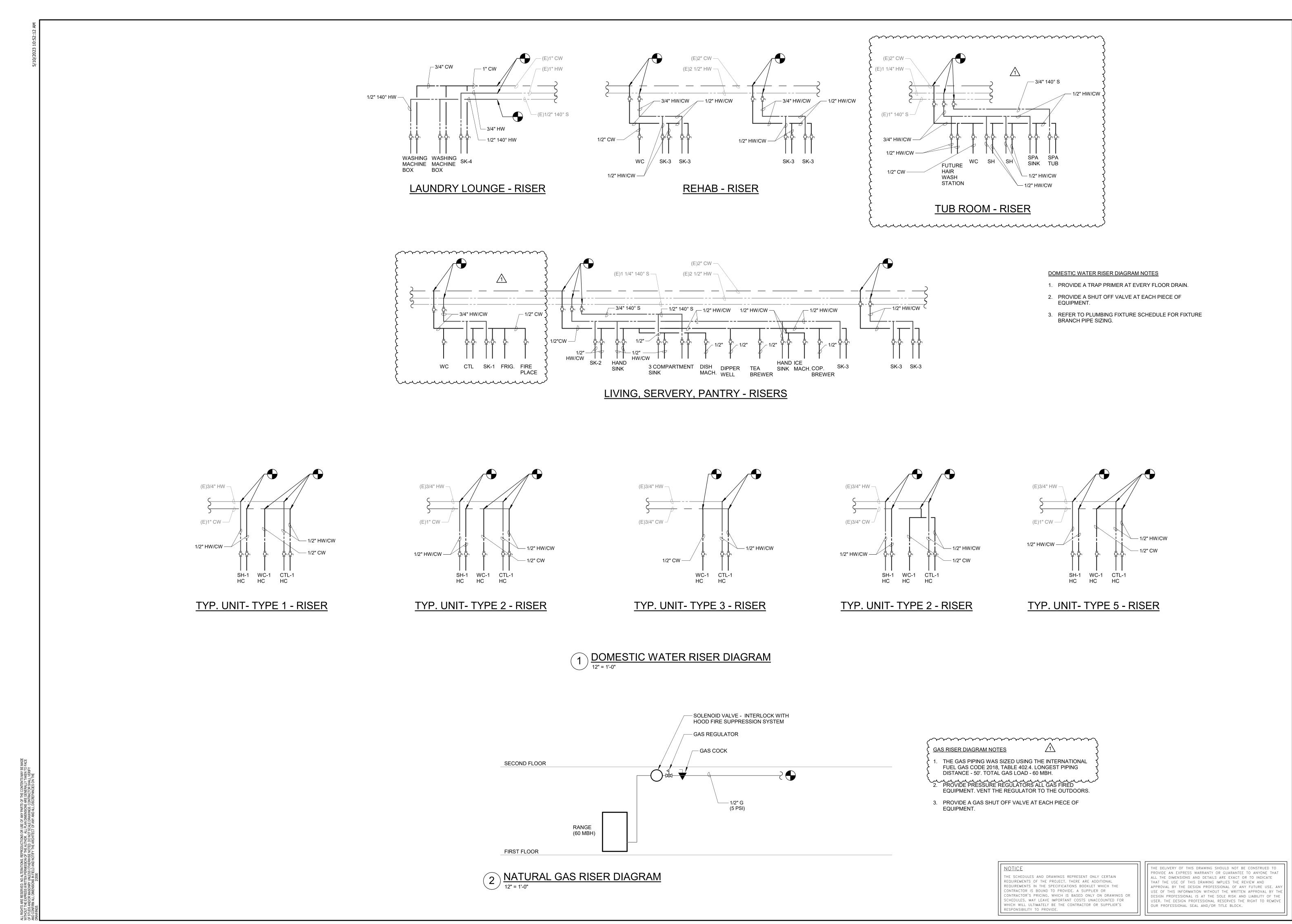
RETIREMENT - 420 DELAY FORT WASHIN Acts

ACTS

RISER DIAGRAMS-SANITARY/STORM



LI RIGHTS ARE RESERVED. NO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE CONTENTS MAY BE MADE ITHOUT THE EXPRESS WRITTEN PERMISSION OF THE AUTHOR. ALL PLAN DIMENSIONS ARE GENERALLY TAKEN TO FACE



marks

136 Poplar Street, Ambler, PA 19002
1950 Route 70, Suite 102, Cherry Hill, NJ 080
www.mchugheng.com
215.654.7722

kramermarks.com 215.654.7

RECEIVED

5/10/2023

W.S. CUMBY

BID SET

W.S. CUMBY

BID SET

04/21/2023

S GRANITE FARMS WBC - PHASE (1343 WEST BALTIMORE PIKE MEDIA, PA 19063

Acts RETIREMENT - LI

420 DELAWAR
FORT WASHINGTO

COMMUNITIES

# DRAWN P. M. P.I.C. ISSUE DATE
Author JB SGG 04.21.2023

REVISIONS
ADDENDUM #1 05/09/2023

RISER DIAGRAMS-DOMEWSTIC WATER / GAS

P-602

MCB

MAIN CIRCUIT BREAKER

#### **ABSOLUTE** MECHANICAL ALTERNATING CURRENT MCC MOTOR CONTROL CENTER AFF ABOVE FINISHED FLOOR MCM THOUSAND CIRCULAR MILLS MFR MANUFACTURER AHU AIR HANDLING UNIT AMP, A MANHOLE, MOUNTING HEIGHT APPROVED MINIMUM APPROX **APPROXIMATE** MISC MISCELLANEOUS AUTOMATIC TRANSFER SWITCH MLO MAIN LUG ONLY ATS AVG **AVERAGE** MOD MOTOR OPERATED DAMPER BLDG BUILDING MTD MOUNTED CONDUIT NEW CB CIRCUIT BREAKER NOT APPLICABLE COL COLUMN NORMALLY CLOSED CONN CONNECTION NEUT NEURAL CONT CONTINUED NOT IN CONTRACT CONTR CONTRACTOR NIGHT LIGHT ON 24/7 DECIBEL NORMALLY OPEN DEG NUMBER DEGREE DIAMETER NOT TO SCALE DIA NTS OUTSIDE DIAMETER DOWN OD **DOUBLE THROW** OVERHEAD DWG DRAWING OHD OVERHEAD DOOR **EXISTING** PERCENT E.C. **ELECTRICAL CONTRACTOR PUSH BUTTON** PB **EXHAUST FAN** PHASE-ELECTRICAL **ELEVATION** PANEL **ELEC** ELECTRICAL POLYVINYL CHLORIDE PIPE PVC REMOVE EXISTING EQUAL EQUIP **EQUIPMENT** RELOCATE EXISTING (RE) **EWC** ELECTRIC WATER COOLER R&D RESEARCH & DEVELOPMENT EWH ELECTRIC WATER HEATER REQ REQUIRED EXT EXTERIOR RMROOM DEGREE FAHRENHEIT SCH SCHEDULE FIRE ALARM CONTROL PANEL SQUARE FEET FBO **FURNISHED BY OTHERS** SURGE PROTECTION DEVICE SPD FD FLOOR DRAIN SPECIFICATION FIRE DEPARTMENT CONNECTION SQ FDC SQUARE FIRE HOSE CABINET SAFETY SWITCH SS FIN FINISH SINGLE THROW FINISHED FLOOR STD STANDARD FLR **FLOOR** STL STEEL **FEET** STRUC STRUCTURAL FU,F **FUSED** SWITCH SW GALV GALVANIZED SWBD SWITCHBOARD GFCI **GROUND-FAULT CURRENT-**SWGR SWITCHGEAR INTERRUPTER **TEMPERATURE** GRD, GND GROUND TEL TELEPHONE GWH GAS WATER HEATER THERM THERMOMETER HC **HANDICAP** TYP **TYPICAL HORSEPOWER** UNDERGROUND UG HOUR **UNIT HEATER** HEIGHT UNDERWRITER'S LABORATORY HTR HEATER **UNLESS OTHERWISE NOTED** U.O.N. HIGH VOLTAGE UTIL UTILITY HVAC **HEATING VENTILATION AIR** CONDITIONING **VOLTS** ΗZ FREQUENCY-ELECTRICAL VΒ VACUUM BREAKER VERT VERTICAL INSIDE DIAMETER INDIRECT DRAIN VFD VARIABLE FREQUENCY DRIVE JUNCTION BOX VIF VERIFY IN FIELD ΚV KILOVOLTS VPC VIA PHOTOCELL KVA KILOVOLT AMPERE VTC VIA TIME CLOCK KW KILOWATT WIRE KILOWATT HOUR KWH WITH LINEAR FEET WEATHERPROOF LV LOW VOLTAGE W/O WITHOUT MAU MAKE-UP AIR UNIT **TRANSFORMER** MAX MAXIMUM

**ABBREVIATIONS** 

### GENERAL NOTES

- 1. ALL WORK IS TO CONFORM WITH THE [INSERT CODE YEAR] NATIONAL ELECTRICAL CODE AND ALL APPLICABLE CODES, REGULATIONS AND STANDARDS. NOT ALL CODE REQUIREMENTS HAVE BEEN DESCRIBED IN THIS SPECIFICATION OR INDICATED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE CODES AND INSTALL THE WORK IN ACCORDANCE WITH CODES.
- 2. OBTAIN AND PAY FOR ALL BUILDING PERMITS, INSPECTIONS, CONNECTION CHARGES, AND FEES.
- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SUPERVISION NECESSARY TO INSTALL COMPLETE OPERATING ELECTRICAL SYSTEMS AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING ALL SITE WORK ON THE SITE AND WITHIN THE PROPOSED CONSTRUCTION AREAS TO ACCOMPLISH THE REQUIRED WORK.
- 4. THE CONTRACTOR IS TO BE RESPONSIBLE FOR COORDINATION OF ALL WORK ASSOCIATED WITH THE ELECTRIC UTILITY COMPANY. MAKE ALL ARRANGEMENTS IN A TIMELY FASHION FOR CONNECTION OF THE ELECTRICAL
- 5. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE TAKEN AS A WHOLE. IF A CONFLICT OR CONTRADICTION EXISTS BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT WILL APPLY. THE ARCHITECT'S AND ENGINEER'S INTERPRETATION OF THE DOCUMENTS ARE TO BE BINDING UPON THE CONTRACTOR.
- 6. PROVIDE SHOP DRAWINGS OF ALL EQUIPMENT FOR REVIEW PRIOR TO ORDERING. COORDINATE ALL PHYSICAL DIMENSIONS PRIOR TO SHOP DRAWING SUBMISSION.
- 7. IF THE CONTRACTOR ELECTS TO SUBMIT ALTERNATE EQUIPMENT, MANUFACTURERS, SYSTEMS, METHODS, OR MATERIALS NOT SPECIALLY IDENTIFIED IN THE DRAWINGS AND SPECIFICATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE WORK WITH OTHER TRADES AND PAY FOR ANY ADDITIONAL COSTS ASSOCIATED WITH THE SUBSTITUTION OR CHANGE.
- 8. THE CONTRACTOR IS TO SURVEY AND VERIFY ALL EXISTING CONDITIONS PRIOR TO BID SUBMISSION AND BECOME AWARE OF ALL CONDITIONS WHICH MAY IMPACT THE REQUIRED WORK, CONTRACTOR IS TO INCLUDE ALL ASSOCIATED COSTS (MATERIALS/ LABOR) DETERMINED TO BE REQUIRED DURING SITE INSPECTIONS. CONTRACTOR'S BID SUBMISSION IS TO BE CONSIDERED PROOF THAT THIS REQUIREMENT HAS BEEN MET.
- 9. FINAL LOCATIONS OF ALL DEVICES IN FINISHED SPACES ARE TO BE COORDINATED, AND APPROVED BY THE ARCHITECT/ OWNER PRIOR TO ROUGH-IN AND INSTALLATION.
- 10. COORDINATE LOCATIONS AND ROUGH-IN REQUIREMENTS WITH ALL TRADES PRIOR TO INSTALLATION.
- 11. PROVIDE 3/8" = 1'-0" SCALE DRAWINGS OF THE MAIN ELECTRICAL ROOM INDICATING ALL ELECTRICAL, MECHANICAL, PLUMBING, TELEPHONE, SECURITY, FIRE ALARM, AND LIFE SAFETY EQUIPMENT TO BE INSTALLED WITHIN THIS ROOM. ALL EXACT DIMENSIONS OF EQUIPMENT, PADS, ETC., ARE TO BE INDICATED. PROVIDE TWO CROSS-SECTIONS AT IMPORTANT POINTS. OBTAIN INFORMATION FROM OTHER SUB-CONTRACTORS AS NEEDED, AND APPROPRIATE. SUBMIT THE ABOVE FOR REVIEW, AND APPROVAL ALONG WITH ELECTRICAL EQUIPMENT SUBMITTALS. EQUIPMENT WILL NOT BE APPROVED PRIOR TO REVIEW OF THIS DRAWING
- 12. PROVIDE ADDRESSABLE FIRE ALARM SYSTEM WITH BATTERY BACKUP, HORN/ STROBES, MANUAL PULL STATIONS, DETECTORS, STROBES, DUCT DETECTORS, REMOTE ANNUNCIATOR, ELEVATOR CONTROLS (FOR RECALL AND DE-ENERGIZING), TELEPHONE AUTO DIALER, FIRE-FIGHTER PHONES, AND ALL ASSOCIATED CONTROLS, AND **APPURTENANCES**
- 13. PROVIDE POWER TO HVAC AND PLUMBING EQUIPMENT AS REQUIRED FOR COMPLETE, OPERATIONAL SYSTEMS.
- 14. PROVIDE LIGHTING THROUGH-OUT, WITH EXTERIOR LIGHTING AT ALL EGRESS DOORS.
- 15. THE CONTRACTOR IS TO BE RESPONSIBLE FOR SELECTING PARTICULAR MOUNTING ARRANGEMENTS OF FIXTURES TO SUIT THE CONSTRUCTION, OR CEILING TYPE. THE CONTRACTOR OR HIS AGENT IS TO REVIEW ALL ARCHITECTURAL PLANS, ELEVATIONS AND DETAILS TO VERIFY ALL CEILING TYPES PRIOR TO PREPARING SHOP DRAWINGS FOR SUBMISSION. IT IS NOT TO BE UNDERSTOOD THAT THE LIGHTING FIXTURE SCHEDULE ACCOUNTS FOR THE MOUNTING TYPES. CEILING TYPES ARE FREQUENTLY CHANGED AFTER THE SCHEDULE HAS BEEN COMPLETED.
- 16. FIXTURES AND DEVICES RECESSED IN A FIRE-RATED CEILING ARE TO BE PROVIDED WITH A FIRE-RATED ENCLOSURE THAT MAINTAINS THE FIRE-RATING OF THE CEILING SYSTEM. THE INSTALLATION OF THE ENCLOSURE IS TO MEET THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. WHERE APPLICABLE, FIXTURES AND DEVICES ARE TO BE RATED FOR INSULATION CONTACT (IC) FOR HIGH-TEMPERATURE OPERATION.
- 17. ALL ROOMS ARE TO BE PROVIDED WITH LIGHTING CONTROLS. PROVIDE MANUAL SWITCH(ES) AND APPROPRIATE. CODE-REQUIRED LIGHTING CONTROL DEVICES, WIRING METHODS, AND COMPONENTS.
- 18. PROVIDE EGRESS AND EMERGENCY LIGHTING AS REQUIRED BY CODE IN ALL SPACES TO MEET REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. ALLOW FOR TEN ADDITIONAL FIXTURES TO BE INSTALLED WHERE DIRECTED BY THE AUTHORITY HAVING JURISDICTION.
- 19. PROVIDE GROUNDING SYSTEM FOR FACILITY IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
- 20. PROVIDE ROOF PENETRATIONS FOR ALL ASSOCIATED ELECTRICAL WORK.
- 21. ALL DEVICES ARE TO BE INSTALLED SQUARE, LEVEL, PLUMB, AND TRUE.
- 22. SWITCH PLATES AND OUTLET BACKBOXES ARE NOT TO BE INSTALLED BACK-TO-BACK IN ADJACENT ROOMS. BACKBOX LOCATIONSARE TO BE OFFSET A MINIMUM OF 0'-3" TO REDUCE NOISE TRANSFER. THIS APPLIES TO RECEPTACLES, LIGHTING FIXTURES, TV OUTLETS, TELEPHONE OUTLETS, AND DATA OUTLETS.
- 23. ALL DEVICES LOCATED ON OPPOSING SIDES OF A FIRE-RATED WALL ASSEMBLY ARE TO BE SEPARATED BY A HORIZONTAL DISTANCE OF NOT LESS THAN 2'-0".
- 24. GROUND FAULT CIRCUIT INTERRUPTERS ARE TO BE PROVIDED FOR ALL OUTDOOR RECEPTACLE CIRCUITS, RECEPTACLE CIRCUITS WITHIN TOILET AND BATHROOMS, AREAS IN CLOSE PROXIMITY TO WATER, AND WHEREVER ELSE INDICATED ON THE DRAWINGS OR AS REQUIRED BY CODE. WHILE-IN-USE TYPE COVERS ARE TO BE USED FOR ALL EXTERIOR LOCATIONS.
- 25. PROVIDE CODE REQUIRED SIGNAGE (I.E., NEC 110.34, NEC 700.8, AND 695.4 B3).
- 26. PROVIDE THIRD-PARTY CERTIFICATION OF ALL PACKAGED SYSTEMS BY A NATIONALLY RECOGNIZED TESTING LABORATORY (NRTL) IN ACCORDANCE WITH OSHA FEDERAL REGULATIONS 29CFR1910.303 AND .399 AS WELL AS PAMPHLET #70 AND NATIONAL ELECTRICAL CODE ARTICLE 90-7.
- 27. ALL EQUIPMENT PANELS, CONTROLS, SAFETY SWITCHES, AND DEVICES ARE TO BE PROVIDED WITH PERMANENT BLACK LAMINATED MICARTA WHITE CORE LABELS WITH 3/8" LETTERS. THIS ALSO APPLIES TO ALL CONTROLLERS, REMOTE START/ STOP PUSHBUTTONS, EQUIPMENT CABINETS, AND WHERE DIRECTED BY THE ARCHITECT AND ENGINEER. THIS REQUIREMENT DOES NOT APPLY TO INDIVIDUAL ROOM THERMOSTATS, AND LOCAL LIGHTING
- 28. ALL THREE PHASE STARTER EQUIPMENT IS TO BE PROVIDED BY THE MECHANICAL CONTRACTOR AND IS TO BE MAGNETIC, ACROSS-THE-LINE WITH AUXILIARY CONTACTS. ALL SINGLE PHASE STARTER EQUIPMENT IS TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
- 29. ALL WORK IS TO BE CONCEALED, UNLESS OTHERWISE INDICATED.
- 30. ALL EXPOSED INTERIOR WIRING, PANEL FEEDERS, HOME RUNS, AND EQUIPMENT FEEDERS ARE TO BE INSTALLED IN EMT (ELECTRICAL METALLIC TUBING). ALL EMT IS TO BE SECURELY FASTENED AT INTERVALS NOT EXCEEDING 10-0" AND WITHIN 3'-0" OF ALL BOXES. NOTE: "EXPOSED" INDICATES ALL WIRING METHODS NOT INSTALLED WITHIN WALLS, ABOVE SUSPENDED CEILINGS, OR WITHIN A PRE-MANUFACTURED RACEWAY. ANY EXPOSED RACEWAY IN A FINISHED SPACE IS TO BE COORDINATED WITH THE ARCHITECT/ ENGINEER PRIOR TO INSTALLATION.
- 31. ALL CONCEALED BRANCH CIRCUIT WIRING METHODS INSTALLED ABOVE SUSPENDED CEILINGS, AND IN STUD PARTITIONS IS TO BE MC (METAL CLAD) CABLE. MC CABLE IS TO BE SECURELY FASTENED AT INTERVALS NOT EXCEEDING 4'-6", AND WITHIN 1'-0" OF ALL BOXES AND/OR FITTINGS.
- 32. PROPERLY INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF ALL SYSTEMS AND EQUIPMENT. PROVIDE THREE INSTRUCTION AND MAINTENANCE MANUALS. SUBMIT MANUALS FOR REVIEW PRIOR
- 33. PROVIDE ONE SET OF ELECTRONIC AS-BUILT DRAWINGS AT COMPLETION OF WORK. SUBMIT TO OWNER AND

#### ENGINEER FOR REVIEW AND APPROVAL PROJECT DEDUCT/ ADD ALTERNATES

ADD ALTERNATE: INSTALL FIXTURE TYPE "H" IN DINING & LIVING RMS INSTEAD OF "B" TYPE.

### DEDUCT ALTERNATES: .....

- ALL PANELBOARD FEEDERS AND BRANCH CIRCUIT WIRING METHODS, 100 AMPS AND LARGER AS WELL AS PRIMARY CABLE, TRANSFORMER COILS, BUSWAYS AND SWITCHBOARDS ARE TO BE ALUMINUM IN LIEU OF COPPER PER SPECIFICATION SECTION
- ALL FIRE ALARM WIRING IS TO BE FPLP PLENUM RATED FIRE ALARM CABLE IN LIEU OF FIRE ALARM MC CABLE PER SPECIFICATION SECTION 28 30 00.

### DRAWING LIST

	Dr	awing List- El	ectrical		
NUMBER	NAME	Current Issue	Current Revision	Current Revision Date	Current Revision Description
E-001	COVER SHEET- ELECTRICAL	BID	1	05/09/2023	ADDENDUM #1
ED101	DEMOLITION PLAN- ELECTRICAL	BID			
ED102	DEMOLITION UNIT PLANS- ELECTRICAL	BID			
E-101A	FIRST FLOOR PLAN -LIGHTING	BID	1	05/09/2023	ADDENDUM #1
E-101B	FIRST FLOOR PLAN- LIGHTING	BID	1	05/09/2023	ADDENDUM #1
E-201A	FIRST FLOOR PLAN- POWER	BID			
E-201B	FIRST FLOOR PLAN- POWER	BID			
E-301	ENLARGED PLANS- LIGHTING	BID	1	05/09/2023	ADDENDUM #1
E-302	ENLARGED PLANS- LIGHTING	BID	1	05/09/2023	ADDENDUM #1
E-303	ENLARGED UNIT PLANS- LIGHTING	BID			
E-304	ENLARGED PLANS- POWER	BID	1	05/09/2023	ADDENDUM #1
E-305	ENLARGED PLANS- POWER	BID	1	05/09/2023	ADDENDUM #1
E-306	ENLARGED UNIT PLANS- POWER	BID	1	05/09/2023	ADDENDUM #1
E-400	SCHEDULES & DETAILS- ELECTRICAL	BID	1	05/09/2023	ADDENDUM #1
E-401	SCHEDULES & DETAILS - ELECTRICAL	BID			
E-500	SCHEDULES & DETAILS - ELECTRICAL	BID	1	05/09/2023	ADDENDUM #1
E-501	DETAILS - ELECTRICAL	BID			

### **ELECTRICAL SYMBOLS AND ABBREVIATIONS**

SINGLE-POLE WALLBOX SWITCH TELEVISION OUTLET: 3-WAY WALLBOX SWITCH

4-WAY WALLBOX SWITCH

LUMINAIRE CONTROL SYSTEM DIMMER LUMINAIRE CONTROL SYSTEM WALLBOX CONTROL FOR TIMECLOCK PROGRAM

OVERRIDE INDICATES AREA OR ZONE OF CONTROL

**EMERGENCY SHUT-DOWN SWITCH** 

SINGLE-POLE WALLBOX SWITCH WITH INTEGRAL TIMER FUNCTION. SINGLE-POLE WALLBOX SWITCH WITH PILOT

LIGHT DUAL TECHNOLOGY, WALL BOX OCCUPANCY

SENSOR WITH OFF/ AUTO OVERRIDE SWITCH

DUAL TECHNOLOGY, CEILING MOUNTED OCCUPANCY SENSOR

DUAL TECHNOLOGY, WALL BOX VACANCY SENSOR WITH OFF/ AUTO OVERRIDE SWITCH

DUAL TECHNOLOGY, CEILING MOUNTED VACANCY SENSOR

DUAL TECHNOLOGY, CEILING MOUNTED MOTION SENSOR

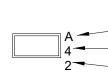
RECESSED. OR SURFACE MOUNTED LED LUMINAIRE CONNECTED TO NORMAL POWER. REFER TO THE LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION.



RECESSED, OR SURFACE MOUNTED LED LUMINAIRE CONNECTED TO EMERGENCY POWER, OR PROVIDED WITH INTEGRAL BATTERY BACK-UP. REFER TO THE LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION.



4'-0", LENSED LED INDUSTRIAL STRIP LUMINAIRE LENSED, LED UNDER CABINET LUMINAIRE.



INDICATES BRANCH CIRCUIT DESIGNATION - INDICATES CONTROL ZONE BATTERY PACK EMERGENCY LIGHTING UNIT

LENGTHS AS INDICATED ON PLANS.

- INDICATES LUMINAIRE TYPE

- WITH SOLID STATE CHARGER. CONNECT AHEAD OF ANY SWITCHING. REMOTE CAPABLE WHERE REQUIRED. REMOTE EMERGENCY LIGHTING UNIT
- CONNECTED TO EMERGENCY POWER, OR PROVIDED WITH INTEGRAL BATTERY BACK-UP. REFER TO THE LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION. EXIT SIGN LUMINAIRE GENERATOR OR BATTERY POWERED
- WALL MOUNTED EXIT SIGN LUMINAIRE
- GENERATOR OR BATTERY POWERED



CCTV CAMERA (POE)

- INDICATES WEATHERPROOF, EXTERIOR CAMERA

COMMON AREAS: PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE. DEVICES, WIRING METHODS AND TERMINATIONS BY OTHERS. MOUNT 60" ABOVE FINISHED FLOOR TO CENTER OF DEVICE OR AS DIRECTED BY THE OWNER. DWELLING UNITS:

PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE ABOVE STRUCTURED MEDIA ENCLOSURE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS. MOUNT 20" ABOVE FINISHED FLOOR TO TOP OF DEVICE.

DATA OUTLET: PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE, DEVICES, WIRING METHODS

AND TERMINATIONS BY OTHERS.

TELEPHONE OUTLET:

 INDICATES WALL PHONE MOUNTED 54" A.F.F COMMON AREAS: PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

DWELLING UNITS: PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE ABOVE STRUCTURED MEDIA ENCLOSURE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

COMBINATION TELEPHONE/ DATA OUTLET:

COMMON AREAS: PROVIDE BACK BOX WITH 1"Ø, BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE. DEVICES, WIRING METHODS AND TERMINATIONS BY OTHERS.

**DWELLING UNITS:** PROVIDE BACK BOX WITH 1"Ø, BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE ABOVE STRUCTURED MEDIA ENCLOSURE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

SECURITY/ ACCESS CONTROL. DEVICE DERIVES POWER FROM THE SECURITY/ ACCESS CONTROL HEAD-END EQUIPMENT COORDINATE ALL POWER REQUIREMENTS WITH THE SECURITY/ ACCESS CONTROL VENDOR. INDICATES DEVICE TYPE: AI = AI PHONE EQUIPMENT CR = CARD READER

ES = ELECTRIC DOOR STRIKE EX = REQUEST TO EXIT KP = KEY PAD MD = MOTION DETECTOR

ML = MAGNETIC LOCK RE = RFID EXCITER **VOLUME CONTROL DEVICE:** 

DC = DOOR CONTACT

PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE. DEVICES, WIRING METHODS, WX, OR FX AND TERMINATIONS BY OTHERS. MOUNT 46" ABOVE FINISHED FLOOR TO CENTER OF DEVICE OR AS DIRECTED BY THE OWNER.

MICROPHONE OUTLET

### **CONTRACTOR NOTES**

CONTRACTOR IS TO COORDINATE FINAL LOCATIONS FOR ALL KITCHEN EQUIPMENT, FLOOR DRAINS, FLOOR SINKS, ETC. WITH THE ARCHITECT/ OWNER/ KITCHEN CONSULTANT PRIOR TO ROUGH-IN WORK. CONTRACTOR IS TO COORDINATE WITH KITCHEN VENDOR AND KITCHEN CONSULTANT FOR ALL KITCHEN EQUIPMENT CONNECTION POINT LOCATIONS PRIOR TO ROUGH-IN. IT IS THE INTENT FOR ALL WORK TO BE CONCEALED UNLESS DIRECTED OTHERWISE, CONTRACTORS ARE TO MAKE ALL FINAL CONNECTIONS TO KITCHEN EQUIPMENT (CONTRACTOR IS TO FURNISH AND INSTALL NEW VALVED CONNECTIONS, DAMPERS, FITTINGS, ETC. FOR EACH PIECE OF EQUIPMENT [NEW AND EXISTING]). CONTRACTOR IS TO PROVIDE FLEXIBLE PIPE CONNECTIONS FOR ALL MOVABLE PIECES OF EQUIPMENT. CONTRACTOR IS TO PROVIDE WASHABLE, PVC-INSULATED FITTED COVERS, AND JACKET (MAHVILLE "PERMEWELL SYSTEM", USDA AND FDA APPROVED, WHITE) ON ALL EXPOSED PIPING (NEW AND EXITING). CONTRACTOR IS TO PERFORM A SITE VISIT PRIOR TO BID SUBMISSION AND INCLUDE ALL ASSOCIATED COSTS FOR ALL NEW AND EXISTING CONDITIONS. CONTRACTOR'S BID SUBMISSION IT TO BE CONSIDERED PROOF THAT ALL SURVEY AND VERIFICATION REQUIREMENTS HAVE BEEN MET.



SURFACE MOUNTED LIGHTING, OR POWER BRANCH CIRCUIT PANEL SERVED VIA NORMAL POWER FEEDER RECESSED MOUNTED LIGHTING, OR POWER

BRANCH CIRCUIT PANEL SERVED VIA NORMAL POWER FEEDER MOTOR

MOTOR RATED SWITCH (PROVIDE MANUAL MOTOR STARTER FOR OVERLOAD PROTECTION, AS REQUIRED)

UN-FUSED DISCONNECT SWITCH

FUSIBLE DISCONNECT SWITCH  $\mathsf{XXAT}^{oldsymbol{arphi}}$ XXAF = FRAME CAPACITY XXAT = TRIP RATINGENCLOSED CIRCUIT BREAKER

MOTOR STARTER

FRAME CAPACITY XXAT = TRIP RATING

> COMBINATION MOTOR STARTER/ DISCONNECT SWITCH

INDICATES HEIGHT ABOVE FINISHED FLOOR TO CENTER OF DEVICE(S) WIRING METHOD DESIGNATION (CONDUCTOR

QUANTITY AND SIZE) PANEL, AND POLE SPACE DESIGNATION (CONCEALED WIRING METHOD)

CONCEALED BRANCH CIRCUIT WIRING METHOD

DUPLEX RECEPTACLE DEVICE

JUNCTION BOX

TAG: D = DEDICATED OVERCURRENT PROTECTION DEVICE U = INTEGRAL USB OUTLETS DEVICE MOUNTED 0'-8" ABOVE COUNTER TOP T = TAMPER RESISTANT DEVICE

GFCI (GROUND-FAULT CIRCUIT-INTERRUPTER) DUPLEX RECEPTACLE DEVICE FOR PERSONAL

SWITCHED (BOTTOM OUTLET) DUPLEX RECEPTACLE DEVICE INDICATES CORRESPONDING CONTROL DEVICE

SINGLE RECEPTACLE DEVICE FOR EQUIPMENT DOUBLE DUPLEX RECEPTACLE DEVICE

SPECIAL RECEPTACLE DEVICE (COORDINATE

NEMA CONFIGURATION WITH FINAL **EQUIPMENT SELECTIONS)** POWER, CCTV, OR CATV W = WALL SOURCE

X = 2, 3, OR 4 GANG BOXFLUSH MOUNTED, ADJUSTABLE FLOOR BOX WITH POWER, IG POWER, AND VOICE/ DATA OUTLETS

= FLOOR SOURCE

WX, OR FX W = WALL SOURCE F = FLOOR SOURCE X = 2, 3, OR 4 GANG BOX

**PUSH-BUTTON DEVICE** ON/ OFF PUSH-BUTTON DEVICE

THREE FUNCTION PUSH-BUTTON **DEVICE** 

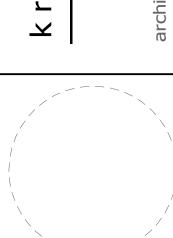
(UP/ DOWN/ STOP).

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE, A SUPPLIER OR CONTRACTOR'S PRICING. WHICH IS BASED ONLY ON DRAWINGS O SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF T USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO

 $\boldsymbol{\omega}$ 



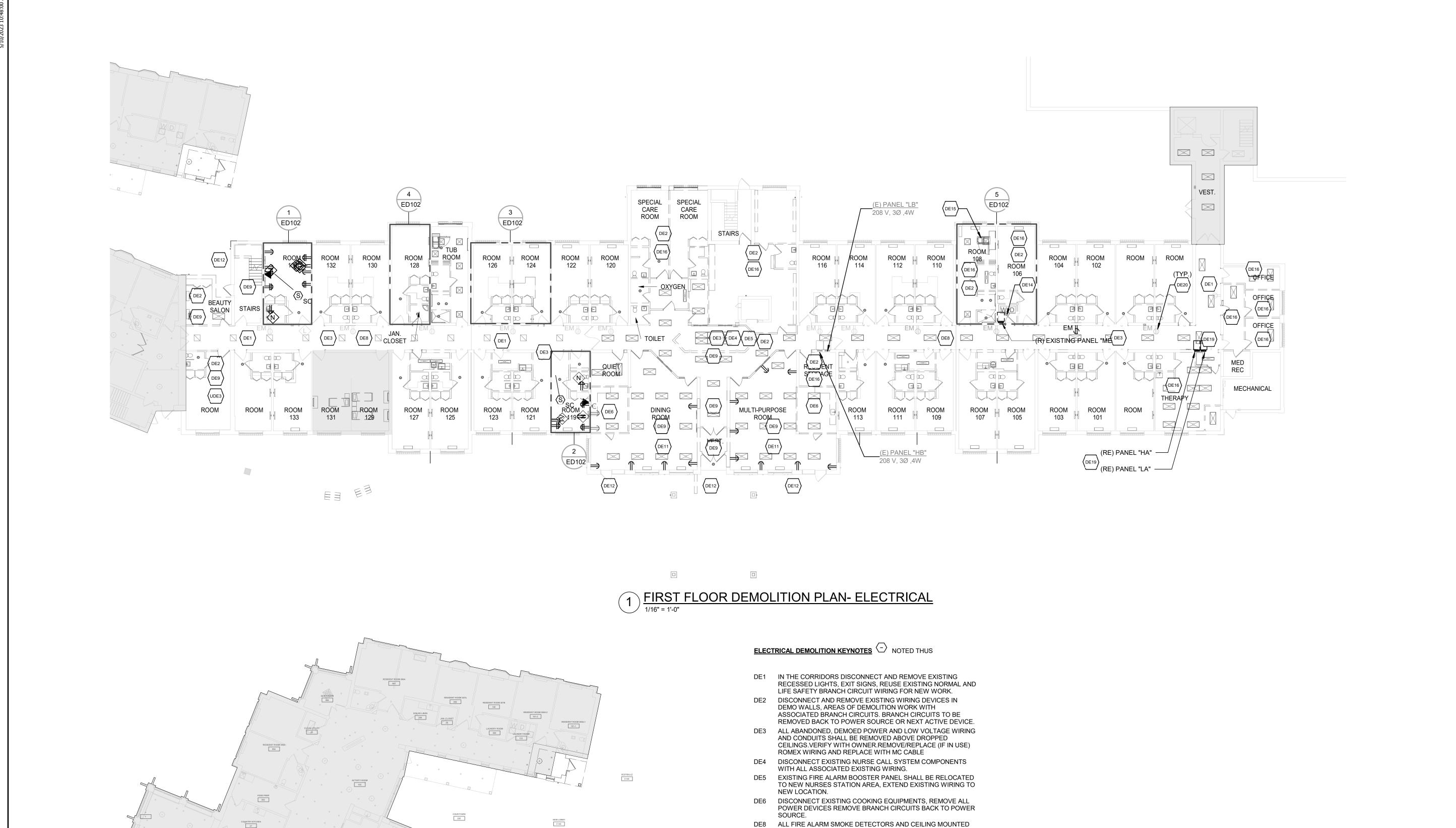
RECEIVED W.S. CUMBY

DMMUNIT

WBC **FARMS** 

IR  $\Delta$ 

**COVER SHEET-**



AND LIGHTING CONTROLS.

DE15 DISCONNECT POWER TO EXISTING SPA UNIT, REMOVE BRANCH CIRCUIT BACK TO POWER SOURCE.REUSE EXISTING CIRCUIT

FEEDER BACK TO PNL. "DP" IN ELEC/MECH RM. CUT CONDUIT

BREAKER FOR THE FEEDER TO NEW SPA LOCATION. DE16 DISCONNECT EXISTING LIGHTING & LIGHTING CONTROLS DE19 DE-ENERGIZE EXISTING PANELS "LA", "HA'. REMOE EXISTING

DE20 IN MAIN CORRIDOR DISCONNECT EXISTING RECEPTACLES ON

UDE3 DISCONNECT AND REMOVE EXISTING 120V ROOM SMOKE ALARM WITH ANNUNCIATOR AT THE EXISTING NURSES

EMERGENCY POWER FROM PANEL "NE".

ACTIVE DEVICE

POWER SOURCE.

BELOW SLAB AND CAP.

STATION

DEVICES TO REMAIN SHALL BE PROTECTED DURING DEMO AND NEW WORK AND SHALL BE RE-INSTALLED IN NEW CEILINGS. DE9 DISCONNETC AND REMOVE EXISTING LIGHTING, EXIT SIGNS DE12 DISCONNECT AND REMOVE EXISTING EXTERIOR LIGHTS AND BRANCH CIRCUIT WIRING BACK TO POWER SOURCE OR NEXT DE14 DISCONNECT AND REMOVE EXISTING LAUNDRY EQUIPMENT POWER OUTLETS, REMOVE BRANCH CIRCUITS BACK TO

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR

RESPONSIBILITY TO PROVIDE.

SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY T DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF TH USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

DEMOLITION PLAN-

COMMUNITI

RETIREMENT
420 DELA
FORT WASHIN

Acts

WBC

FIRST FLOOR DEMOLITION PLAN- CHERRY BLOSSOM WING- ELECTRICAL

1/16" = 1'-0"

CHARTING 085

RESIDENT ROOM 302B

RESIDENT ROOM 300A

1 TYPICAL UNIT DEMO PLAN- TYPE 1 AND TYPE 2- ELECTRICAL

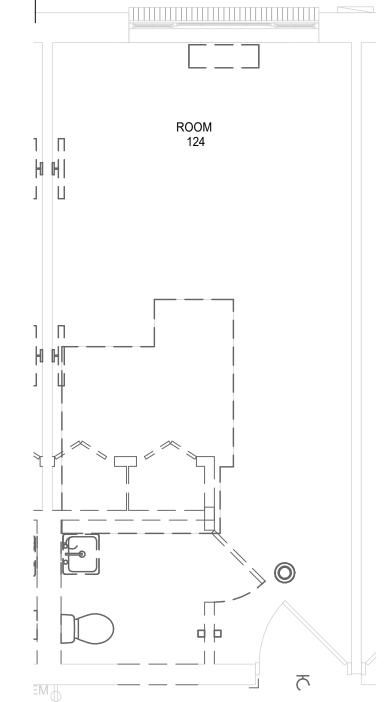
2 TYPICAL UNIT DEMO PLAN- TYPE 3- ELECTRICAL

1/4" = 1'-0"

ROOM

(UDE3)

(UDE8 N



3 TYPICAL UNIT DEMO PLAN- TYPE 4- ELECTRICAL

ELECTRICAL DEMOLITION KEYNOTES O NOTED THUS

DE16 DISCONNECT EXISTING LIGHTING & LIGHTING CONTROLS DE18 DISCONNECT CONNECTION TO THE SPA UNIT, REMOVE BRANCH CIRCUIT WIRING BACK TO POWER SOURCE.

UDE1 REPLACE EXISTING DUPLEX RECEPTACLES (ON NORMAL POWER) AT RESIDENT BED WITH QUAD OUTLETS ALL OTHER EXISTING RECEPTACLES (ON NORMAL POWER) TO REMAIN SHALL BE REPLACED WITH NEW DEVICE AND FACEPLATE TO MATCH NEW. REMOVE DEVICE IF INTERFERE WITH NEW AND

UDE1A REMOVE EXISTING SURFACE MOUNTED QUAD OUTLETS, DUPLEX OUTLET, SURFACE MOUNTED WIRING AT TV WALL, PATCH THE WALL.

UDE2 REMOVE EXISTING TV OUTLETS, PATCH THE WALL. UDE3 DISCONNECT AND REMOVE EXISTING 120V ROOM SMOKE ALARM WITH ANNUNCIATOR AT THE EXISTING NURSES

UDE4 DISCONNECT BATHROOM GFI RECEPTACLES, REMOVE WIRING TO THE NEXT ACTIVE DEVICE.

UDE6 REMOVE EXISTING LIGHTING FIXTURES IN THE LIVING SPACE, ENTRY, BATHRM, NIGHT LIGHTS WITH ASSOCIATED LIGHTING CONTROLS. REUSE EXISTING LIFE SAFETY EMERGENCY CIRCUITS FOR NEW WORK. REMOVE NORMAL POWER EXISTING

LIGHTING BRANCH CURCUIT WIRING BACK TO POWER SOURCE UDE7 DE-ENERGIZE EXISTING FAN COIL UNITS BEING REPLACED AND DISCONNECT. REUSE EXISTING 20A, 208V CIRCUIT FOR NEW WORK. DISCONNECT AND REMOVE 120V HYDRONIC HEAT FAN BRANCH CIRCUIT WIRING FROM PANEL "NE".

UDE8 DISCONNECT EXISTING NURSE CALL SYSTEM COMPONENTS WITH ALL ASSOCIATED EXISTING WIRING.

UDE9 DISCONNECT EXISTING EMERGENCY RECEPTACLES FROM EXISTING CIRCUIT IN PANEL "NE". REMOVE WIRING BACK TO PANEL. REUSE LOCATION FOR THE NEW QUAD OUTLET.

 $\boldsymbol{\sigma}$ 

RECEIVED W.S. CUMBY

COMMUNITIES

GRANITE FARMS WBC

RETIREMENT - 420 DELAY FORT WASHIN

DEMOLITION UNIT PLANS- ELECTRICAL

ROOM 128 JAN. CLOSET

EXISTING TUB<u>RO</u>OM STORAGE

5 TYPICAL UNIT DEMO PLAN- UNITS 108 & TUB ROOM- ELECTRICAL

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR

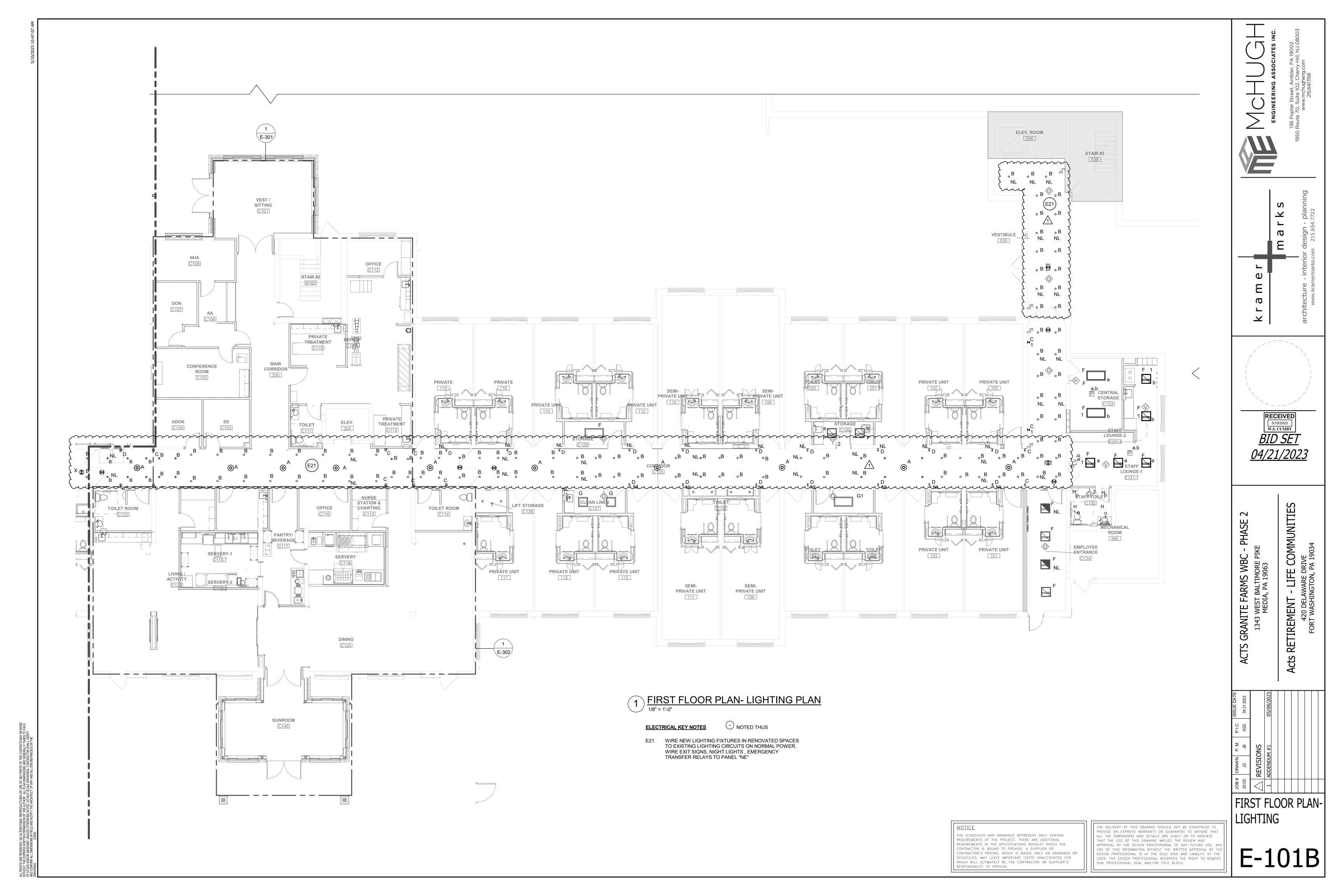
PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY CONTRACTOR'S PRICING. WHICH IS BASED ONLY ON DRAWINGS OF DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF T SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

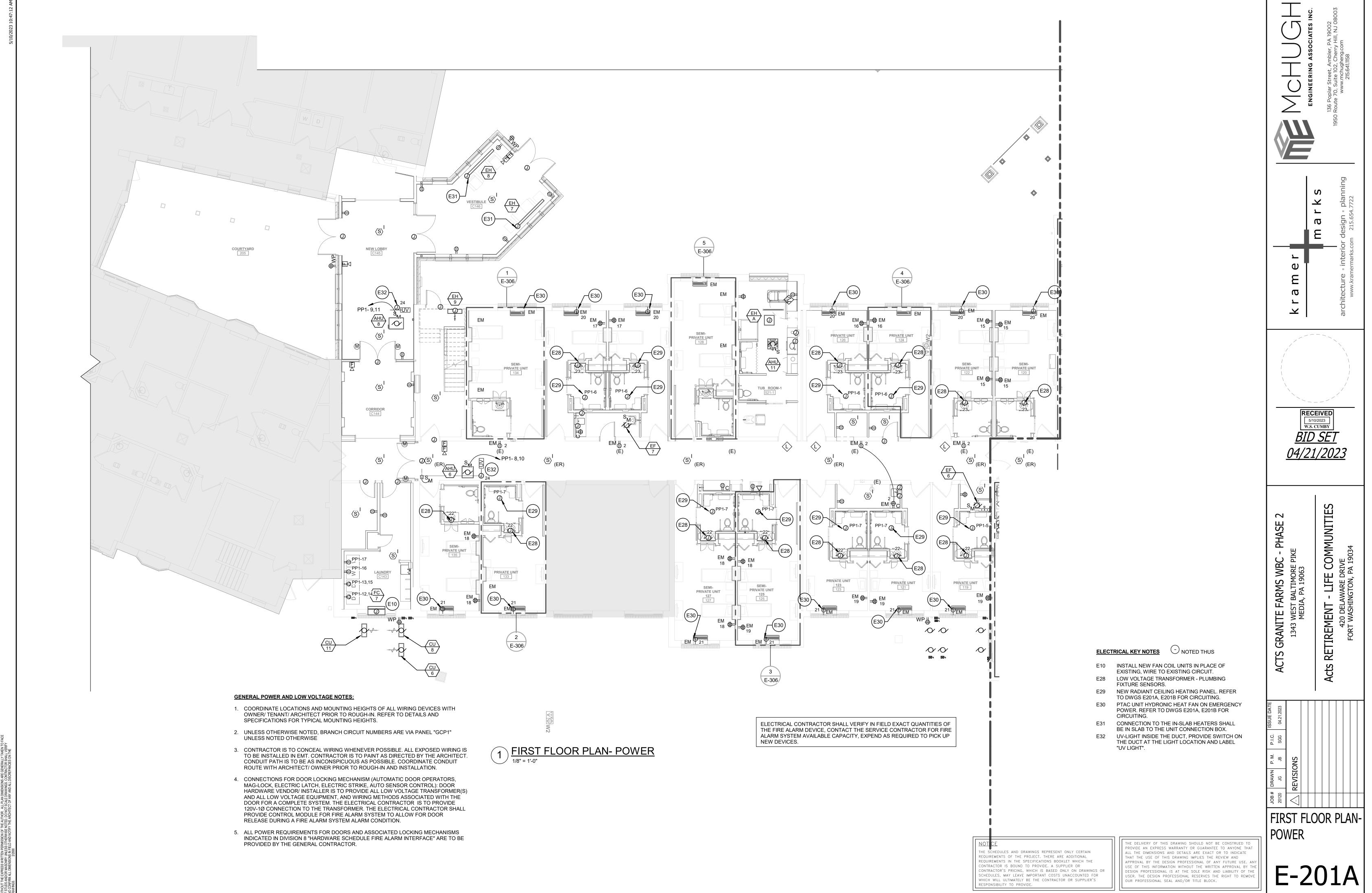
4 TYPICAL UNIT DEMO PLAN- TYPE 5- ELECTRICAL

RESPONSIBILITY TO PROVIDE.

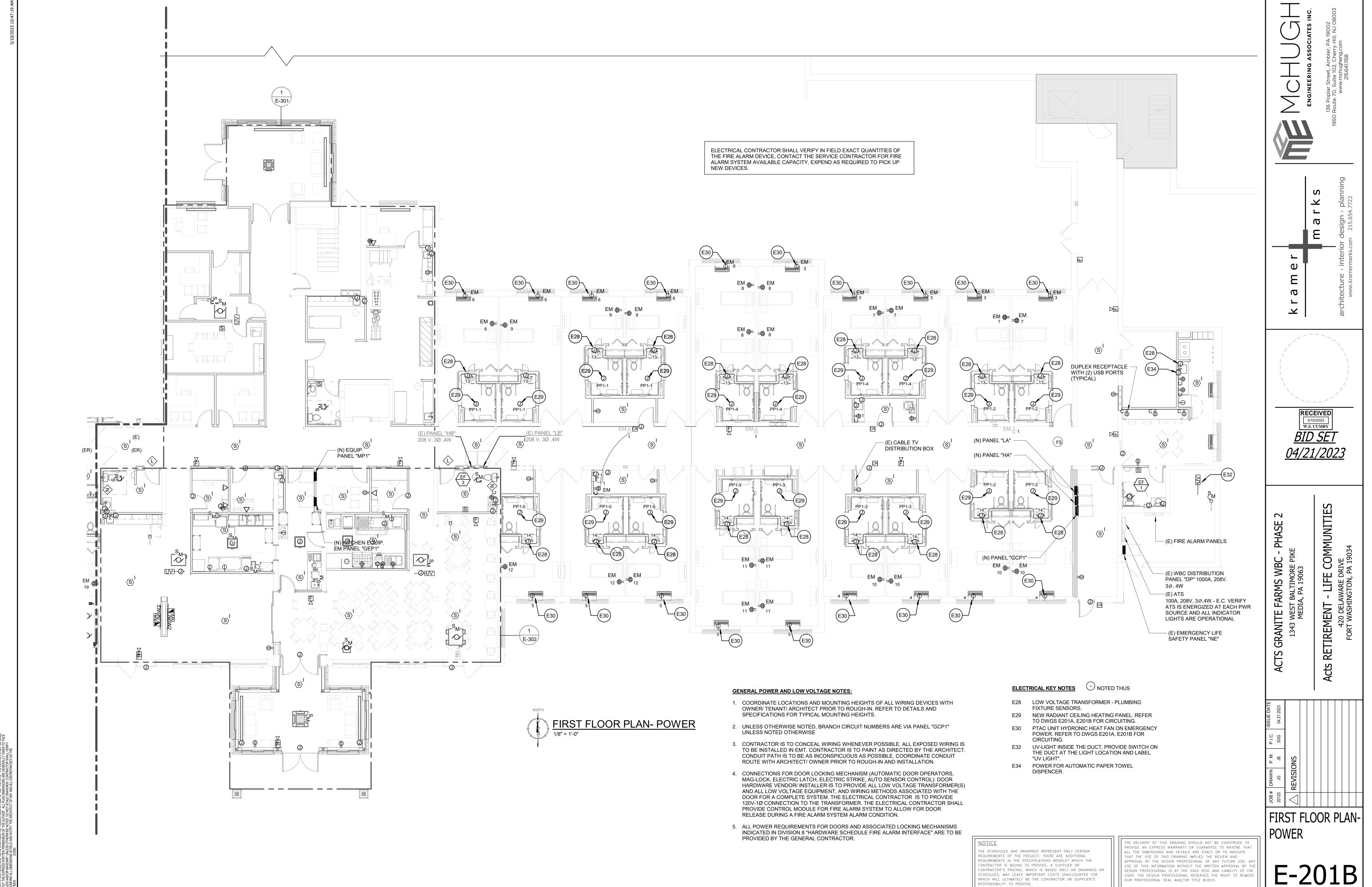
THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO

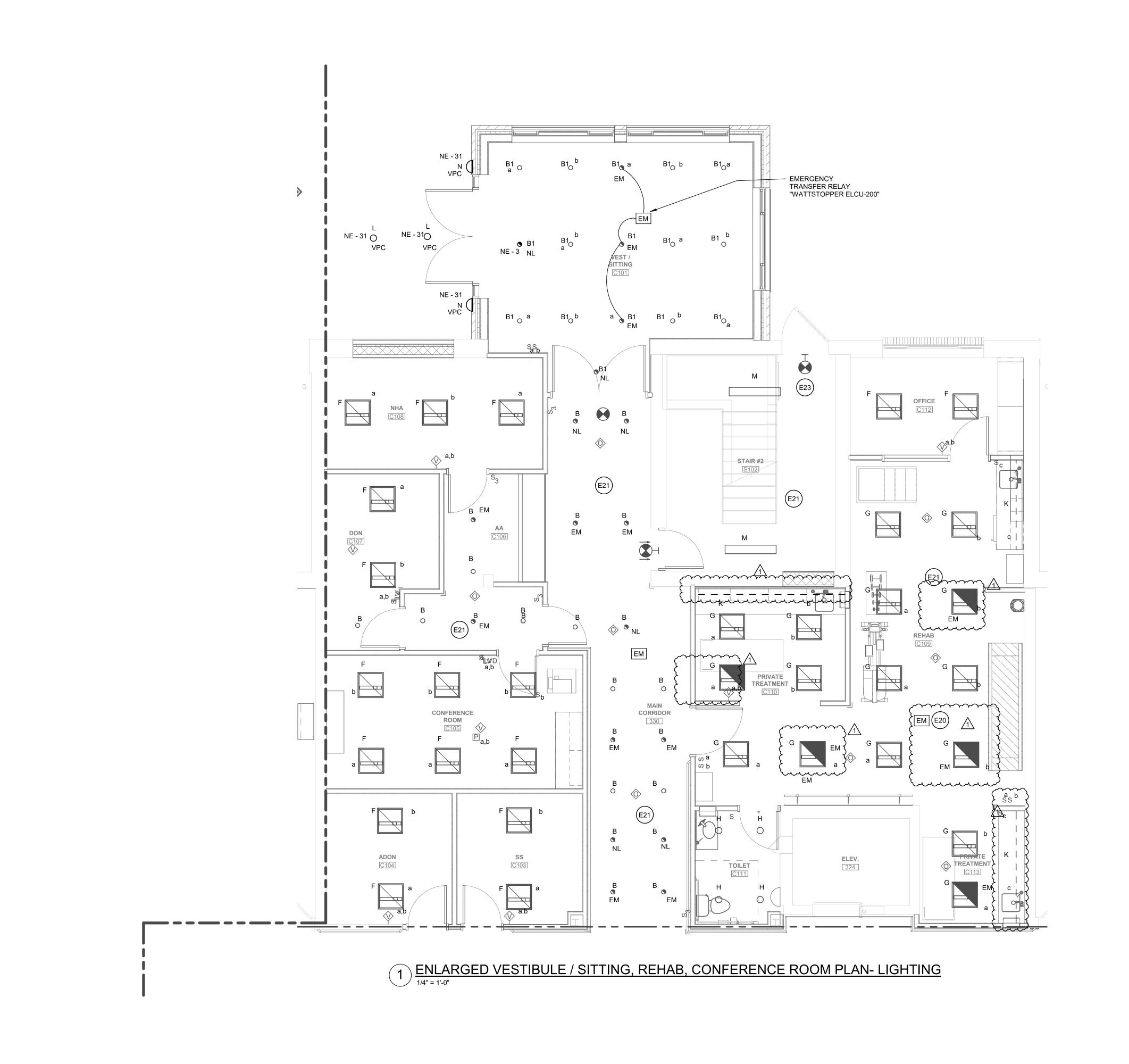






GHTS ARE RESERVED. NO ALTERATIONS, REPRODUCTIONS OR USE OF ANY PARTS OF THE CONTENTS MAY BE MADE





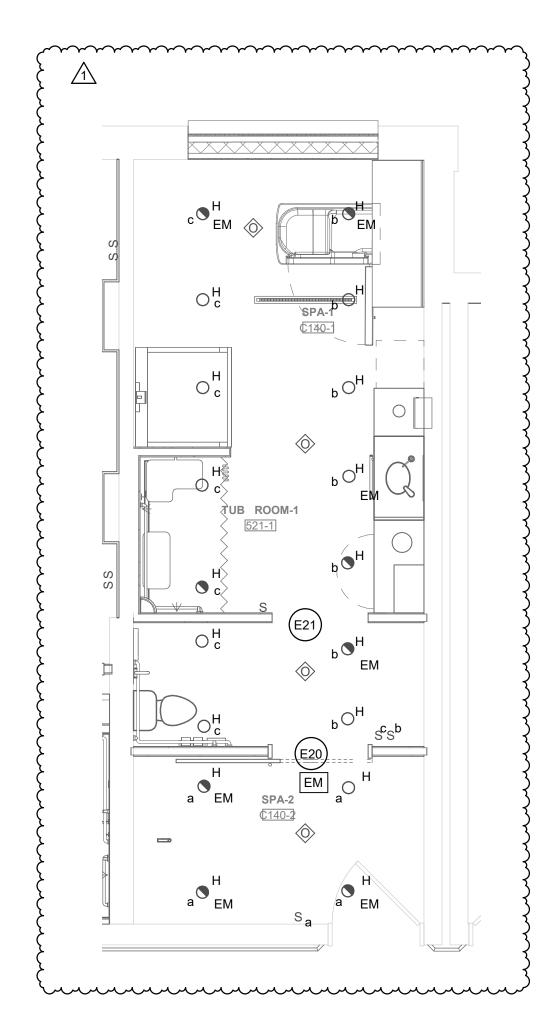
**ELECTRICAL KEY NOTES** 

O NOTED THUS

E20 EMERGENCY TRANSFERING RELAY FOR FIXTURES INDICATED WITH "EM". WIRE EMERGENCY SIDE TO EXISTING EXIT SIGN & NIGHT LIGHT CIRCUIT.

E21 WIRE NEW LIGHTING FIXTURES IN RENOVATED SPACES TO EXISTING LIGHTING CIRCUITS ON NORMAL POWER, WIRE EXIT SIGNS, NIGHT LIGHTS, EMERGENCY TRANSFER RELAYS TO

E23 REPLACE EXISTING EXIT SIGN WITH NEW WIRE TO EXISTING LIFE SAFETY CIRCUIT .



ENLARGED PLAN - TUB ROOM- LIGHTING

1/4" = 1'-0"

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

 $\boldsymbol{\sigma}$ 

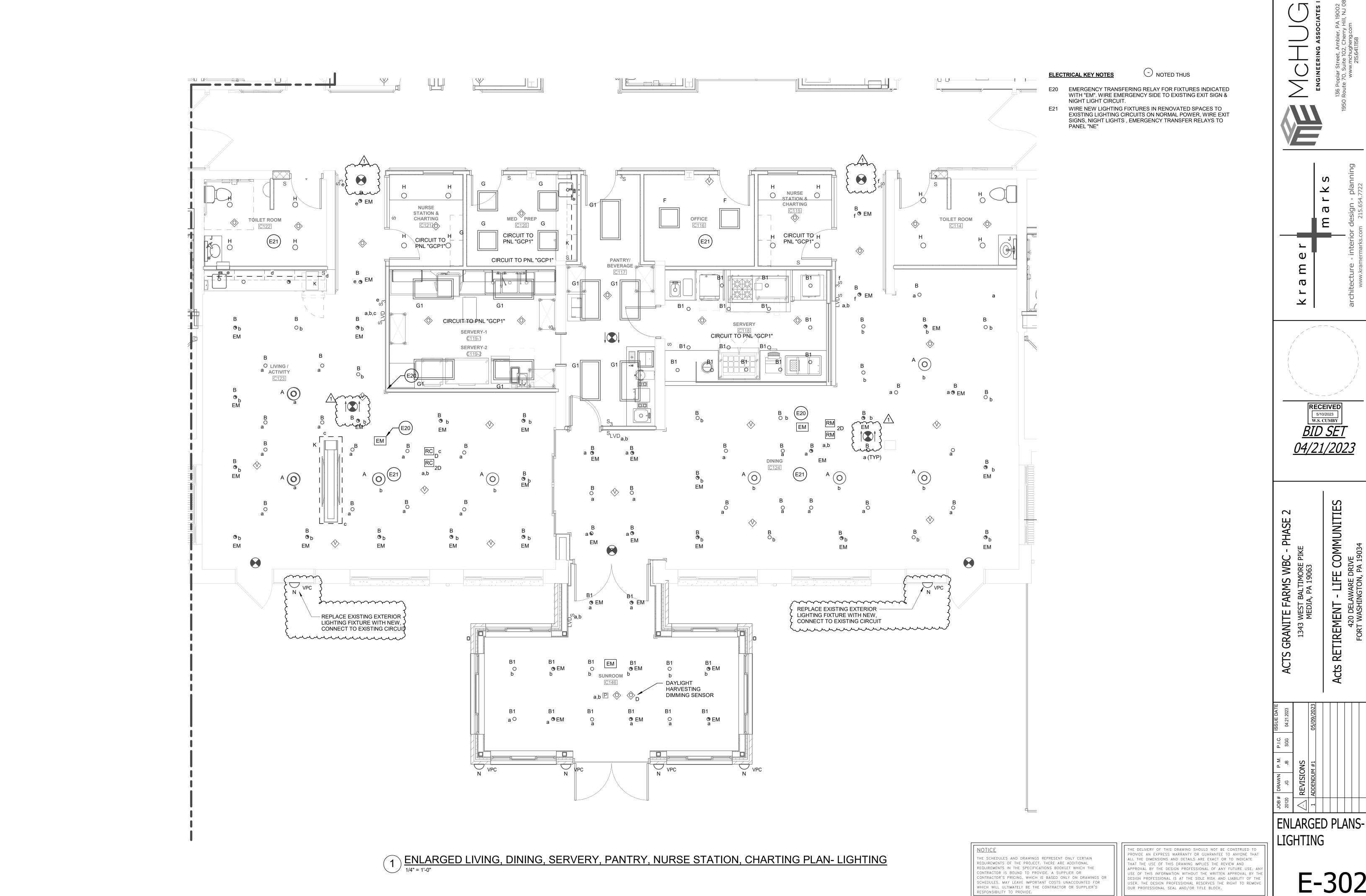


COMMUNITIES S GRANITE FARMS WBC - 1343 WEST BALTIMORE PIKE MEDIA, PA 19063

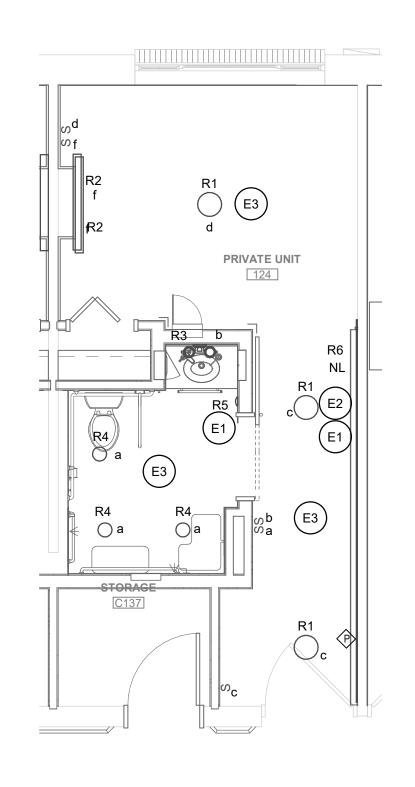
RETIREMENT - 420 DELAY FORT WASHIN

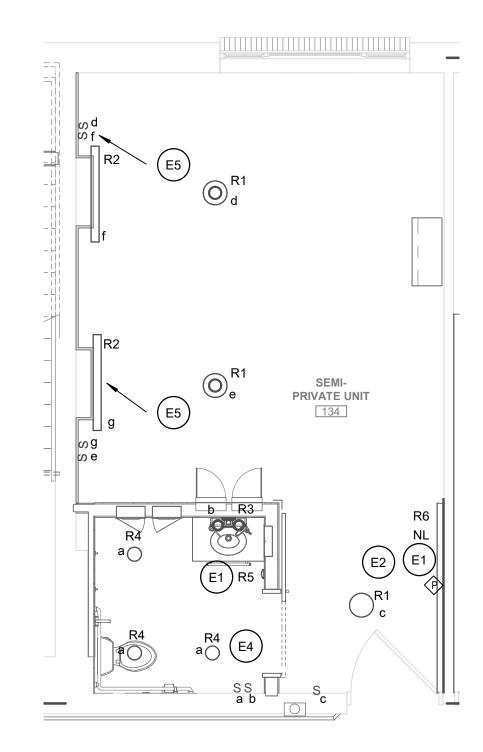
ENLARGED PLANS-LIGHTING

E-301



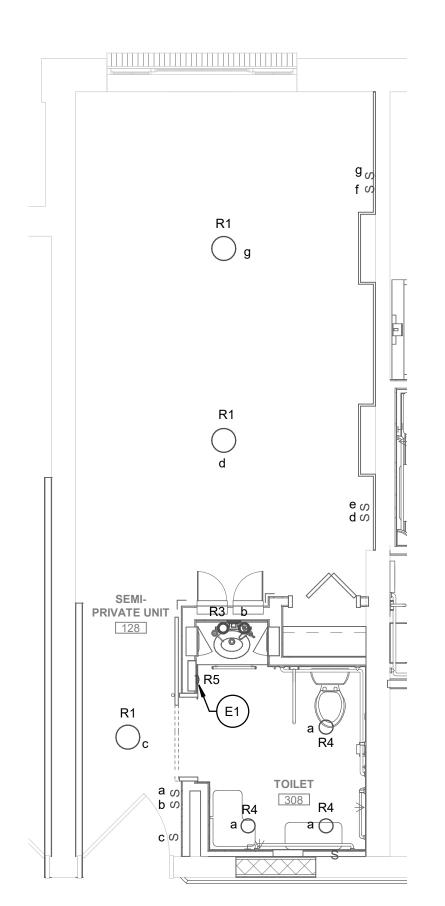
OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.



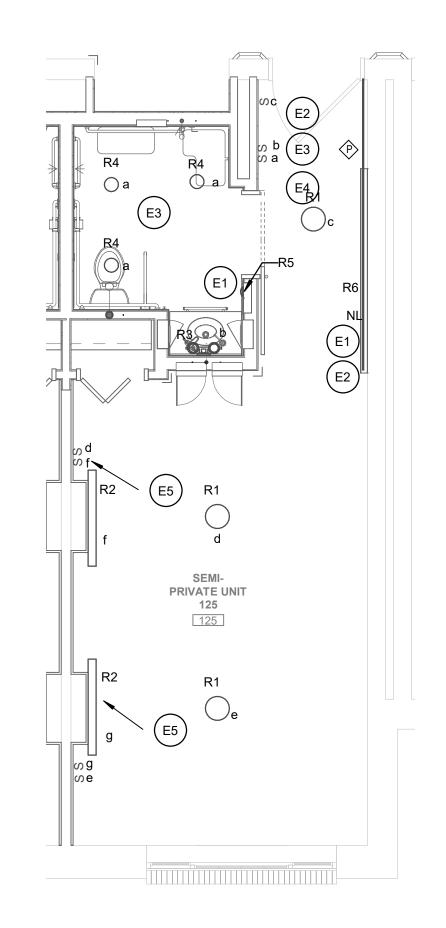


1 TYPICAL UNIT PLAN - TYPE 1- PRIVATE- LIGHTING

2 TYPICAL UNIT PLAN- TYPE 2- PRIVATE- LIGHTING
3 TYPICAL UNIT PLAN - TYPE 3- SEMI PRIVATE- LIGHTING
1/4" = 1'-0"







ELECTRICAL KEY NOTES - NOTED THUS

- E1 IN RESIDENT ROOMS WIRE NEW "NIGHT LIGHTS" (NL) TO EXISTING NIGHT LIGHT CIRCUIT IN THE ROOM.
- EXISTING NIGHT LIGHT CIRCUIT IN THE ROOM.

  NEW NIGHT LIGHT TYPE "R6" SHALL BE CONTROLLED BY THE WALL PHOTOCELL, EQUALS TO "INTERMATIC #K4321C".
- E3 IN RESIDENT ROOMS WIRE NEW LIGHTING FIXTURE TO EXISTING LIGHT CIRCUIT (ON NORMAL POWER) IN THE ROOM
- AND NEW CONTROLLES.

  E4 BATHROOM LIGHTING CONTROLS & BATHROOM HEATER TIMER SWITCH GANGED TOGETHER WITH COMMON FACEPLATE.
- SWITCH GANGED TOGETHER WITH COMMON FACEPLATE.
  PROVIDE LABEL BELOW "BATHROOM SWITCHES", REFER TO
  DETAIL ON DWG E201.

E5 2-BUTTON LIGHTING SWITCH TO CONTROL EACH LIGHTING COMPARTMENT "LEVITON 1754-2W".

5 TYPICAL UNIT PLAN- TYPE 5- SEMI PRIVATE- LIGHTING

NOTICE

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

ENGINEERING ASSOCIATES ING
136 Poplar Street, Ambler, PA 19002
1950 Route 70, Suite 102, Cherry Hill, NJ 0800
www.mchugheng.com

amer mark s mark s

RECEIVED

5/10/2023

W.S. CUMBY

RECEIVED

5/10/2023
W.S. CUMBY

BID SET

04/21/2023

ASE 2

04/21/202.

INITIES

VIENTIES

S GRANITE FARMS WBC - PHASE 2
1343 WEST BALTIMORE PIKE
MEDIA, PA 19063
ETIREMENT - LIFE COMMUNITIES

Acts RETIREMENT - LI
ACTS RETIREMENT - LI
AZO DELAWARI
FORT WASHINGTO

DRAWN P. M. P.I.C. ISSUE DATE
JG JB SGG 04.21.2023
REVISIONS

ENLARGED UNIT PLANS- LIGHTING

E-303

O NOTED THUS

E16 INSTALL NEW FEEDER TO RELOCATED SPA FROM EXISTING CIRCUIT BREAKER, REPLACE WITH GFI TYPE IF EXISTING CIRCUIT BREAKER IS NOT GFI TYPE.

E24 WAVE AUTOMATIC DOOR ACTUATOR.

E28 LOW VOLTAGE TRANSFORMER - PLUMBING FIXTURE SENSORS.
 E31 CONNECTION TO THE IN-SLAB HEATERS SHALL BE IN SLAB TO THE UNIT CONNECTION BOX.

E32 UV-LIGHT INSIDE THE DUCT, PROVIDE SWITCH ON THE DUCT AT THE LIGHT LOCATION AND LABEL "UV LIGHT".

E34 POWER FOR AUTOMATIC PAPER TOWEL DISPENCER.

SPA-2

SP

2 ENLARGED PLAN - TUB ROOM- POWER

NOTICE

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

ENGINEERING A
136 Poplar Street, Am
1950 Route 70, Suite 102, C

amer marks.com 215.654.7722

RECEIVED

5/10/2023

W.S. CUMBY

BID SFT

04/21/2023 WINITIES

CTS GRANITE FARMS WBC - PHASE 2

1343 WEST BALTIMORE PIKE
MEDIA, PA 19063

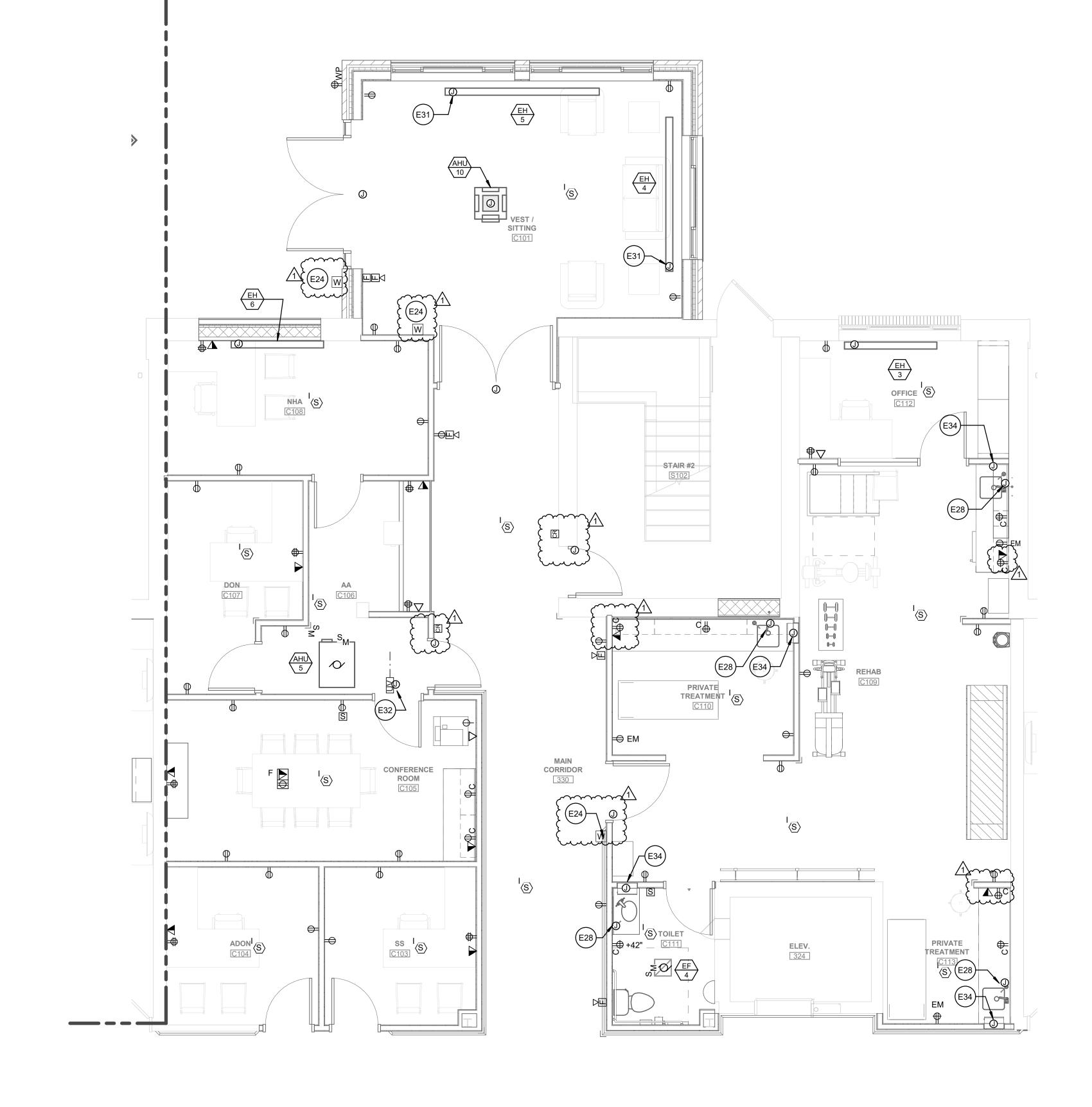
S RETIREMENT - LIFE COMMUNITIES
FORT WASHINGTON, PA 19034

ISIONS SGG 04.21.2023

ISIONS 05/09/2023

ENLARGED PLANS-

E-304



1 ENLARGED VESTIBULE / SITTING, REHAB, CONFERENCE ROOM PLAN- POWER

\ ENLARGED LIVING, DINING, SERVERY, PANTRY, NURSE STATION, CHARTING PLAN- POWER

**ELECTRICAL KEY NOTES** 

O NOTED THUS

AIR FRYER UNDERCOUNTER FREEZER

UNIVERSAL VENTLESS HOOD

REFRIGERATOR BASE ELECTRIC GRIDDLE, COUNTER GAS RANGE, COUNTERTOP

SPEED OVEN DROP-IN HOT/COLD WELL

DRAWER WARMER 10 TOASTER

SANDWICH/SALAD UNIT 12 SOUP WELL

13 UNDERCOUNTER REFRIGERATOR 15 TEA BREWER

ICE CREAM CABINET DISHWASHING MASHINE

REACH-IN FREEZER

REACH-IN REFRIGERATOR

ICE MACHINE

WIRE NEW BATHROOM EXHAUST FAN TO LIGHTING CIRCUIT

E18 EXISTING RECEPTACLES TO REMAIN SHALL BE REPLACED WITH NEW DEVICE AND FACE PLATE TO MATCH NEW

E31 CONNECTION TO THE IN-SLAB HEATERS SHALL BE IN SLAB TO

THE UNIT CONNECTION BOX.

E32 UV-LIGHT INSIDE THE DUCT, PROVIDE SWITCH ON THE DUCT AT THE LIGHT LOCATION AND LABEL "UV LIGHT".

### **GENERAL POWER AND LOW VOLTAGE NOTES:**

1. COORDINATE LOCATIONS AND MOUNTING HEIGHTS OF ALL WIRING DEVICES WITH OWNER/ TENANT/ ARCHITECT PRIOR TO ROUGH-IN. REFER TO DETAILS AND SPECIFICATIONS FOR TYPICAL MOUNTING HEIGHTS.

2. UNLESS OTHERWISE NOTED, BRANCH CIRCUIT NUMBERS ARE VIA PANEL "LB" UNLESS NOTED OTHERWISE.

3. ALL CIRCUITS IN SERVERY & SERVERY -1 SHALL BE FROM PANEL "GEP1" UNLESS NOTED OTHERWISE.

4. CONTRACTOR IS TO CONCEAL WIRING WHENEVER POSSIBLE. ALL EXPOSED WIRING IS TO BE INSTALLED IN EMT. CONTRACTOR IS TO PAINT AS DIRECTED BY THE ARCHITECT. CONDUIT PATH IS TO BE AS INCONSPICUOUS AS POSSIBLE. COORDINATE CONDUIT

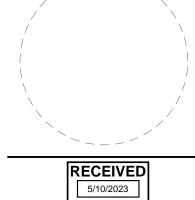
5. CONNECTIONS FOR DOOR LOCKING MECHANISM (AUTOMATIC DOOR OPERATORS, MAG-LOCK, ELECTRIC LATCH, ELECTRIC STRIKE, AUTO SENSOR CONTROL): DOOR HARDWARE VENDOR/ INSTALLER IS TO PROVIDE ALL LOW VOLTAGE TRANSFORMER(S) AND ALL LOW VOLTAGE EQUIPMENT, AND WIRING METHODS ASSOCIATED WITH THE DOOR FOR A COMPLETE SYSTEM. THE ELECTRICAL CONTRACTOR IS TO PROVIDE 120V-1Ø CONNECTION TO THE TRANSFORMER. THE ELECTRICAL CONTRACTOR SHALL PROVIDE CONTROL MODULE FOR FIRE ALARM SYSTEM TO ALLOW FOR DOOR

6. ALL POWER REQUIREMENTS FOR DOORS AND ASSOCIATED LOCKING MECHANISMS INDICATED IN DIVISION 8 "HARDWARE SCHEDULE FIRE ALARM INTERFACE" ARE TO BE PROVIDED BY THE GENERAL CONTRACTOR.

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OF SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

 $\boldsymbol{\sigma}$  $\checkmark$ 

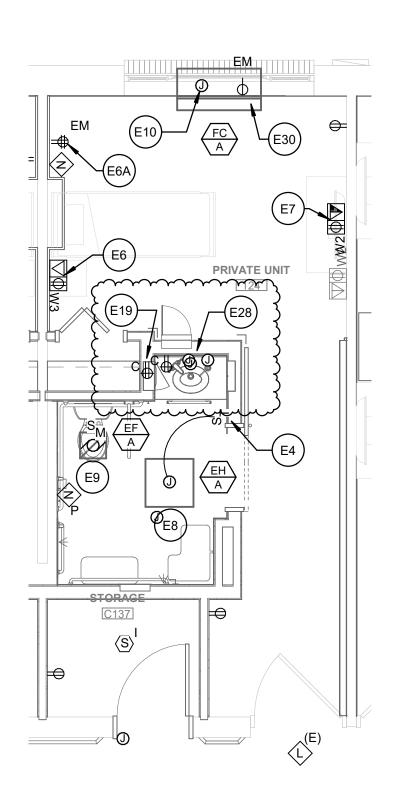


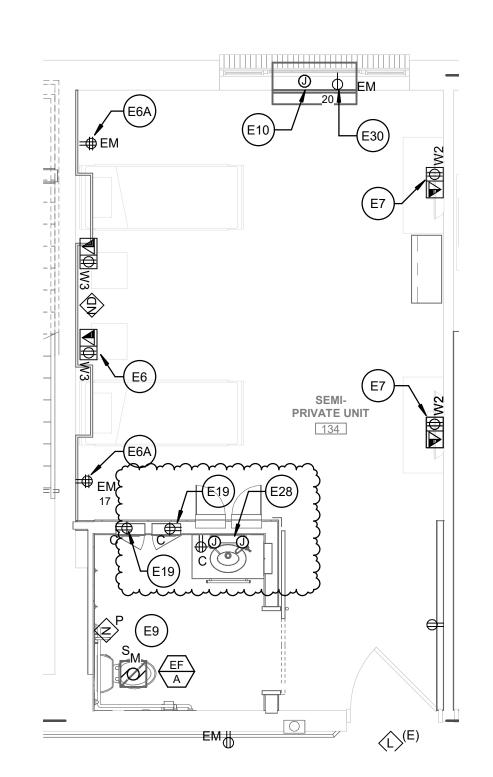
W.S. CUMBY

COMMUNITIE WBC

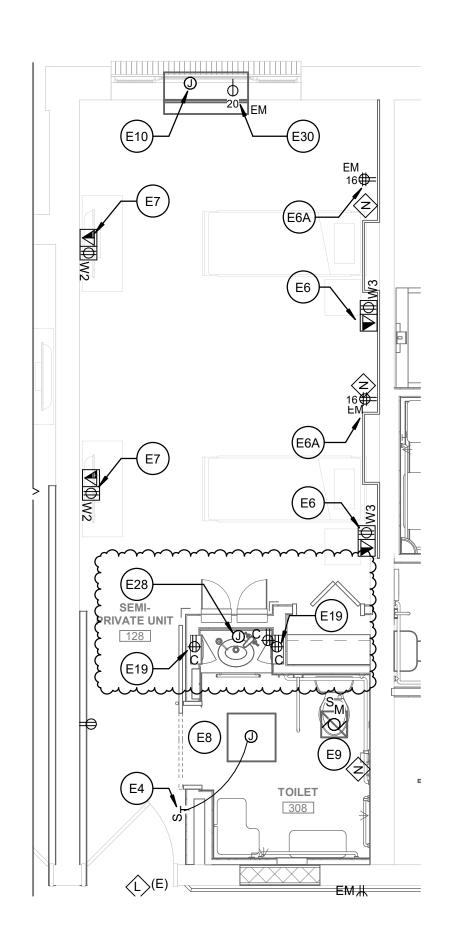
RETIREMENT - 420 DELAY FORT WASHIN

ENLARGED PLANS-

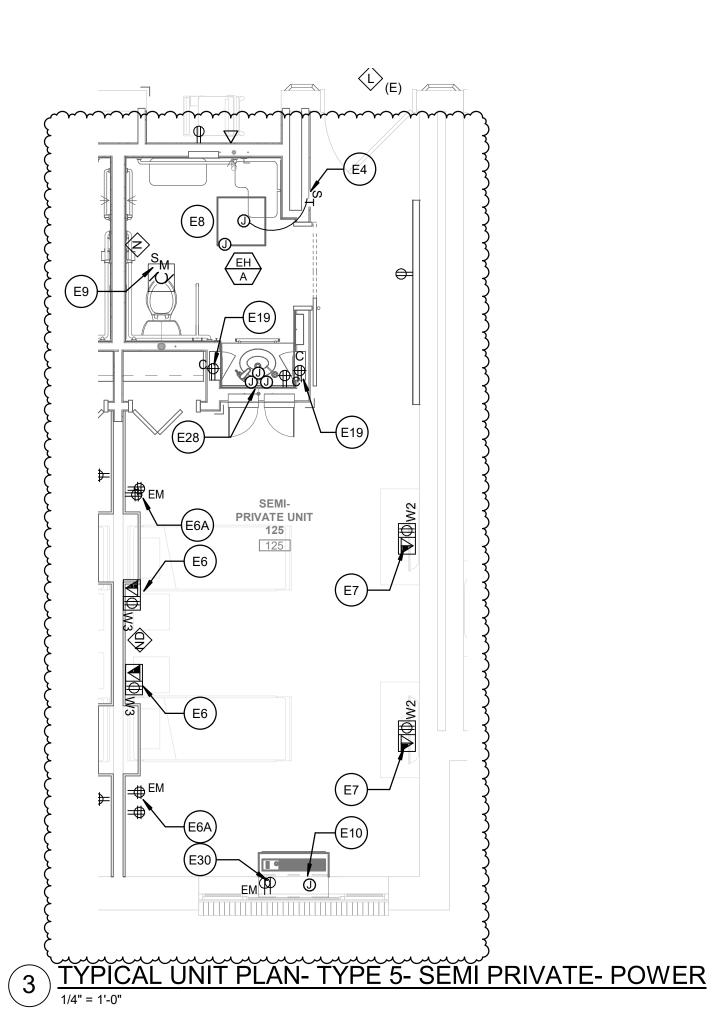




2 TYPICAL UNIT PLAN - TYPE 1- PRIVATE- POWER 4 TYPICAL UNIT PLAN- TYPE 2- PRIVATE- POWER 1 TYPICAL UNIT PLAN - TYPE 3- SEMI PRIVATE- POWER



5 TYPICAL UNIT PLAN- TYPE 4- SEMI PRIVATE- POWER



**ELECTRICAL KEY NOTES** 

O NOTED THUS

E4 BATHROOM LIGHTING CONTROLS & BATHROOM HEATER TIMER SWITCH GANGED TOGETHER WITH COMMON FACEPLATE. PROVIDE LABEL BELOW "BATHROOM SWITCHES", REFER TO DETAIL ON DWG E201.

E6 REPLACE EXISTING DUPLEX RECEPTACLES ON NORMAL POWER & THE TELEPHONE OUTLET WITH NEW RECESSED 3-GANG BOX WITH QUAD OUTLET & PHONE "ARLINGTON #TVB5507" AND CONNECT TO EXISTING CIRCUIT.

E6A REPLACE EXISTING DUPLEX RECEPTACLE ON EMERGENCY POWER WITH NEW QUAD OUTLET, RECESSED TYPE, RED FINISH. DISCONNECT FROM ROOM EXISTING PANEL "NE" AND WIRE TO GENERATOR POWER NEW PANEL "GCP1". REFER TO DWGS E-201A, E-201B FOR CIRCUITING.

INSTALL NEW RECESSED TYPE POWER/TV OUTLET AND WIRE TO EXISTING ROOM RECEPTACLE CIRCUIT ON NORMAL

E8 WIRE NEW BATHROOM RADIANT HEATING PANEL TO NEW PANEL "MP1", REFER TO DWGS E-201A, E-201B FOR CIRCUITING.

WIRE NEW BATHROOM EXHAUST FAN TO LIGHTING CIRCUIT AND OCC SENSOR. E10 INSTALL NEW FAN COIL UNITS IN PLACE OF EXISTING, WIRE TO

EXISTING CIRCUIT. E19 GFI RECEPTACLE INSTALLED IN THE SIDE WALL AT THE

E28 LOW VOLTAGE TRANSFORMER - PLUMBING FIXTURE SENSORS.

BOTTOM OF MEDICINE CABINET. E30 PTAC UNIT HYDRONIC HEAT FAN ON EMERGENCY POWER. REFER TO DWGS E201A, E201B FOR CIRCUITING.

 $\boldsymbol{\sigma}$ 

RECEIVED

 $\checkmark$ 

W.S. CUMBY

RETIREMENT - 420 DELA FORT WASHIN

ENLARGED UNIT PLANS- POWER

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT

ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE

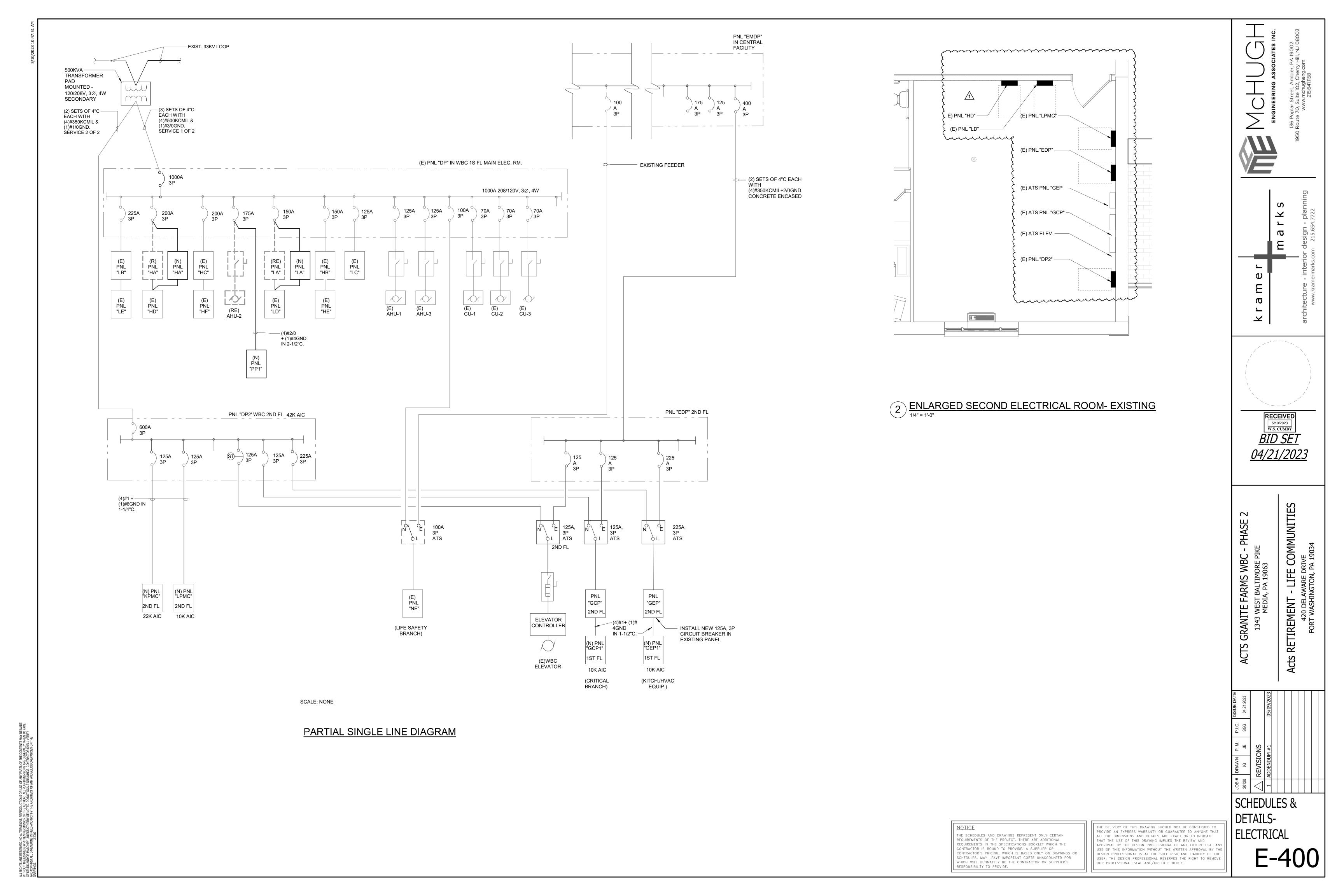
THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND

E-306

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE

CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.



				PANE	L SCH	ΙEΙ	D	UL	Ε			GCI	<b>7</b> 1	
PANEL		GCP1	•		MAINS:	125	5 A	ı		· · · · · · · · · · · · · · · · · · ·	ENCLOSU	RE		
A.I.C.1	0K				MCB:	125	5 A				NEMA:	Type 1		
SERVE	ED VIA	4			LUGS:						MOUNTIN.	RECESS	ED	
208/1	120 W	ye <b>VOLT</b>	3	Ø 4 WIRE	ТОР				вотт	OM:	WIDTH:	20"		_
CK T TI	RIP	POLE	LOAD TYPE	DESCRIPTION/ LOCATION	WATT	A	в	c w	ATT	DESCRIPTION/ LOCATION	LOAD TYPE	POLE	TRIP	Cł T
1 2	20 A	1	RECEPTACLE		900				1080		RECEPTACLE	1	20 A	2
3 2	20 A	1	PTAC HEAT FAN		1020				840		RECEPTACLE	1	20 A	4
5 2	20 A	1	RECEPTACLE		900				900		RECEPTACLE	1	20 A	6
7 2	20 A	1	RECEPTACLE		1440				1440		RECEPTACLE	1	20 A	8
9 2	20 A	-	RECEPTACLE		1440				1440		RECEPTACLE	1	20 A	
11 2	20 A	1	RECEPTACLE		1440				1080		RECEPTACLE	1	20 A	. 12
13 2	20 A	1	PLUMBING		1800				1620		PLUMBING	1	20 A	. 14
15 2	20 A		RECEPTACLE		1440				1440		RECEPTACLE	1	20 A	. 16
	20 A		RECEPTACLE		1080				1440		RECEPTACLE	1	20 A	_
19 2	20 A		RECEPTACLE		1800				1260		PTAC HEAT FAN	1	20 A	. 20
	20 A		PTAC HEAT FAN		1260				1260		PLUMBING	1	20 A	_
23 2	20 A		PLUMBING		1260				30		IN-DUCT UV	1	20 A	_
25 2	20 A		UC REFRG		1060				1080		RECEPTACLE	1	20 A	
	20 A	1	IN-DUCT UV		515									28
29														30
31														3
33														3
35														30
37														38
39														40
41														42
				7	TOTAL WATTS	ı	32	2265 VA	١		TOTAL AMPS	90 A		

				PANEL	SCH	E	D	U	LE			GE	<b>7</b> 1	
PAN	IEL	GEP1			MAINS:	12	5 A		<del>:</del>		ENCLOSU	RE		
<b>4.I.C</b>	<b>.</b>				MCB:						NEMA:	Type 1		
SER	VED VI	Α			LUGS:						MOUNTIN.	RECESS	ED	
20	8/120 V	Vye <b>VOLT</b>	3	Ø 4 WIRE	TOP				вотт	OM:	WIDTH:	20"		
CK T	TRIP	POLE	LOAD TYPE	DESCRIPTION/ LOCATION	WATT	A	в	c ,	WATT	DESCRIPTION/ LOCATION	LOAD TYPE	POLE	TRIP	C
1	20 A	1	RECEPTACLE		960				500		EXHAUST HOOD	0		١.
3	20 A	1	REFRIG. BASE		1100				500		SERVERY C118	2	20 A	` _
5	20 A	1	RECEPTACLE		300				860	SERVERY, (GFI TYPE C.B.)	UC FREEZER	1	20 A	
7	20 A	2	ELECT. GRIDDLE NURSE STATIO		10192				57000		RECEPTACLE SERVERY C118	2	20 A	1
11	20 A	1	RECEPTACLE		2000				560		RECEPTACLE	1	20 A	1
13 15	20 A	2	COFFEE MAKER PANTRY/		3162				7380		EQUIPMENT	2	20 A	1
17 19	20 A	2	EQUIPMENT		7380									1
21														2
23														2
25														2
27														2
29														3
31 33	20 A	2	AHU-4 LIVING / ACTIVITY C123		676				3162		ICE MACHINE SERVERY-1	2	20 A	3
35 37									915		AHU-2 DINING C124	2	15 A	3
3 <i>1</i> 39											0124			2
39 41							٧,							2
			1	TO	TAL WATTS		96	6147	VA		TOTAL AMPS	267 A		

				PANEL	SCH	ED	ULE				PP1		
PAN	EL	PP1	<del>.</del>		MAINS:	225 A	:			ENCLOSU	RE		_
A.I.C	<b>)</b> .				MCB:					NEMA:	Type 1		
SER	VED VI	Α			LUGS:					MOUNTIN		FD	
-		Vye <b>VOLT</b>	3	Ø 4 WIRE	TOP		В	отто	DM:	WIDTH:	20"		
	0,1201	.,		2   1					····				Π
CK T	TRIP	POLE	LOAD TYPE	DESCRIPTION/ LOCATION	WATT	A B	C WATT		DESCRIPTION/ LOCATION	LOAD TYPE	POLE	TRIP	CK T
1	20 A	1	RADIANT CLG		1500		8	80		RADIANT CLG	1	20 A	2
3	20 A	1	RADIANT CLG		1500		15	00		RADIANT CLG	1	20 A	4
5	20 A		RADIANT CLG		1500		150	00		RADIANT CLG	1	20 A	
7	20 A	1	RADIANT CLG		1875		1:	20		AHU-6 CORRIDOR C135	2	20 A	10
9 11 13	20 A	2	AHU-8 NEW LOBBY C145		728		500	00		DRYER	2	20 A	12
15	20 A	2	DRYER		5000		7:	20		WASHER	1	20 A	
17	20 A	1	RECEPTACLE		180								18
19													20
21 23							29	12		CU-5	2	20 A	22
25	20 A		CU-4		5000		354	40		CU-10	2	20 A	26
27 29	20 A	1	EQUIPMENT DISHWASHER		2000		0.	20		AHU-3.2,		20.4	28
31	20 A	3	NURSE STATION & CHARTING C121		16500			30		AHU-3.2,AHU-3.3	2		32
33 35			011/4(111(0.0121				10	80		RECEPTACLE	1	20 A	34
37													38
39													40
41													42
43													44
45													46
47								_					48
49 51													50 52
53								+					54
55													56
57								+					58
59													60
<u> </u>				TO	TAL WATTS	5′	2465 VA			TOTAL AMPS	146 A		100

				PANEL	SCH	Εľ	JL	JLE			LA		
PAN	EL	LA			MAINS:	225	Α	·		ENCLOSU	RE		
A.I.C	<b>:</b> .				MCB:					NEMA:	Type 1		
SER	VED VI	Α			LUGS:					MOUNTIN	. RECESS	ED	
		Vye <b>VOLT</b>	3	Ø 4 WIRE	TOP			вотт	OM:	WIDTH:	20"		
Ť	1	.,											
CK T	TRIP	POLE	LOAD TYPE	DESCRIPTION/ LOCATION	WATT	АВ	C	WATT	DESCRIPTION/ LOCATION	LOAD TYPE	POLE	TRIP	CK T
1	20 A	1	POWER		307			525		LIGHTING	1	20 A	2
3													4
5													6
7													8
9													10
11													12
13 15													14 16
17													18
19													20
21													22
23													24
25													26
27													28
29													30
31													32
33													34
35													36
37													38
39													40
41													42
				ТОТ	AL WATTS		83	2 VA		TOTAL AMPS	2 A		

				PANEL	SCH	E	DI	JLE			LB		
PAN	IEL	LB	-		MAINS:	12	5 A	-		ENCLOSU	IRE		
A.I.C	C.EXIST	П			MCB:	100	0A 3	<b>5</b>		NEMA:	Type 1		
SER	RVED VI	IA			LUGS:					MOUNTIN.	RECESS	ED	
20	08/120 V	Vye <b>VOLT</b>	3	Ø 4 WIRE	TOP			вот	том:	WIDTH:	20"		
CK T	TRIP	POLE	LOAD TYPE	DESCRIPTION/ LOCATION	WATT	Α	вс	WATT	DESCRIPTION/ LOCATION	LOAD TYPE	POLE	TRIP	
1													t
3													İ
5													İ
7	20 A	1	ICE MAKER #46		1800			360		RECEPTACLE	1	20 A	Ī
9													
11													1
13													1
15													1
17								222		DE0551015			+
19 21								900		RECEPTACLE	1	20 A	+
23													+
25								1360		SOAP DISP	1	20 A	+
27								540		RECEPTACLE	1	20 A	_
29								0.10		112021 171022		2071	ł
31													t
33													t
35													t
37													t
39													I
				ТО	TAL WATTS		49	60 VA		TOTAL AMPS	14 A		

				PANEL	SCH	E		JLE			LC		
PANEI	L	LC			MAINS:	125	A	:		ENCLOSU	RE		
A.I.C.					MCB:					NEMA:	Type 1		
SERVE	FD VI	Δ			LUGS:					MOUNTIN		:ED	
		ye <b>VOLT</b>	3	Ø 4 WIRE	TOP			BOT	TOM:	WIDTH:	20"	LD	
200/	120 V	vye voli	3	D 4 WINE	101			501	TOM.	WIDTH.	20		T
CK T T	RIP	POLE	LOAD TYPE	DESCRIPTION/ LOCATION	WATT	АВ	С	WATT	DESCRIPTION/ LOCATION	LOAD TYPE	POLE	TRIP	CK T
1													2
3													4
5													6
7													8
9													10
11													12
13													14
15													16
17													18
19													20
21													22
23													24
25													26
27													28
29													30
				TOT	AL WATTS		0	VA		TOTAL AMPS	0 A		

				PANEL	SCH	E	<b>D</b> U	LE			HA		
PAN	EL	HA	·	· · · ·	MAINS:	225	A			ENCLOSU	RE		_
A.I.C	<b>)</b> .				MCB:					NEMA:	Type 1		
SFR	VED VI	Δ		M	LUGS:					MOUNTIN	RECESS	:FD	
		ye <b>VOLT</b>	3	Ø 4 WIRE	TOP			вотт	rom·	WIDTH:	20"	,	
20	0/120 W	ye vol:		D 4 VIII.L	T			5011		\(\text{VIDITI:}\)	20		Т
CK T	TRIP	POLE	LOAD TYPE	DESCRIPTION/ LOCATION	WATT	АВ	С	WATT	DESCRIPTION/ LOCATION	LOAD TYPE	POLE	TRIP	,
1													
3													1
5													1
7													4
9													4
11													4
13													
15													4
17													+
19 21													+
23													1
25													+
27													+
29													
31													1
33													1
35													1
37													T
39													T
41													
				TO1	TAL WATTS		0 V	/A		TOTAL AMPS	0 A		

				PANEL	SCH	E	D	ULE			HB		
PANEL.		НВ	;		MAINS:	10	0 A		:	ENCLOSU	RE		
A.I.C.					MCB:					NEMA:	Type 1		
ERVE			2	G 4 MIDE	LUGS:			DOT	TOM	MOUNTIN.		SED	
208/12	20 VV	ye <b>VOLT</b>	3	Ø 4 WIRE	TOP			ВОІ	TOM:	WIDTH:	20"		$\top$
CK T TR	RIP	POLE	LOAD TYPE	DESCRIPTION/ LOCATION	WATT	A	в	C WATT	DESCRIPTION/ LOCATION	LOAD TYPE	POLE	TRIP	CI
1													2
3													4
5 7													8
9													1
1													1
3													1
5													1
7													1
				TO1	AL WATTS			0 VA		TOTAL AMPS	0 A		

				PANEL	SCH	E	D	ULE			HC		
PAN	IEL	HC	:		MAINS:	22	5 A		<del>.</del>	ENCLOSU	RE		
A.I.C	<b>C</b> .				MCB:					NEMA:	Type 1		
SER	RVED VI	Α			LUGS:					MOUNTIN.	RECESS	SED	
20	08/120 V	Vye <b>VOLT</b>	3	Ø 4 WIRE	TOP			вот	TOM:	WIDTH:	20"		
CK T	TRIP	POLE	LOAD TYPE	DESCRIPTION/ LOCATION	WATT	Α	в	C WATT	DESCRIPTION/ LOCATION	LOAD TYPE	POLE	TRIP	CK T
1													2
3													4
5													6
7													8
9													10
11 13												+	12 14
15													16
17													18
19													20
21													22
				TOT	AL WATTS			0 VA	1	TOTAL AMPS	0 A	•	

 $\boldsymbol{\sigma}$ __ ~

RECEIVED

S GRANITE FARMS WBC - P 1343 WEST BALTIMORE PIKE MEDIA, PA 19063

ACTS

RETIREMENT - LIFE COMMUNITIES
420 DELAWARE DRIVE
FORT WASHINGTON, PA 19034

SCHEDULES & DETAILS -ELECTRICAL

NOTICE THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

### LIGHTING FIXTURE SCHEDULE

LISTED EQUIV. MFRS: IT IS NOT UNDERSTOOD THAT THIS IMPLIES A STANDARD FIXTURE IS ACCEPTABLE. THE FIXTURE MUST MEET ALL TECHNICAL REQUIREMENTS AS WELL AS BEING NAMED. ALTERNATE MANUFACTURERS ARE NOT ACCEPTABLE UNLESS ADDED BY ADDENDUM. REFER TO SPECIFICATION SECTION 16500 FOR DETAILS. CONTRACTOR IS RESPONSIBLE TO SELECT MOUNTING TYPE: SURFACE, RECESSED, LAY-IN, FLANGED, WALL, PENDANT, ETC. COLOR TEMPERATURES OF ALL LAMPS TO MATCH. ALL BALLAST TO BE ELECTRONIC, WITH <10% THD. ALL FIXTURE LENSES ARE TO BE SHIPPED WITHIN A PROTECTIVE COVERING. EMERGENCY FIXTURES ARE INDICATED AS PARTIALLY SHADED AND WITH "E" SUFFIX TO SYMBOL ON PLANS, e.g. "A4E".

TYPE	MANUFACTURER	MODEL NO.	DESCRIPTION	LAMPS	VOLTAGE	EQUIV. MANUFACTURERS
R1	ACCESS LIGHTING	20661-BS/OPL	SURFACE MOUNTED LED ROUND FIXTURE DAMP LOCATION RATED WITH A BRUSHED STEEL FINISH AND OPAL LENS	14W E26 3000K	120V	N/A
R2	DAY-BRITE LIGHTING	ALE-50L-835-4-DS-120-HDSL(R)	4' LED LINEAR WALL MOUNTED FIXTURE 3000K WITH 5000 DELIVERABLE LUMENS FINISH TO BE SELECTED BY ARCHITECT	44W 3000K	120V	N/A
R3	PROGRESS LIGHTING	P3052-09	LED WALL MOUNTED VANITY FIXTURE WITH 2 LAMPS FIXTURE TO BE EQUIPPED WITH LED BULBS	14W E26 3000K	120V	N/A
R4	PROGRESS LIGHTING	P8022-28-30K	LED 7-1/2" CEILING MOUNTED DOWNLIGHT WET LOCATION LISTED WITH WHITE POLYCARBONATE LENS AND WHITE FINISH	17W 3000K	120V	N/A
R5	SIGNIFY LIGHTING (CHLORIDE)	WG2V-2-SWH-PCC	LED WALL MOUNTED NIGHT LIGHT, VERTICAL RECTANGLE FACEPLATE, AMBER LED LIGHT, WHITE FINISH, PHOTOCELL	(2) 2W 3000K	120V	N/A
R6	CON-TECH LTG	TLT12V-1-22K-Y +TLACK6-B+ TLALF6+TLACKE2-B	LED TAPE LIGHT NIGHT WITH 120V-12V POWER SUPPLY, MOUNTING CHANNEL AND ACCESSORIES	4.5W/FT 2200K	12V	N/A
A	STUDIO-M LIGHTING	SM162751WTPN	LED CEILING MOUNTED 3 BULB, WHITE HARDBACK	14W E26	120V	N/A
			FABRIC SHADE WITH FROSTED DIFFUSER	3000K		
В	USAI LIGHTING	B4RD-F24G1-30KH-90-S-WH- NCSM-UNV-D6E	BEVELED 2.2 BASIC 4.5" ROUND DOWNLIGHT WET LOCATION LISTED WITH WHITE BEVEL AND COLLAR FINISH, DIMMABLE	1775LM 16W 3000K	120V	N/A
B1	USAI LIGHTING	B4RD-F36E1-30KH-90-S-WH- NCSM-UNV-D6E	BEVELED 2.2 BASIC 4.5" ROUND DOWNLIGHT WET LOCATION LISTED WITH WHITE BEVEL AND COLLAR FINISH, DIMMABLE	4150LM 36W 3000K	120V	N/A
С	STUDIO-M LIGHTING	{SM350182WTBK }	LED WALL MOUNTED SCONCE 15"H, 8"W WHITE LINEN SHADE, BLACKFINISH	22W 3000K	120V	N/A
D	STUDIO-M LIGHTING	SM251082WTSN	LED WALL MOUNTED SCONCE 15.75"H, 7"W WHITE LINEN SHADE, SATIN NICKEL FINISH	12W 3000K	120V	N/A
F	COLUMBIA LIGHTING	SRP22-30-HL-G-ED-U	2X2 LED RECESSED FLAT PANEL, DIMM. 3000K, >80 CRI WITH 3546-3989 DELIVERABLE LUMENS	41W 3000K	120V	N/A
F1	COLUMBIA LIGHTING	SRP24-30-HL-G-ED-U	2X4 LED RECESSED FLAT PANEL, DIMM. 3000K, >80 CRI WITH 3546-3989 DELIVERABLE LUMENS	48W 3000K	120V	N/A
G	FINELITE LIGHTING	HRP LED -F-2X2-DCO- H-832-DMIC-120V-C1	2X2 ANTIMICROBIAL RECESSED LED FIXTURE, DUAL MODE	41W 3000K	120V	N/A
G1	FINELITE LIGHTING	HRP LED -F-2X4-DCO- H-832-DMIC-120V-C1	2X4 ANTIMICROBIAL RECESSED LED FIXTURE, DUAL MODE	62W 3000K	120V	N/A
Н	KENALL	MDLIC6FF-2FW-30K8- CSS-120-SCC-DIM1 + IC75	6"D DOWNLIGHT INDIGO-CLEAN TECHNOLOGY 3000K, 80 CRI WITH INDIGO-CLEAN RM CONTROLLER SYSTEM	22W 3000K	120V	N/A
J	MODERN FORMS	WS-14818-BN	LED WALL MOUNTED VANITY FIXTUREWITH 3000K, 90 CRI AND 1324 DELIVERABLE LUMENS, BRUSHED NICKEL	15.5W 3000K	120V	N/A
К	LUMINII LTG	KMVIF-72HO-30K-R-FC-SA-S	LED UNDERCABINET TASK LIGHT FIXTURE WITH 3000K, 90 CRI AND 1052 DELIVERABLE LUMENS	4.5W/FT 3000K	120V	N/A
L	USAI LIGHTING	6021-W-AC1-S-28 + LRTD6-9040- 30KS-80NC2-120	BEVELED 5.0 BASIC 6" ROUND DOWNLIGHT WET LOCATION LISTED WITH WHITE BEVEL AND COLLAR FINISH	1775LM 16W 3000K	120V	N/A
М	COLUMBIA LIGHTING	RLW-4-30-VW-FA-W-E	4' L SURFACE MTD LINEAR LED FIXTURE, WHITE FINISH	3275LM 26W 3000K	120V	N/A
N	MODER FORMS LIGHTING	WS-W71618	EXTERIOR LED WALL MOUNTED SCONCE 18"H, 7"W. ALUMINUM CONSTRUCTION WITH LAMINATED GLASS	11.8W 3000K	120V	N/A
Х	LITHONIA LTG		LED EXIT SIGN,CEILING MOUNTED, DOUBLE FACE, NO ARROWS, GREEN LETTERS, AC ONLY, RECESSED HOUSING		120V	
X1	LITHONIA LTG		LED EXIT SIGN,UNIVERSAL MOUNTED, SINGLE FACE, NO ARROWS & WITH DIRECTIONAL ARROWS (PER PLANS), GREEN LETTERS, AC ONLY, RECESSED HOUSING		120V	
X2	LITHONIA LTG		LED EXIT SIGN,CEILING MOUNTED, DOUBLE FACE, DIRECTIONAL ARROWS, GREEN LETTERS, AC ONLY, RECESSED HOUSING		120V	

#### SYMBOLS AND ABBREVIATIONS

SINGLE-POLE WALLBOX SWITCH

3-WAY WALLBOX SWITCH

4-WAY WALLBOX SWITCH

LUMINAIRE CONTROL SYSTEM DIMMER

SINGLE-POLE WALLBOX SWITCH WITH

INTEGRAL TIMER FUNCTION S_{La,b} LOW VOLTAGE MULTI-BUTTON WALL

S_{LDa,b} LOW VOLTAGE DIMMER, MULTI-BUTTON

WALL SWITCH WITH RISE/LOW FUNCTIONS O DUAL-TECHNOLOGY, WALLBOX OCCUPANCY

SENSOR WITH OFF/ AUTO OVERRIDE SWITCH

OCCUPANCY SENSOR V DUAL-TECHNOLOGY, WALLBOX VACANCY

SENSOR WITH OFF/ AUTO OVERRIDE SWITCH

DUAL-TECHNOLOGY, CEILING MOUNTED

DUAL-TECHNOLOGY, CEILING MOUNTED VACANCY SENSOR

POWER PACK

POWER PACK DUAL RELAY

ROOM CONTROLLER, SINGLE RELAY

ROOM CONTROLLER, DUAL RELAY

R 2D ROOM CONTROLLER, DUAL RELAY DIMMING

RECESSED, OR SURFACE MOUNTED LED

LUMINAIRE CONNECTED TO EMERGENCY

LUMINAIRE CONNECTED TO NORMAL POWER. REFER TO THE LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION. RECESSED, OR SURFACE MOUNTED LED

POWER, OR PROVIDED WITH INTEGRAL BATTERY BACK-UP. REFER TO THE LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION. 4'-0", LENSED LED INDUSTRIAL STRIP •

LUMINAIRE LENSED LED UNDERCABINET LUMINAIRE. LENGTHS AS INDICATED ON PLANS

, A4 INDICATES LUMINAIRE TYPE □ 2 INDICATES BRANCH CIRCUIT DESIGNATION

— INDICATES SWITCH CONTROL

EXIT SIGN LUMINAIRE GENERATOR OR BATTERY BACK-UP

WALL-MOUNTED EXIT SIGN LUMINAIRE GENERATOR OR BATTERY BACK-UP

CCTV CAMERA (POE) — INDICATES WEATHERPROOF, EXTERIOR

TELEVISION OUTLET:

CAMERA

COMMON AREAS: PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS, MOUNT 60" ABOVE FINISHED FLOOR TO CENTER OF DEVICE

OR AS DIRECTED BY THE OWNER. DWELLING UNITS: PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE ABOVE STRUCTURED MEDIA ENCLOSURE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS. MOUNT 20" ABOVE FINISHED FLOOR TO TOP OF DEVICE.

DATA OUTLET: PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

TELEPHONE OUTLET:

☐ INDICATES WALL PHONE MOUNTED 54" A.F.F.

COMMON AREAS: PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

DWELLING UNITS: PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE ABOVE STRUCTURED MEDIA ENCLOSURE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

COMBINATION TELEPHONE/ DATA OUTLET:

COMMON AREAS: PROVIDE BACK BOX WITH 1"Ø, BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

DWELLING UNITS: PROVIDE BACK BOX WITH 1"Ø, BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE ABOVE STRUCTURED MEDIA ENCLOSURE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

TELEPHONE OUTLET:

— INDICATES WALL PHONE MOUNTED 54" A.F.F.

COMMON AREAS: PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

DWELLING UNITS: PROVIDE BACK BOX WITH 3/4"Ø BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE ABOVE STRUCTURED MEDIA ENCLOSURE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

COMBINATION TELEPHONE/ DATA OUTLET:

COMMON AREAS: PROVIDE BACK BOX WITH 1"Ø, BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

**DWELLING UNITS:** PROVIDE BACK BOX WITH 1"Ø, BUSHED CONDUIT WITH PULL-STRING TO ACCESSIBLE CEILING SPACE ABOVE STRUCTURED MEDIA ENCLOSURE. DEVICES, WIRING METHODS, AND TERMINATIONS BY OTHERS.

SURFACE OR FLOOR MOUNTED DISTRIBUTION **EQUIPMENT** 

SURFACE MOUNTED LIGHTING OR POWER BRANCH CIRCUIT PANEL EQUIPMENT

RECESSED MOUNTED LIGHTING OR POWER BRANCH CIRCUIT PANEL EQUIPMENT

MOTOR

MOTOR RATED SWITCH (PROVIDE MANUAL S_M MOTOR STARTER FOR OVERLOAD PROTECTION AS NECESSARY).

UN-FUSED DISCONNECT SWITCH FUSIBLE DISONNECT SWITCH XXAF = FRAME CAPACITY

XXAT = TRIP RATING

ENCLOSED CIRCUIT BREAKER XXAF XXAF = FRAME CAPACITY XXAT = TRIP RATING

> COMBINATION MOTOR STARTER/

DISCONNECT SWITCH +XX" INDICATES HEIGHT ABOVE FINISHED FLOOR TO A.F.F. CENTER OF DEVICE(S)

WIRING METHOD DESIGNATION (CONDUCTOR ─3#2 QUANTITY AND SIZE)

EMERGENCY POWER CIRCUIT PANEL CIRCUIT DESIGNATION (CONCEALED)

LP-1 PANEL CIRCUIT DESIGNATION (EXPOSED)

CONCEALED BRANCH CIRCUITING JUNCTION BOX

DUPLEX RECEPTACLE DEVICE

D = DEDICATED OVERCURRENT PROTECTION

U = INTEGRAL USB OUTLETS C = DEVICE MOUNTED 0'-8" ABOVE COUNTER

T = TAMPER RESISTANT DEVICE GFCI (GROUND-FAULT CIRCUIT-INTERRUPTER) DUPLÈX RECEPTACLE DEVICE FOR PERSONAL

PROTECTION SWITCHED (BOTTOM OUTLET) DUPLEX

RECEPTACLE DEVICE - INDICATES CORRESONDING CONTROL DEVICE

SINGLE RECEPTACLE DEVICE FOR EQUIPMENT

DOUBLE DUPLEX RECEPTACLE DEVICE

SPECIAL RECEPTACLE DEVICE (COORDINATE NEMA CONFIGURATION WITH FINAL EQUIPMENT

WX POWER, CCTV OR CATV, X=2,3,OR 4 GANG BOX, or W=WALL SOURCE, F=FLOOR SOURCE

WX FLUSH MOUNTED FLOOR BOX, ADJUSTABLE, WITH or POWER, IG POWER AND VOICE/DATA OUTLETS. FX X=2,3,OR 4 GANG BOX, W=WALL SOURCE, F=FLOOR SOURCE

PUSH-BUTTON

RESPONSIBILITY TO PROVIDE.

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING. WHICH IS BASED ONLY ON DRAWINGS OF SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY TH DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

 $\boldsymbol{\omega}$ 

RECEIVED W.S. CUMBY

COMMUNITIE 7 GRANITE FARMS WBC - 1343 WEST BALTIMORE PIKE MEDIA, PA 19063

CTS

RETIREME

420
FORT M

SCHEDULES & DETAILS -ELECTRICAL

THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR

SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR

WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S

ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

 $\boldsymbol{\sigma}$  $\checkmark$ 

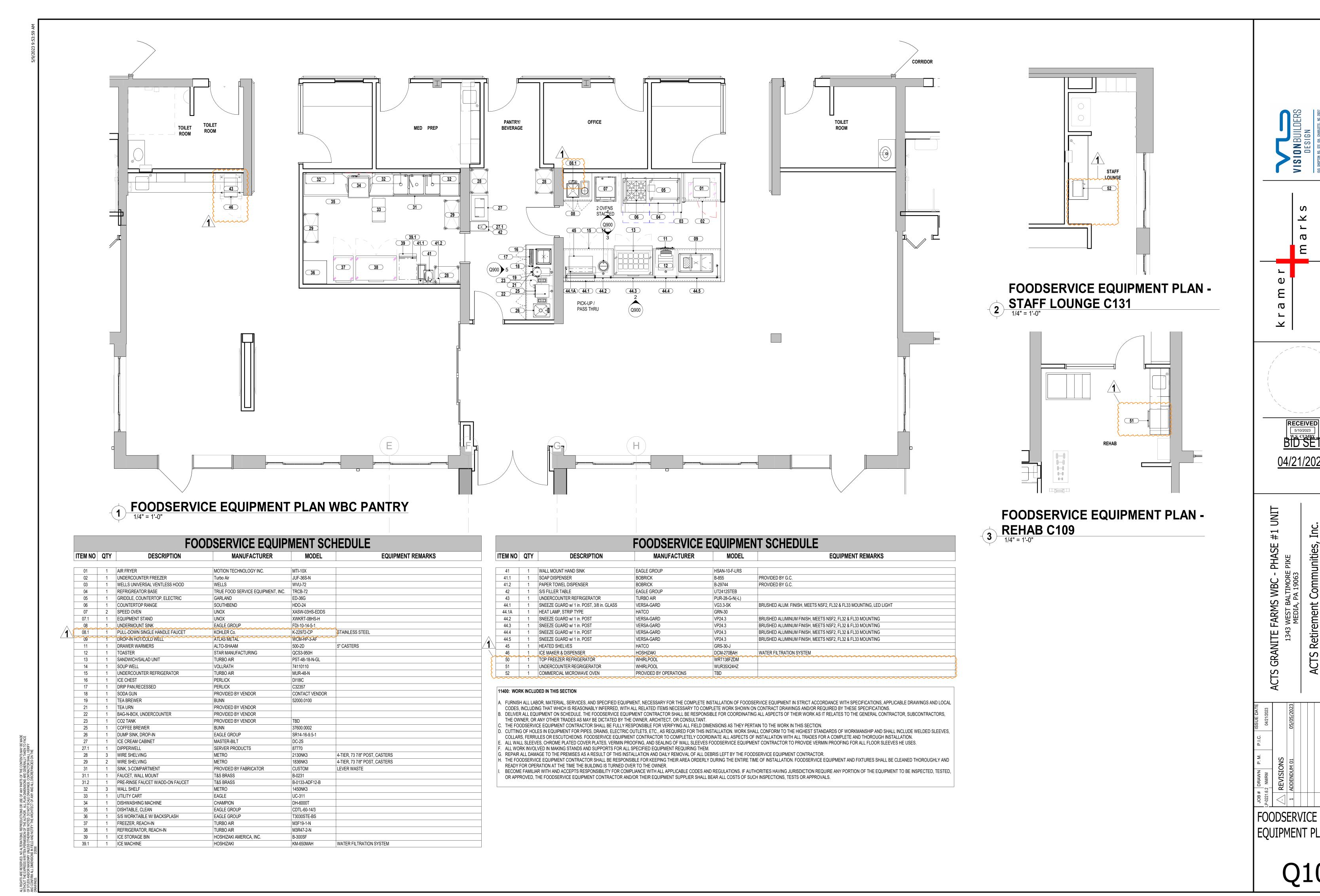


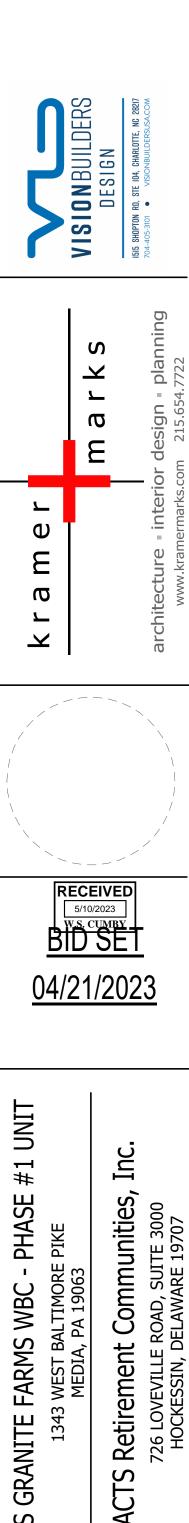
COMMUNITIE GRANITE FARMS WBC - 1343 WEST BALTIMORE PIKE MEDIA, PA 19063

RETIREMENT - 420 DELA FORT WASHIN

ACTS

DETAILS -





# FOODSERVICE ELECTRICAL PLAN WBC PANTRY

FOODSERVICE ELECTRICAL SCHEDULE												
TEM NO	QTY	DESCRIPTION	AMPS	WATTS	HP	VOLTS	PHASE	CYCLE	CONN TYPE	NEMA	ELEC AFF	ELECTRICAL REMARKS
01	1	AIR FRYER	23.75			208	1	60	CORD & PLUG	6-30P	48"	
02	1	UNDERCOUNTER FREEZER	3.10	0	1/3	120	1	60	CORD & PLUG	5-15P	18"	
03	1	WELLS UNIVERSAL VENTLESS HOOD	3.50		1.0	208	1	60	DIRECT		72"	
04	1	REFRIGREATOR BASE	9.90	1188	1/3	120	1	60	CORD & PLUG	5-15P	18"	
05	1	GRIDDLE, COUNTERTOP, ELECTRIC	49.00	10		208	1	60	DIRECT		18"	
07	2	SPEED OVEN	17.10	0		208	3	60	CORD & PLUG	15-30P	18"	
09	1	DROP-IN HOT/COLD WELL	16.70	2000	1/5	120	1	60	CORD & PLUG	5-30P	18"	
11	1	DRAWER WARMERS	5.30	636	0	120	1	60	CORD & PLUG	5-15P	24"	Stub out to wall at 24" AFF.
12	1	TOASTER	15.90			208	1	60	CORD & PLUG	6-20P	48"	
13	1	SANDWICH/SALAD UNIT	6.50	530	1/5	120	1	60	CORD & PLUG	5-15P	18"	
14	1	SOUP WELL	6.70			120	1	60	CORD & PLUG	5-15P	48"	
15	1	UNDERCOUNTER REFRIGERATOR	2.50		1/5	120	1	60	CORD & PLUG	5-15P	18"	
19	1	TEA BREWER	14.00	1700		120	1	60	CORD & PLUG	5-15P	48"	
25	1	COFFEE BREWER	28.00			208	1	60	DIRECT		48"	
27	1	ICE CREAM CABINET	2.10		1/4	120	1	60	CORD & PLUG	5-15P	18"	
34	1	DISHWASHING MACHINE	46.00	0		208	3	60	DIRECT		18"	
37	1	FREEZER, REACH-IN	4.50	518	3/8	120	1	60	CORD & PLUG	5-15P	18"	
38	1	REFRIGERATOR, REACH-IN	2.80	322	1/3	120	1	60	CORD & PLUG	5-15P	18"	
39.1	1	ICE MACHINE	15.20			208	1	60	DIRECT		18"	
43	1	UNDERCOUNTER REFRIGERATOR	6.60	220	1/6	120	1	60	CORD & PLUG	5-15P	18"	
44.1A	1	HEAT LAMP, STRIP TYPE		450		120	1	60	DIRECT		18"	
45	1	HEATED SHELVES	3.80	636		120	1	60	CORD & PLUG	5-15P	18"	
46	1	ICE MAKER & DISPENSER	15.00			120	1	60	CORD & PLUG	5-15P	48"	

### FOODSERVICE ELECTRICAL NOTES

- THIS ELECTRICAL PLAN AND COORDINATING SCHEDULE IS INTENDED TO SHOW ROUGH-IN LOCATIONS AND HEIGHTS, CONNECTION TYPES, POSITIONS, FIXTURE TYPES AND LOAD REQUIREMENTS FOR FOODSERVICE EQUIPMENT THAT IS SCHEDULED FOR RE-USE. THIS ELECTRICAL PLAN IS INTENDED TO SHOW ELECTRICAL REQUIREMENTS AND APPROXIMATE ROUGHING-IN LOCATIONS ONLY. DO NOT USE FOR ACTUAL ROUGHING-IN. FOR FINAL ROUGH-IN LOCATIONS SEE DIMENSIONED PLANS PROVIDED BY FOODSERVICE EQUIPMENT CONTRACTOR. UTILITY REQUIREMENTS INDICATED ARE TO SERVE AS A REFERENCE TO THE LICENSED PROFESSIONAL ARCHITECT AND/OR ENGINEERS IN THE PREPARATION OF THEIR RESPECTIVE BID AND CONSTRUCTION DOCUMENTS. NO ARCHITECTURAL OR ENGINEERING DESIGN SERVICES ARE INTENDED OR ASSUMED.
- KITCHEN EQUIPMENT CONTRACTOR, PRIOR TO EQUIPMENT INSTALLATION, SHALL CHECK ALL UTILITY ROUGH-IN LOCATIONS, COORDINATE FIELD CONDITIONS, AND CALL TO THE ATTENTION OF THE GENERAL CONTRACTOR ANY AND ALL DISCREPANCIES BETWEEN THE FOODSERVICE ROUGH-IN PLANS, THE EQUIPMENT SPECIFIED,
- ELECTRICAL LOADS ARE BASED ON MANUFACTURER'S INFORMATION. MINIMUM CIRCUIT AMPACITY AND OVERCURRENT PROTECTION TO BE DETERMINED BY CODE REQUIREMENTS AND/OR MAUFACTURER'S DIRECTIONS.
- SHOULD DISCREPANCIES OCCUR THEY SHALL BE BROUGHT TO THE ATTENTION OF THE FOODSERVICE CONSULTANT AND/OR PROJECT ARCHITECT/ENGINEER IN ORDER FOR THE CONFLICT TO BE CLARIFIED IN AN OFFICIAL REQUEST FOR INFORMATION. ALL EXPOSED UTILITY LINES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILING AREA. 1 TO 2 INCHES OFF WALLS AND MINIMUM 6" OFF FLOORS.
- ALL ELECTRICAL WORK, LABOR AND MATERIAL, REQUIRED TO CONNECT THIS EQUIPMENT IS TO BE FURNISHED BY ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY CALLED FOR IN FOODSERVICE DOCUMENTS. ELECTRICAL CONTRACTOR IS TO INCLUDE ROUGHING-IN TO POINTS INDICATED ON ROUGHING-IN PLANS, FINAL CONNECTIONS FROM ROUGH-IN POINTS TO VARIOUS PIECES OF EQUIPMENT REQUIRING SUCH CONNECTIONS, AND THE SUPPLYING OF ALL NECESSARY MATERIALS AND LABOR FOR THIS WORK EXCEPT AS HEREINAFTER NOTED.
- FINAL ELECTRICAL CONNECTIONS TO ALL EQUIPMENT SHALL BE BY THE ELECTRICAL CONTRACTOR, INCLUDING ALL REQUIRED MATERIALS SUCH AS, LINE AND DISCONNECT SWITCHES, SAFETY CUT-OUTS, CONTROL PANELS, FUSE BOXES, OR OTHER ELECTRICAL CONTROLS, FITTINGS, CONDUITS AND CONNECTIONS. ITEMS NOT FURNISHED AS A STANDARD PART OF THE EQUIPMENT BY THE MANUFACTURER, ARE TO BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. STARTING SWITCHES PROVIDED BY FOODSERVICE EQUIPMENT CONTRACTOR AND FURNISHED LOOSE AS STANDARD BY EQUIPMENT MANUFACTURERS (OTHER THAN CUSTOM FABRICATED ITEMS) ARE TO BE MOUNTED AND WIRED COMPLETE UNDER ELECTRICAL CONTRACT.
- ELECTRICAL ENGINEER TO BE RESPONSIBLE FOR ALL CONCERNS AND ARRANGEMENTS REGARDING PENETRATIONS INTO THE FLOOR AND WALL. BUILDING OWNER TO APPROVE PRIOR TO CONSTRUCTION.
- ELECTRICAL ENGINEER TO LOCATE RECEPTACLES IN STORAGE AREA AS REQUIRED BY LOCAL BUILDING CODE. ELECTRICAL COMPONENTS MUST NOT INTERFERE WITH THE OPERATION OF THE ITEMS OF FOODSERVICE EQUIPMENT.

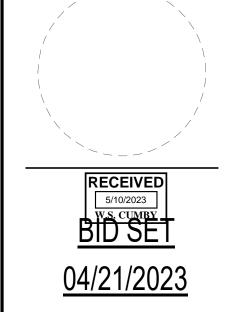
### ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL THE FOLLOWING:

- ALL ELECTRIC BUILDING SERVICES INCLUDING BUT NOT LIMITED TO: CONDUIT, WIRING, LINE AND DISCONNECT SWITCHES, SAFETY CUT OFFS AND FITTINGS, REQUIRED FOR COMPLETE INSTALLATION, EXCEPT INTERNAL WIRING AS SPECIFIED, UNLESS INDICATED OTHERWISE ON
- FINAL CONNECTIONS, INCLUDING MOUNTING AND WIRING OF STARTERS AND SWITCHES FURNISHED AS PART OF THE FOODSERVICE EQUIPMENT, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- ALL JUNCTION BOXES, ELECTRICAL OUTLETS, COVER PLATES, SWITCHES, ETC. NOT BUILT INTO FIXTURES OR EQUIPMENT. ALL OUTLETS, JUNCTION BOXES, COVER PLATES, ETC. IN FOODSERVICE AREAS MUST BE MOISTURE PROOF. ALL PLUGS AND CORDS SHALL BE N.E.M.A. RATED AND U.L. APPROVED FOR MANUFACTURED AND FABRICATED EQUIPMENT.
- SHUNT-TRIP CIRCUIT BREAKERS OR DISCONNECTS FOR FIRE SUPPRESSION SYSTEM SHUT-OFF OR FOOD SERVICE EQUIPMENT BENEATH VENTILATORS AS REQUIRED BY N.F.P.A.-96 AND LOCAL, STATE AND NATIONAL CODES.
- G.F.I. RECEPTACLES AS REQUIRED BY LOCAL, STATE, AND NATIONAL CODES. DISCONNECTS OR OTHER DEVICES AS MAY BE REQUIRED BY LOCAL, STATE, AND NATIONAL CODES.
- RECEPTACLES IN STORAGE AREA AS REQUIRED BY LOCAL, STATE, AND NATIONAL CODES. • ALL 120 VOLT CONVENIENCE OUTLETS NOT DESIGNATED WITH SPECIFIC LOADS SHALL BE RATED AT 16.0 AMP LOAD (20 AMP BREAKER). ELECTRICAL CONTRACTOR IS TO PROVIDE ANY ADDITIONAL OUTLETS AS CALLED FOR BY THE ARCHITECT, OWNER, OR ELECTRICAL ENGINEER.

### WHEN APPLICABLE, THE ELECTRICAL CONTRACTOR SHALL PROVIDE CIRCUIT AND WIRING, INSTALL ELECTRICAL COMPONENTS (PROVIDED BY FOODSERVICE EQUIPMENT CONTRACTOR) AND INTERWIRE BETWEEN THE FOLLOWING:

- EXHAUST HOODS FURNISHED BY FOODSERVICE EQUIPMENT CONTRACTOR WITH LIGHT FIXTURES, EMPTY CONDUIT TO J-BOX AND PRE-WIRE PACKAGE. ELECTRICAL CONTRACTOR TO INTERCONNECT TO SWITCHES AND MAKE ALL FINAL CONNECTIONS.
- POWER TO ALL ELECTRICALLY OPERATED COOKING EQUIPMENT UNDER HOODS TO BE FROM PANEL WHERE MAIN BREAKER IS INTERWIRED WITH THE FIRE SUPPRESSION SYSTEM AND/OR FIRE TERMINAL BLOCK IN THE UTILITY DISTRIBUTION SYSTEM SO THAT THE POWER SHUT-OFF IS ACHIEVED UPON EITHER MANUAL OR AUTOMATIC OPERATION OF THE FIRE SUPPRESSION SYSTEM. ALL INTERWIRING BY ELECTRICAL CONTRACTOR.
- HOOD CONTROLS AND FIRE PROTECTION SYSTEMS EACH REQUIRE EMERGENCY (24 HOUR) SEPARATE CIRCUIT ELECTRICAL SERVICE. ELECTRICAL CONTRACTOR TO PROVIDE CIRCUITS ON ROOF FOR EXHAUST/SUPPLY FANS, VERIFY UTILITIES REQUIRED WITH MECHANICAL CONTRACTOR AND LOCATION OF UNITS WITH GENERAL CONTRACTOR. FINAL CONNECTIONS BY ELECTRICAL CONTRACTOR.
- S/S UTILITY CHASE SHALL BE FURNISHED BY FOODSERVICE EQUIPMENT CONTRACTOR WITH RECEPTACLES MOUNTED AND CORD & PLUG SETS LOOSE. ELECTRICAL CONTRACTOR TO EXTEND WIRING TO EACH RECEPTACLE ON UTILITY CHASE AND MAKE FINAL CONNECTIONS. ELECTRICAL CONTRACTOR TO CONNECT ALL CORD &
- PLUG SETS TO EQUIPMENT.
- DISHMACHINE SHALL BE FURNISHED BY FOODSERVICE EQUIPMENT CONTRACTOR, PRE-WIRED TO INTEGRAL CONTROL PANEL AND READY FOR FINAL CONNECTION BY ELECTRICAL CONTRACTOR. DISHMACHINE SHALL BE FURNISHED WITH EXHAUST FAN CONTROL SWITCH BY FOODSERVICE EQUIPMENT CONTRACTOR. ELECTRICAL CONTRACTOR TO INTERCONNECT TO EXHAUST FAN SO FAN OPERATES WHEN DISHMACHINE IS TURNED ON.
- DISHMACHINE SHALL BE FURNISHED WITH LIMIT SWITCH BY FOODSERVICE EQUIPMENT CONTRACTOR. ELECTRICAL CONTRACTOR TO INTERCONNECT AND MAKE FINAL CONNECTIONS.
- DISPOSERS SHALL BE FURNISHED BY FOODSERVICE EQUIPMENT CONTRACTOR WITH SOLENOID VALVE AND AUTO REVERSING CONTROL CENTER WITH MAGNETIC STARTER (S) AND START/STOP BUTTONS FOR FINAL CONNECTION BY ELECTRICAL CONTRACTOR.





_

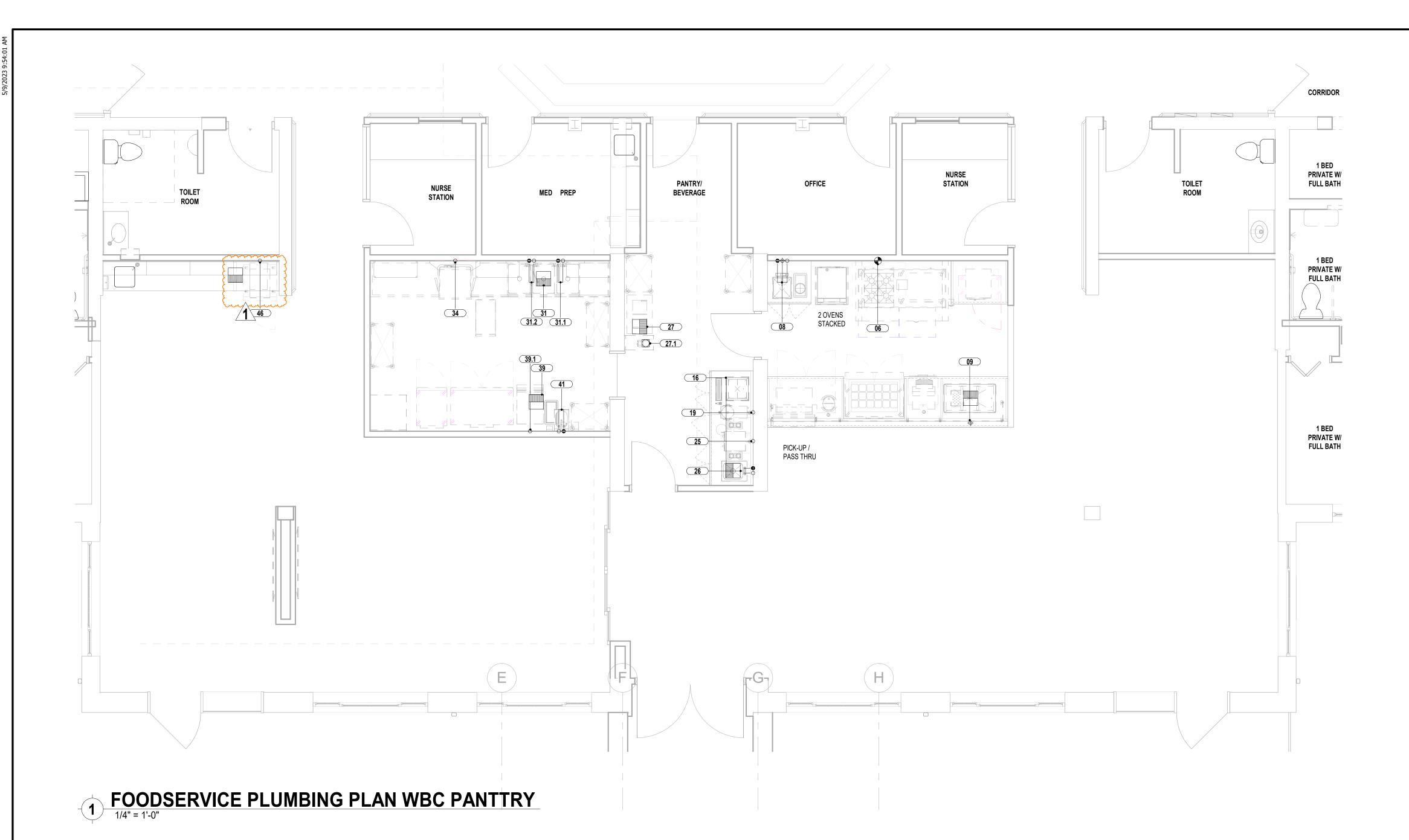
 $\checkmark$ 

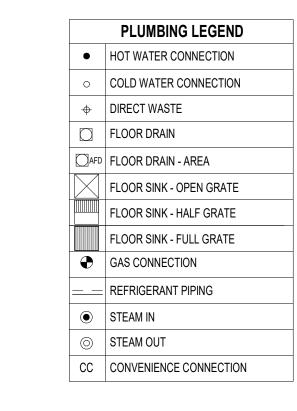
# FARMS WBC GRANITE

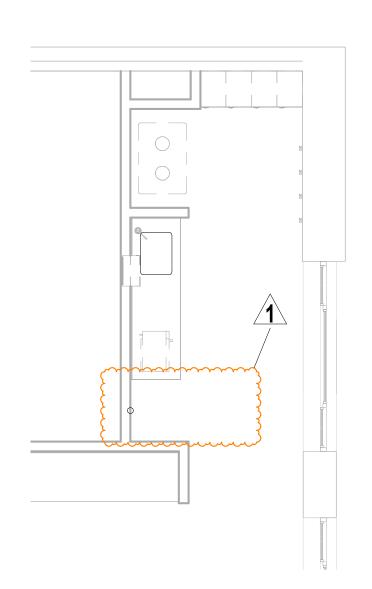
FOODSERVICE EQUIPMENT PLAN -

**STAFF LOUNGE C131**1/4" = 1'-0"

**FOODSERVICE** 







# FOODSERVICE PLUMBING PLAN -STAFF LOUNGE C131

FOODSERVICE PLUMBING SCHEDULE													
ITEM NO	QTY	DESCRIPTION	CW SIZE	CW AFF	HW SIZE	HW AFF	DW SIZE	DW AFF IW SIZ	E IW TYPE	GAS SIZE	BTU/H	GAS AFF	PLUMBING REMARKS
06	1	COUNTERTOP RANGE								3/4"	132000	12"	
08	1	UNDERMOUNT SINK	1/2"	14"	1/2"	168"		3 1/2"	FS				
09	1	DROP-IN HOT/COLD WELL						3/4"	FS				
16	1	ICE CHEST						1/2"	FS				Indirect Waste Flow and Discharge Temperature Will Vary Based On Use
17	1	DRIP PAN,RECESSED						1/2"	FD				
19	1	TEA BREWER	1/2"	14"									
25	1	COFFEE BREWER	1/4"	14"									ESTIMATE UTILITIES - FIELD VERIFY
26	1	DUMP SINK, DROP-IN	1/2"	14"	1/2"	14"		1 1/2"	FS				
27	1	ICE CREAM CABINET						1"	FS				
27.1	1	DIPPERWELL	1/2"	14"				1 1/2"	FD				
31	1	SINK, 3-COMPARTMENT						1 1/2"	FS				LEVER WASTE
31.1	1	FAUCET, WALL MOUNT	1/2"	14"	1/2"	14"							
31.2	1	PRE-RINSE FAUCET W/ADD-ON FAUCET	1/2"	14"	1/2"	14"							
34	1	DISHWASHING MACHINE	3/4"	12"				1 1/2"	FS				
39	1	ICE STORAGE BIN						3/4"	F/S				
39.1	1	ICE MACHINE	1/2"	14"				3/4"	FS				WATER FILTER
41	1	WALL MOUNT HAND SINK	1/2"	14"	1/2"	14"	0"	0"					
46	1	ICE MAKER & DISPENSER	1/4"	14"				3/4"	FS				WATER FILTRATION SYSTEM

### FOODSERVICE PLUMBING/MECHANICAL NOTES:

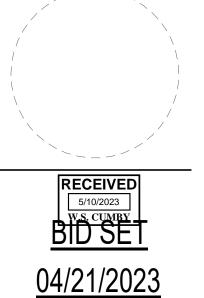
- THIS PLUMBING PLAN AND COORDINATING SCHEDULE IS INTENDED TO SHOW ROUGH-IN LOCATIONS AND HEIGHTS, CONNECTION TYPES, POSITIONS, FIXTURE TYPES AND LOAD REQUIREMENTS FOR FOODSERVICE EQUIPMENT SPECIFIED AND FOODSERVICE EQUIPMENT THAT IS SCHEDULED FOR RE-USE. THIS PLUMBING PLAN IS INTENDED TO SHOW PLUMBING REQUIREMENTS AND APPROXIMATE ROUGHING-IN LOCATIONS ONLY. DO NOT USE FOR ACTUAL ROUGHING-IN. FOR FINAL ROUGH-IN LOCATIONS SEE DIMENSIONED PLANS PROVIDED BY FOODSERVICE EQUIPMENT CONTRACTOR. UTILITY REQUIREMENTS INDICATED ARE TO SERVE AS A REFERENCE TO THE LICENSED PROFESSIONAL ARCHITECT AND/OR ENGINEERS IN THE PREPARATION OF THEIR RESPECTIVE BID AND CONSTRUCTION DOCUMENTS. NO ARCHITECTURAL OR ENGINEERING DESIGN SERVICES ARE INTENDED OR ASSUMED. FOODSERVICE EQUIPMENT CONTRACTOR, PRIOR TO EQUIPMENT INSTALLATION, SHALL CHECK ALL UTILITY ROUGH-IN LOCATIONS, COORDINATE FIELD CONDITIONS, AND CALL TO THE ATTENTION OF THE GENERAL CONTRACTOR ANY AND ALL DISCREPANCIES BETWEEN THE FOODSERVICE ROUGH-IN PLANS, THE
- EQUIPMENT SPECIFIED, AND THE ROUGH-INS AS THEY OCCUR IN THE FIELD. UTILITIES ARE BASED ON MANUFACTURER'S INFORMATION. ACTUAL ROUGHING-IN TO BE DETERMINED BY CODE REQUIREMENTS AND/OR MAUFACTURER'S DIRECTIONS.
- ALL EXPOSED UTILITY LINES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILING AREA. 1 TO 2 INCHES OFF WALLS AND MINIMUM 6" OFF FLOORS. ALL PLUMBING WORK, LABOR AND MATERIAL, REQUIRED TO CONNECT THIS EQUIPMENT IS TO BE FURNISHED BY PLUMBING CONTRACTOR UNLESS SPECIFICALLY CALLED FOR IN FOODSERVICE DOCUMENTS. PLUMBING CONTRACTOR IS TO INCLUDE ROUGHING-IN TO POINTS INDICATED ON ROUGHING-IN PLANS,
- FINAL CONNECTIONS FROM ROUGH-IN POINTS TO VARIOUS PIECES OF EQUIPMENT REQUIRING SUCH CONNECTIONS, AND THE SUPPLYING OF ALL NECESSARY MATERIALS AND LABOR FOR THIS WORK EXCEPT AS HEREINAFTER NOTED. FINAL PLUMBING CONNECTIONS TO ALL EQUIPMENT SHALL BE BY THE PLUMBING CONTRACTOR, INCLUDING ALL REQUIRED MATERIALS SUCH AS, PIPING OF SUPPLY AND WASTE LINES FROM BUILDING SERVICE TO ROUGH-IN (UNLESS SPECIFICALLY STATED OTHERWISE), TRAPS, GREASE INTERCEPTORS, LINE
- STRAINERS, TAILPIECES, VALVES, STOPS, SHUTOFFS, AND MISCELLANEOUS FITTINGS REQUIRED FOR COMPLETE INSTALLATION AND FINAL CONNECTION. ITEMS NOT FURNISHED AS A STANDARD PART OF THE EQUIPMENT BY THE MANUFACTURER, ARE TO BE FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR. FAUCETS PROVIDED BY FOODSERVICE EQUIPMENT CONTRACTOR AND FURNISHED LOOSE AS STANDARD BY EQUIPMENT MANUFACTURERS ARE TO BE MOUNTED AND PLUMBED COMPLETE UNDER PLUMBING CONTRACT.
- PLUMBING ENGINEER TO BE RESPONSIBLE FOR ALL CONCERNS AND ARRANGEMENTS REGARDING PENETRATIONS INTO THE FLOOR AND WALL. BUILDING OWNER TO APPROVE PRIOR TO CONSTRUCTION.
- PLUMBING ENGINEER TO LOCATE AREA DRAINS AND HOSE BIBBS AS REQUIRED FOR GENERAL CLEANING OF FACILITY.
- PLUMBING COMPONENTS MUST NOT INTERFERE WITH THE OPERATION OF THE ITEMS OF FOOD SERVICE EQUIPMENT. FINAL CONNECTIONS TO ALL EQUIPMENT SHALL BE BY THE PLUMBING CONTRACTOR, INCLUDING ALL REQUIRED MATERIALS SUCH AS STOPS, VALVES FILTERS, TRAPS, CHECK VALVES, PIPING, TUBING, ETC.
- GAS COOKING EQUIPMENT SHALL BE ADA APPROVED AND FURNISHED BY FOODSERVICE EQUIPMENT CONTRACTOR WITH GAS PRESSURE REGULATORS DESIGNED TO OPERATE WITH 14" W.C. INCOMING GAS PRESSURE OR LESS. PLUMBING CONTRACTOR TO PROVIDE GAS PIPING WITH INDIVIDUAL SHUT-OFF VALVES AND INTERMEDIATE REGULATORS AS REQUIRED TO REDUCE INCOMING BUILDING PRESSURE TO LEVEL SUITABLE FOR EQUIPMENT. PLUMBING CONTRACTOR TO MAKE FINAL CONNECTIONS.
- FIRE CONTROL SYSTEM: FOODSERVICE EQUIPMENT CONTRACTOR TO FURNISH MECHANICAL GAS SOLENOID VALVE LOOSE FOR PLUMBER TO INSTALL IN GAS SUPPLY LINE, LOCATED SO AS TO SHUT OFF ALL GAS TO COOKING EQUIPMENT WHEN ACTUATED. SHOULD DISCREPANCIES OCCUR THEY SHALL BE BROUGHT TO THE ATTENTION OF THE FOODSERVICE CONSULTANT AND/OR PROJECT ARCHITECT/ENGINEER IN ORDER FOR THE CONFLICT TO BE CLARIFIED IN AN OFFICIAL REQUEST FOR INFORMATION.

### THE PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL THE FOLLOWING:

- ALL WATER, WASTE, GAS, AND STEAM SERVICE TO POINT OF ROUGH-IN AS SHOWN ON PLAN. ROUGH-IN OUTLETS TO STUB 4" OUT OF WALLS AT HEIGHT INDICATED FROM FINISHED FLOOR TO CENTERLINE OF SERVICE LINE. FLOOR ROUGH-INS TO STUB UP 3" ABOVE FINISHED FLOOR OR CURBS. ALL FLOOR OPENINGS OR PENETRATIONS TO BE SEALED WATERTIGHT.
- ALL FLOOR SINKS, COMPLETE WITH TOP GRATES (AS INDICATED) AND REMOVABLE SEDIMENT BUCKETS. ALL FIXTURES TO BE SET FLUSH WITH FINISHED FLOOR, EXCEPT AS OTHERWISE NOTED.
- ALL WASTE LINES, DIRECT OR INDIRECT, EXCEPT AS OTHERWISE NOTED. MINIMUM DIAMETER OF LINE SHALL BE AS INDICATED ON PLAN REGARDLESS OF CONNECTION, AND SHALL BE PITCHED DOWNWARD. MAINTAIN DRAIN LINES AS HIGH AS POSSIBLE (MINIMUM 6" CLEAR ABOVE FINISHED FLOOR) ABOVE FLOOR FOR SANITATION AND CLEANING. ALL WASTE LINES SHALL HAVE ADEQUATE CLEAN-OUT PROVISIONS PER LOCAL CODES.
- INDIRECT CONDENSATE DRAINLINES FOR WALK-IN COOLER/FREEZER TO BE PITCHED 4" PER 12" OF HORIZONTAL RUN AND TERMINATE IN A P-TRAP OVER FLOOR SINK.
- HEATER TAPE, WITH AN EFFECTIVE RATING OF 35 WATTS PER LINEAR FOOT, AND INSULATION OF ALL DRAINLINES WITHIN FREEZER COMPARTMENTS. ALL REQUIRED GREASE INTERCEPTORS, OUTSIDE THE BUILDING WHERE POSSIBLE, OTHERWISE BELOW OR SET FLUSH WITH THE FINISHED FLOOR. STRICT COORDINATION WITH EQUIPMENT AND LOCAL CODES REQUIRED IF GREASE INTERCEPTOR IS TO BE SET ABOVE THE FLOOR OR UNDER EQUIPMENT.
- INSTALL FIRE CONTROL GAS SHUT-OFF (SOLENOID, EITHER MANUAL OR ELECTRIC) VALVE AS SUPPLIED BY FIRE SUPPRESSION SYSTEM CONTRACTOR. (IF GAS COOKING EQUIPMENT IS USED) VACUUM BREAKERS AS REQUIRED BY LOCAL/STATE/NATIONAL CODES.
- INSULATION ON ALL HOT WATER AND CONDENSATE RETURN LINES WITHIN THE FOODSERVICE AREAS. ALL SUCH LINES ARE TO BE COLOR-CODED ACCORDING TO LOCAL CODES.
- CLEAN-OUT VALVES FOR STEAM AND CONDENSATE RETURN LINES.
- PLUMBING CONTRACTOR TO INTERCONNECT DISHMACHINE WITH BOOSTER HEATER/HEAT RECLAIMER AS PER MANUFACTURER'S INSTRUCTIONS, WHEN APPLICABLE AND NOTED.
- PRESSURE REDUCING AND/OR REGULATING VALVES FOR DISHWASHERS, BOOSTER HEATERS, OR AS OTHERWISE NOTED IN ALL FOOD SERVICE AREAS.
- PLUMBING CONTRACTOR TO INTERCONNECT WATER-WASH VENTILATORS WITH CONTROL PANELS AS PER MANUFACTURER'S INSTRUCTIONS, WHEN APPLICABLE AND NOTED. WHERE POSSIBLE, UTILITIES SHALL BE CONCEALED WITHIN BUILDING WALLS OR COLUMN CHASES, NOT RUN ALONG WALL FACE. DO NOT STUB OUT OF FLOOR AND RUN ON THE FACE OF THE WALL.
- ANY AND ALL EXPOSED PIPING OR FITTINGS TO BE STAINLESS STEEL, CHROME PLATED OR ENCLOSED IN A CONCEALED, MOUNTED STAINLESS STEEL CHASE. ALL HORIZONTAL PIPING RUNS EXTENDED TO AND CONNECTED TO EQUIPMENT ITEMS SHALL BE AT THE HIGHEST PRACTICAL ELEVATION AND NOT LESS THAN 6" ABOVE FINISHED FLOOR SO AS TO PROVIDE CLEARANCE FOR CLEANING.
- ALL VENT PIPES TO BE CONCEALED IN WALLS OR COLUMN CHASES. USE LOOP VENTS FOR ISLAND FIXTURES, AS ALLOWED BY LOCAL CODES. ALL LINES ROUTED THROUGH EQUIPMENT SHALL NOT INTERFERE WITH THE INTENDED USE OF, OR SERVICING OF THE EQUIPMENT.
- DRINKING FOUNTAINS ARE BY MECHANICAL TRADES. VERIFY UTILITY REQUIREMENTS WITH MECHANICAL ENGINEER.
- INDOOR GREASE TRAPS ARE TO RECESSED, FLUSH WITH TOP OF FINISHED FLOOR (UNLESS SPECIFIED OTHERWISE) AND REMOVAL OF COVER SHALL NOT INTERFERE WITH THE OPERATION OF EQUIPMENT ITEMS. FLOOR DRAINS, FUNNEL FLOOR DRAINS, FLOOR SINKS, ETC., LOCATED AT FOOD PREP SINKS, POT WASHING SINKS AND DISHMACHINES MUST HAVE REMOVABLE BASKETS TO CATCH FOOD PARTICLES. FLOOR TROUGH DRAINS MUST ALSO BE PROVIDED WITH REMOVABLE BASKETS AND TO BE INSTALLED FLUSH
- WITH FINISHED FLOOR (NO RAISED FLOOR SINKS SHALL BE INSTALLED). ALL DRAINS IN FOOD SERVICE AREAS TO BE RUN THROUGH GREASE TRAP UNLESS OTHERWISE APPROVED BY LOCAL CODE.



 $\boldsymbol{\sigma}$ _ **~** 



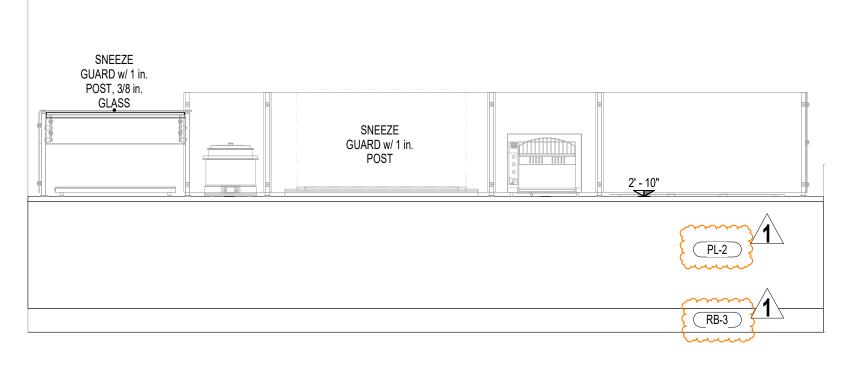
# **PHASE** FARMS WBC GRANITE

S

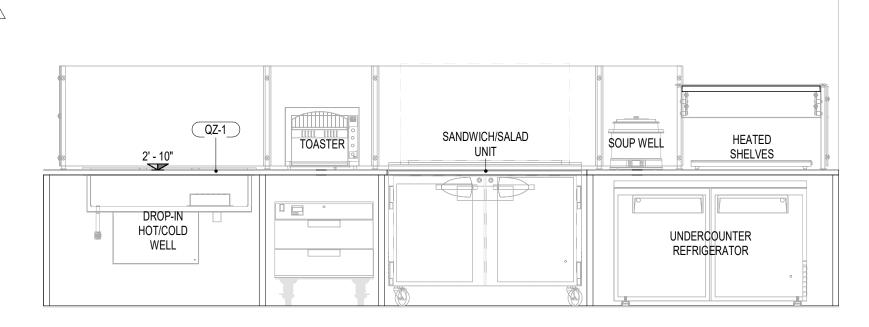
**FOODSERVICE** 

MILLWORK PLAN WBC PANTRY

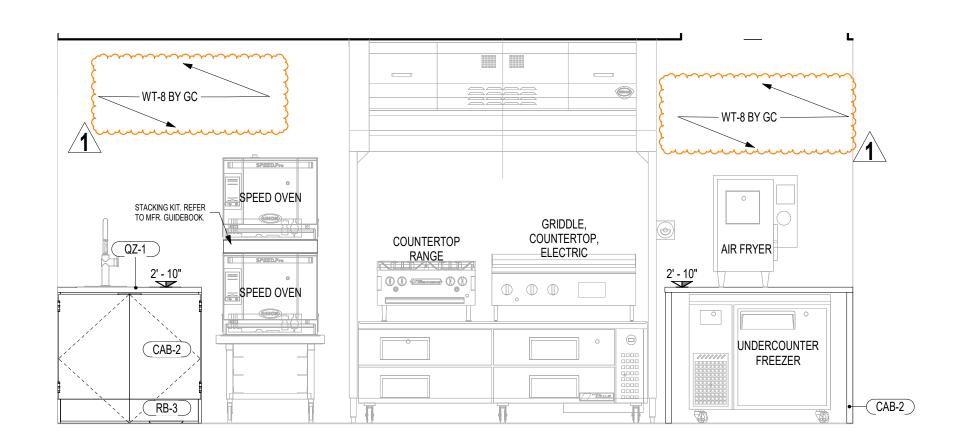
1/2" = 1'-0"



PANTRY - FRONTLINE EXTERIOR ELEVATION

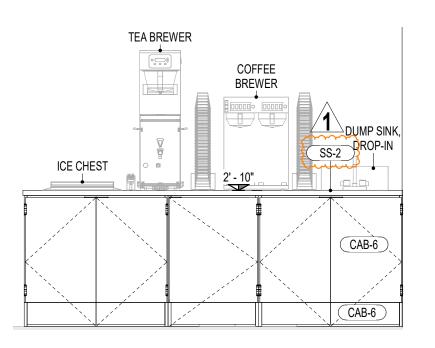


**PANTRY - FRONTLINE INTERIOR ELEVATION** 



PANTRY - BACKLINE ELEVATION

1/2" = 1'-0"



BEVERAGE COUNTER ELEVATION

1/2" = 1'-0"

### MILLWORK LEGEND

#### **GENERAL NOTES:**

- REFER TO FINISHES SCHEDULE FOR ALL FINISHES. MILLWORK CONTRACTOR TO SITE VERIFY ALL DIMENSIONS PRIOR TO
- DRAWINGS TO BE READ IN CONJUNCTION WITH EQUIPMENT SCHEDULE &
- CONSTRUCTION / FABRICATION FOR DESIGNER'S APPROVAL.
- UNLESS OTHERWISE NOTED, THE UNDERSIDE OF THE COUNTERTOP
- SUBSTRATE IS TO RECEIVE A WHITE PLASTIC LAMINATE FINISH ALL SURFACES TO BE FINISHED. NO UNFINISHED SURFACES WILL BE
- MILLWORK CONTRACTOR TO ENSURE COUNTER FITS SNUG WITH SURROUNDING SITE AND MILLWORK CONDITIONS. IF NECESSARY SCRIBE 3/4" SUBSTRATE REQUIRED UNLESS MILLWORK CONTRACTOR CONFIRMS IT
- IS NOT NECESSARY. WHERE SUBSTRATE INTERFERES WITH UNDER ADEQUATELY SUPPORT THE COUNTERTOP.
- MILLWORK CONTRACTOR TO ENSURE ALL SPECIFIED/PROVIDED EQUIPMENT FITS INTO COUNTER AS NOTED. CHECK ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO FABRICATION. MILLWORK CONTRACTOR TO LIASE WITH KEC TO COORDINATE ADEQUATE
- MILLWORK REINFORCEMENT TO SUPPORT SPECIFIED/PROVIDED EQUIPMENT AT FULL CAPACITY.
- MILLWORK CONTRACTOR TO CLEAN AND SEAL AROUND ALL COUNTERTOP CUTOUTS FOR EQUIPMENT, TRASH DROPS, ETC. ANY SUPPORT LEGS INDICATED ON THE DRAWINGS ARE SUGGESTED PLACEMENT. QUANTITY OF SUPPORT LEGS SHALL BE DETERMINED BY MILLWORK CONTRACTOR AND KEC. SUPPORT LEGS TO BE ADJUSTABLE
- STAINLESS STEEL UNLESS OTHERWISE NOTED. MILLWORK CONTRACTOR TO PROVIDE ADEQUATE VENTILATION IN COUNTERS FOR REQUIRED EQUIPMENT. CHECK ALL MANUFACTURER'S
- SPECIFICATIONS PRIOR TO FABRICATION. ALL CONSTRUCTION TO BE 3/4" MARINE GRADE PLYWOOD OR APPROVED
- EQUAL, FINISH AS SPECIFIED. UNLESS OTHERWISE DETAILED, LOUVERED MILLWORK DOORS SHALL HAVE 1/2" VENTILATION SLOTS ROUTED INTO THE ENTIRE DOOR @ 1 1/2" OC. VENTILATION SLOTS SHALL STOP MIN. 3" ON ALL SIDES. INSIDE OF SLOT TO BE PAINTED BLACK WITH WATERPROOF SEALANT.
- CUSTOMER SIDE OF ALL SERVING COUNTERS SHALL NOT EXCEED 34" ABOVE FINISHED FLOOR

CORNER GUARDS:
UNLESS OTHERWISE NOTED, 3/4" X 3/4" STAINLESS STEEL CORNER GUARDS ON ALL OUTSIDE CORNERS OF MILLWORK

### COUNTER TOPS ALL COUNTERTOP MATERIALS TO BE INSTALLED PER MANUFACTURERS DETAILS

- AND SPECIFICATION. USE COUNTERTOP MANUFACTURERS RECOMMENDED DIMENSIONS TO
- PROVIDE ADEQUATE SUPPORT OF THE PRODUCT. USE COUNTERTOP MANUFACTURES RECOMMENDATIONS FOR OVERHANG DIMENIONS, OVERHANGS SHOULD NOT EXCEED 1/3 OF THE TOTAL COUNTERTOP DEPTH.
- USE COUNTERTOP MANUFACTURERS RECOMMENDATIONS FOR INCORPORATING THE NECESSARY EQUIPMENT CUTOUTS IN THEIR
- MATERIAL. CUTOUT SIZES TO BE COORDINATED WITH THE KEC. EQUIPMENT SHOULD BE THERMALLY ISOLATED FROM THE COUNTERTOP MATERIAL TO AVOID HEAT/COLD TRANSFER TO THE MATERIAL.

MILLWORK SECTIONS ARE SHOWN AS A GENERAL REPRESENTATION OF PROFILE AND MATERIAL PLACEMENT. MILLWORK SECTIONS ARE NOT TO BE CONSTRUED AS A MEANS AND METHODS FOR CONSTRUCTION/FABRICATION.

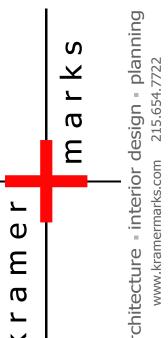
MILLWORK CUTOUTS INDICATED ARE BASED ON EQUIPMENT SPECIFICED IN

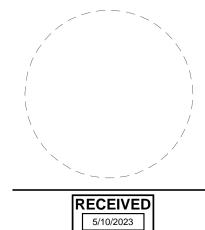
### VISIONBUILDERS & DESIGN DOCUMENTS.

ANY SUBSTITUTIONS OR ALTERATIONS TO SPECIFIED EQUIPMENT RENDERS CUTOUT INFORMATION NULL AND VOID.

SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL









#1 - PHASE

Retirement Communities, 726 LOVEVILLE ROAD, SUITE 3000 HOCKESSIN, DELAWARE 19707 ACTS GRANITE FARMS WBC

MILLWORK PLAN & ELEVATIONS

