

**ADDENDUM NO. 2**  
to Specifications and Contract Documents for  
**WINCHESTER CITY HALL RENOVATIONS**  
at WINCHESTER, TENNESSEE

Mach 04, 2026

This Addendum forms a part of the Proposal and modifies the original Specifications and Contract Documents as noted below. Acknowledge receipt of this Addendum in the space provided on Page 1 of the Proposal. Failure to do so may subject bidder to disqualification.

Additions and deletions to the Specifications and Contract Documents will be indicated in the following manner:

DELETIONS ~~EXAMPLE~~  
ADDITIONS [EXAMPLE](#)

**DRAWINGS:**

- Item No. 1: C0.1: EXISTING CONDITIONS AND DEMOLITION PLAN.**  
Replace existing sheet.
  
- Item No. 2: C1.1: SITE PLAN.**  
Replace existing sheet.
  
- Item No. 3: AD1.0: DEMOLITION PLAN – BASEMENT AND GROUND FLOOR.**  
Replace existing sheet.
  
- Item No. 4: AD1.1: DEMOLITION PLAN – SECOND FLOOR.**  
Replace existing sheet.
  
- Item No. 5: A1.3: REFERENCE FLOOR PLAN.**  
Replace existing sheet.
  
- Item No. 6: A1.4: REFERENCE FLOOR PLAN – SECOND FLOOR.**  
Replace existing sheet.
  
- Item No. 7: A5.1: EXTERIOR ELEVATIONS.**  
Replace existing sheet.
  
- Item No. 8: A10.1: DOOR TYPES.**  
Replace existing sheet.
  
- Item No. 9: A11.4: INTERIOR ELEVATIONS AND DETAILS.**  
Replace existing sheet.
  
- Item No. 10: A12.1: FINISH PLAN.**  
Replace existing sheet.
  
- Item No. 11: A12.2: FINISH PLAN.**  
Replace existing sheet.
  
- Item No. 12: A12.3: FINISH PLAN.**  
Replace existing sheet.
  
- Item No. 13: A12.4: FINISH SCHEDULE.**  
Replace existing sheet.

**Item No. 14: P1.1: FIRST FLOOR - PLUMBING.**  
Replace existing sheet.

**SPECIFICATIONS:**

**Item No. 15: DRAWINGS.**  
Replace in its entirety, pages 1 through 4.

**Item No. 16: SECTION 08 4413: GLAZED ALUMINUM CURTAIN WALLS.**  
Replace in its entirety, pages 1 through 8.

**Item No. 17: CONTRACTOR QUESTIONS AND ANSWERS– 2 pages.**

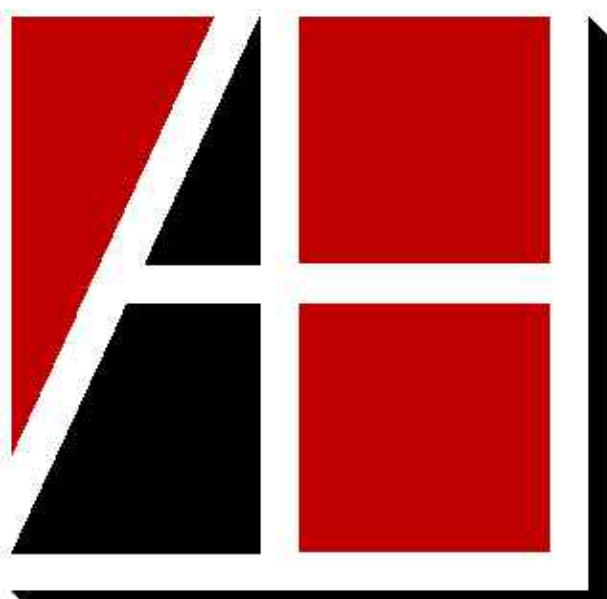
END OF ADDENDUM No. 2



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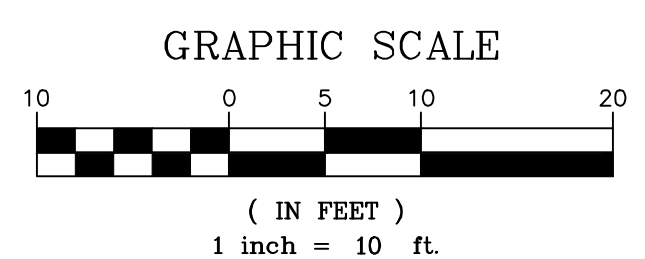
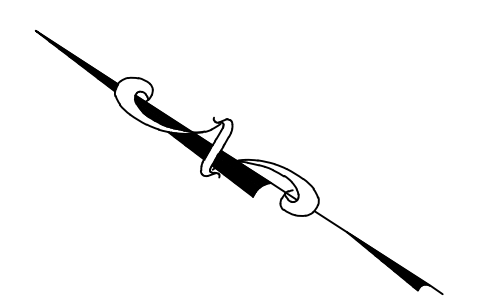
A&H JOB NO. 63492



**Allen & Hoshall**  
engineers • architects • surveyors

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- NOTES:
1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
  2. ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR IN A TIMELY MANNER.
  3. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND PROPER UTILITY COMPANY FOR ANY DISRUPTION OF THAT UTILITY.
  4. COORDINATE GAS UTILITY WITH ELK RIVER PUBLIC UTILITY DISTRICT.
  5. ALL PAVEMENT TO BE REMOVED SHALL BE NEATLY SAWCUT.
  6. ALL REMOVAL/REPLACEMENT SHALL BE FULL SIDEWALK SLABS FROM JOINT TO JOINT.
  7. DEMOLITION OF THE EXISTING CONCRETE STAIRWELL TO BE PERFORMED IN A CONTROLLED MANNER TO PREVENT DAMAGE TO ADJACENT STRUCTURES AND UTILITIES. SAWCUT AND DEMOLISH STAIR AND LANDINGS. THE EXISTING CONCRETE MAY BE BROKEN ON SITE AND FREED AS STRUCTURAL FILL, PROVIDED THE MATERIAL IS CLEAN, SOUND, AND FREE OF SOIL, REINFORCING STEEL, AND OTHER UNSOUND MATERIALS IN ACCORDANCE WITH APPROVED SPECIFICATIONS. ANY CONCRETE MATERIAL NOT MEETING REQUIREMENTS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS.
  8. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING AS REQUIRED TO SAFELY DEMOLISH EXISTING CONCRETE STAIRWELL. THE CONTRACTOR SHALL SUBMIT SHORING & BRACING PLAN AND CALCULATIONS SEALED BY A TENNESSEE REGISTERED ENGINEER.
  9. BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY BY JOHNSON AND ASSOCIATES LAND SURVEYORS, DATED 5/4/25. ALLEN & HOSHALL MAKES NO GUARANTEES TO THE ACCURACY OF THE SURVEY.

LEGEND	
	POWER POLE
	LIGHT POST
	ANCHOR
	WATER VALVE
	GAS VALVE
	WATER METER
	GAS METER
	FIRE HYDRANT
	SANITARY SEWER MANHOLE
	GAS REGULATOR
	IRRIGATION CONTROL VALVE
	MAILBOX
	WATER LINE
	GAS LINE
	OVERHEAD ELECTRIC
	SANITARY SEWER LINE
	FIBER OPTIC
	UNDERGROUND CONDUIT



**WINCHESTER CITY HALL**

7 5 HIGH ST, SUITE 1  
WINCHESTER, TN 37398

CITY OF WINCHESTER, TENNESSEE

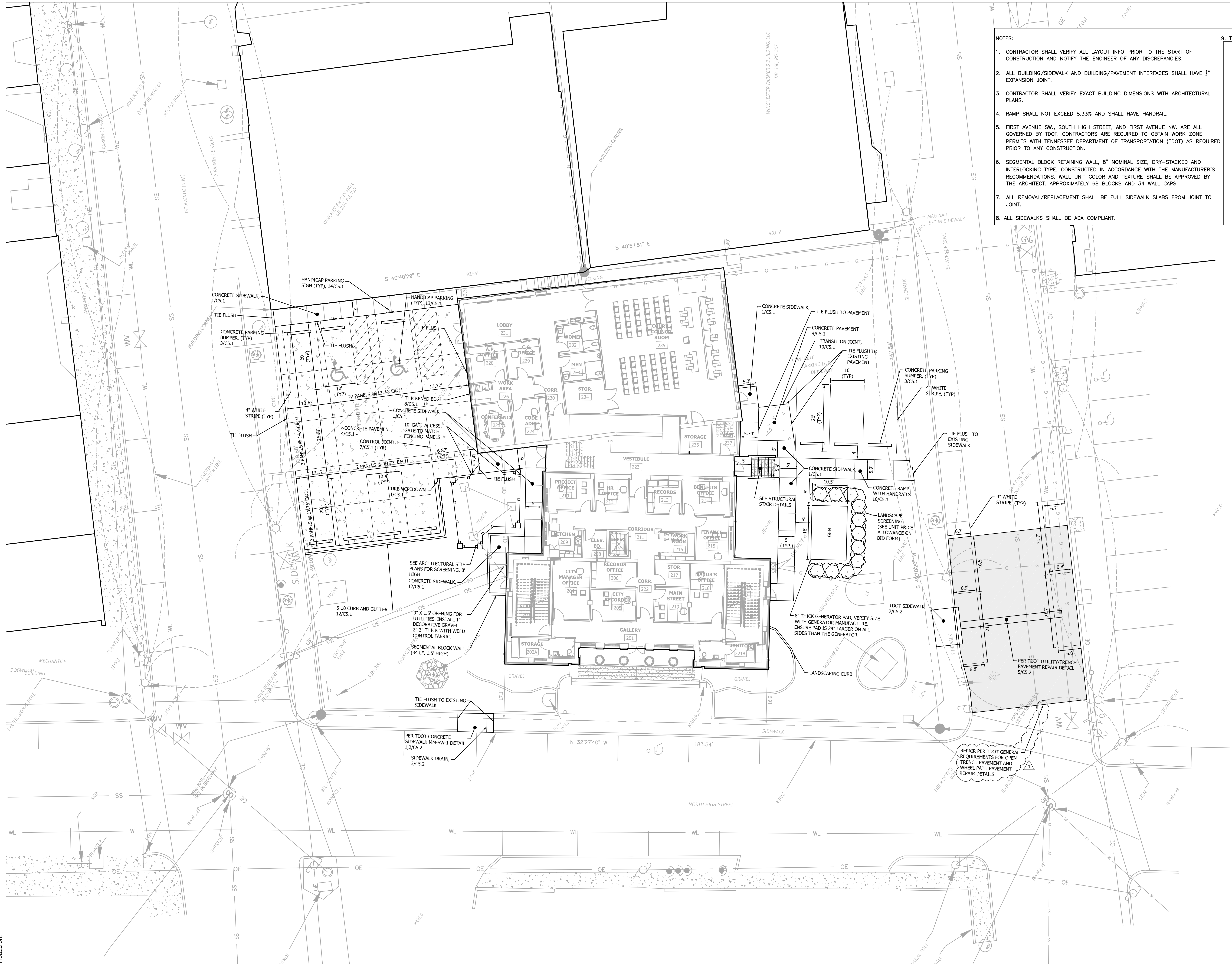
No.	Revision Description	Date
1	ADDENDUM 2	3-4-26

**EXISTING CONDITIONS AND DEMOLITION PLAN**

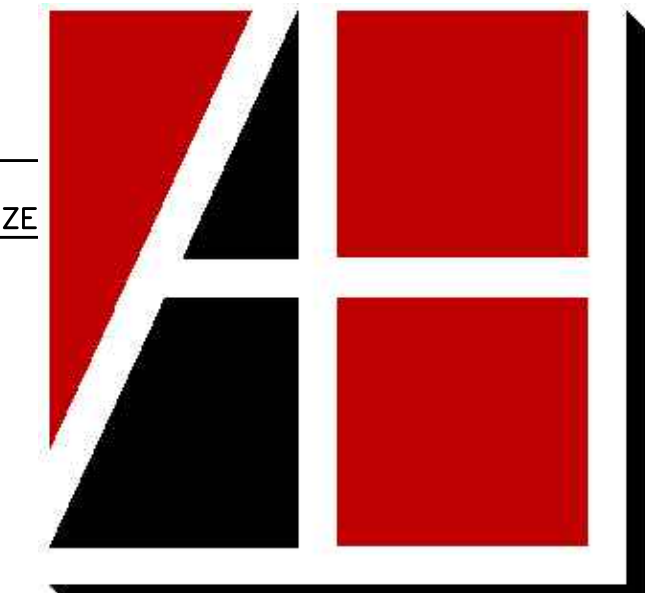
JOB NO: 63492 DRAWN: AJM  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

**C0.1**

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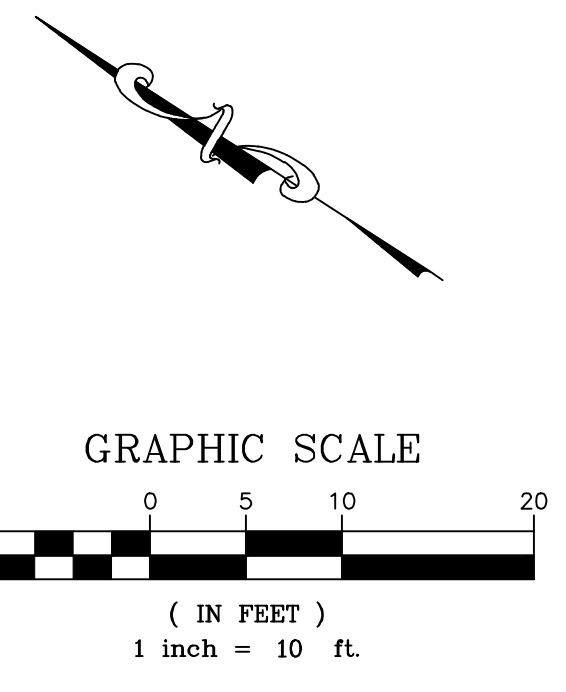
- NOTES:
1. CONTRACTOR SHALL VERIFY ALL LAYOUT INFO PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
  2. ALL BUILDING/SIDEWALK AND BUILDING/PAVEMENT INTERFACES SHALL HAVE 1" EXPANSION JOINT.
  3. CONTRACTOR SHALL VERIFY EXACT BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
  4. RAMP SHALL NOT EXCEED 8.33% AND SHALL HAVE HANDRAIL.
  5. FIRST AVENUE SW., SOUTH HIGH STREET, AND FIRST AVENUE NW. ARE ALL GOVERNED BY TDOT. CONTRACTORS ARE REQUIRED TO OBTAIN WORK ZONE PERMITS WITH TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) AS REQUIRED PRIOR TO ANY CONSTRUCTION.
  6. SEGMENTAL BLOCK RETAINING WALL, 8" NOMINAL SIZE, DRY-STACKED AND INTERLOCKING TYPE, CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WALL UNIT COLOR AND TEXTURE SHALL BE APPROVED BY THE ARCHITECT. APPROXIMATELY 68 BLOCKS AND 34 WALL CAPS.
  7. ALL REMOVAL/REPLACEMENT SHALL BE FULL SIDEWALK SLABS FROM JOINT TO JOINT.
  8. ALL SIDEWALKS SHALL BE ADA COMPLIANT.



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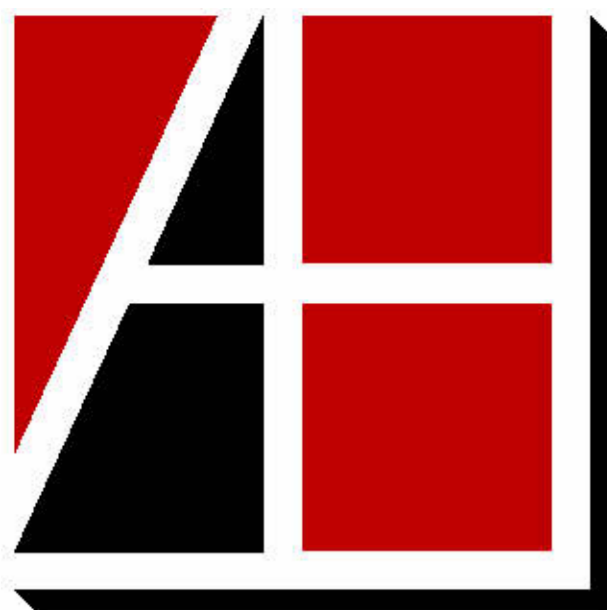
No.	Revision Description	Date
1	ADDENDUM 2	3-4-26

**SITE PLAN**

JOB NO: 63492 DRAWN: AJM  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

**C1.1**

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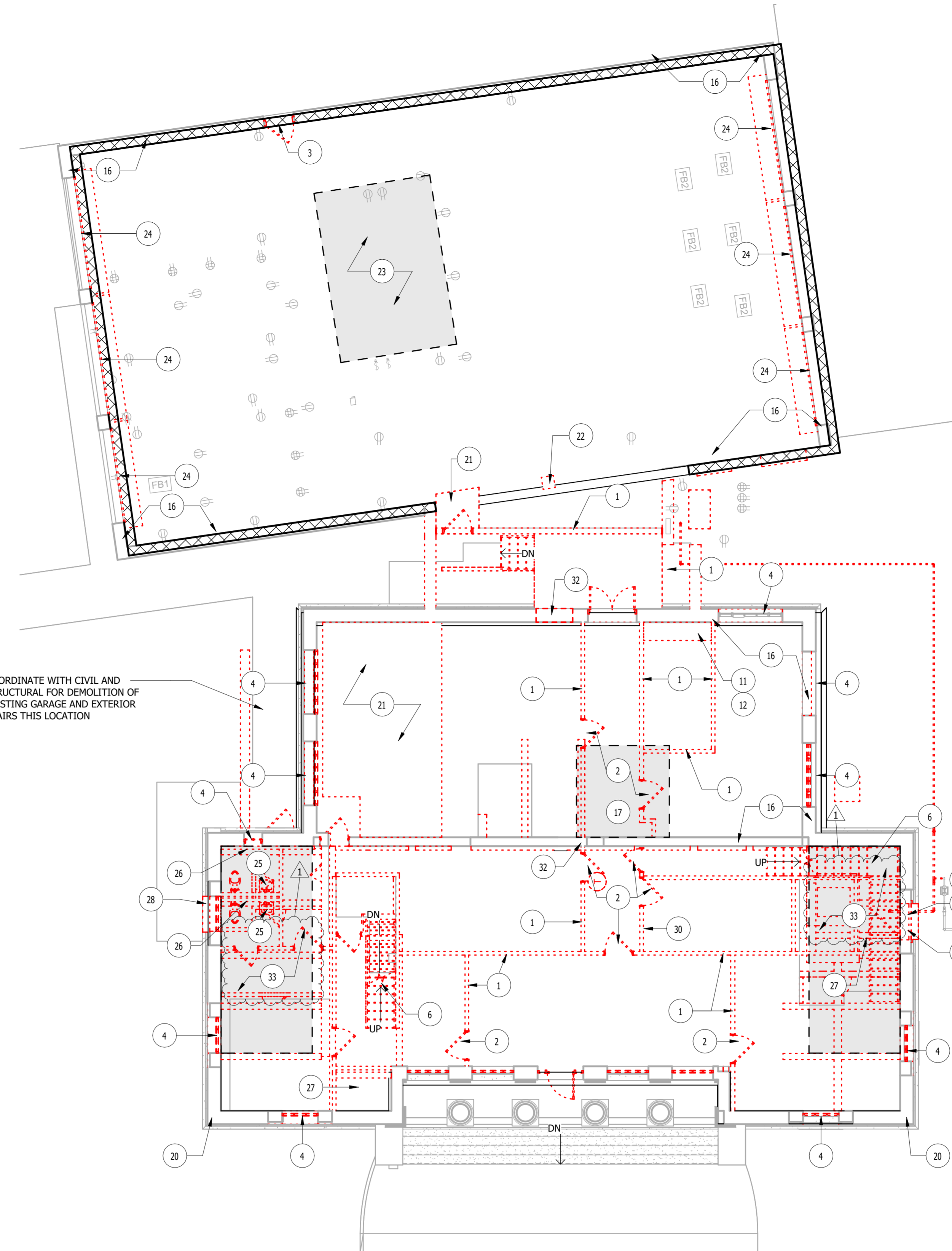
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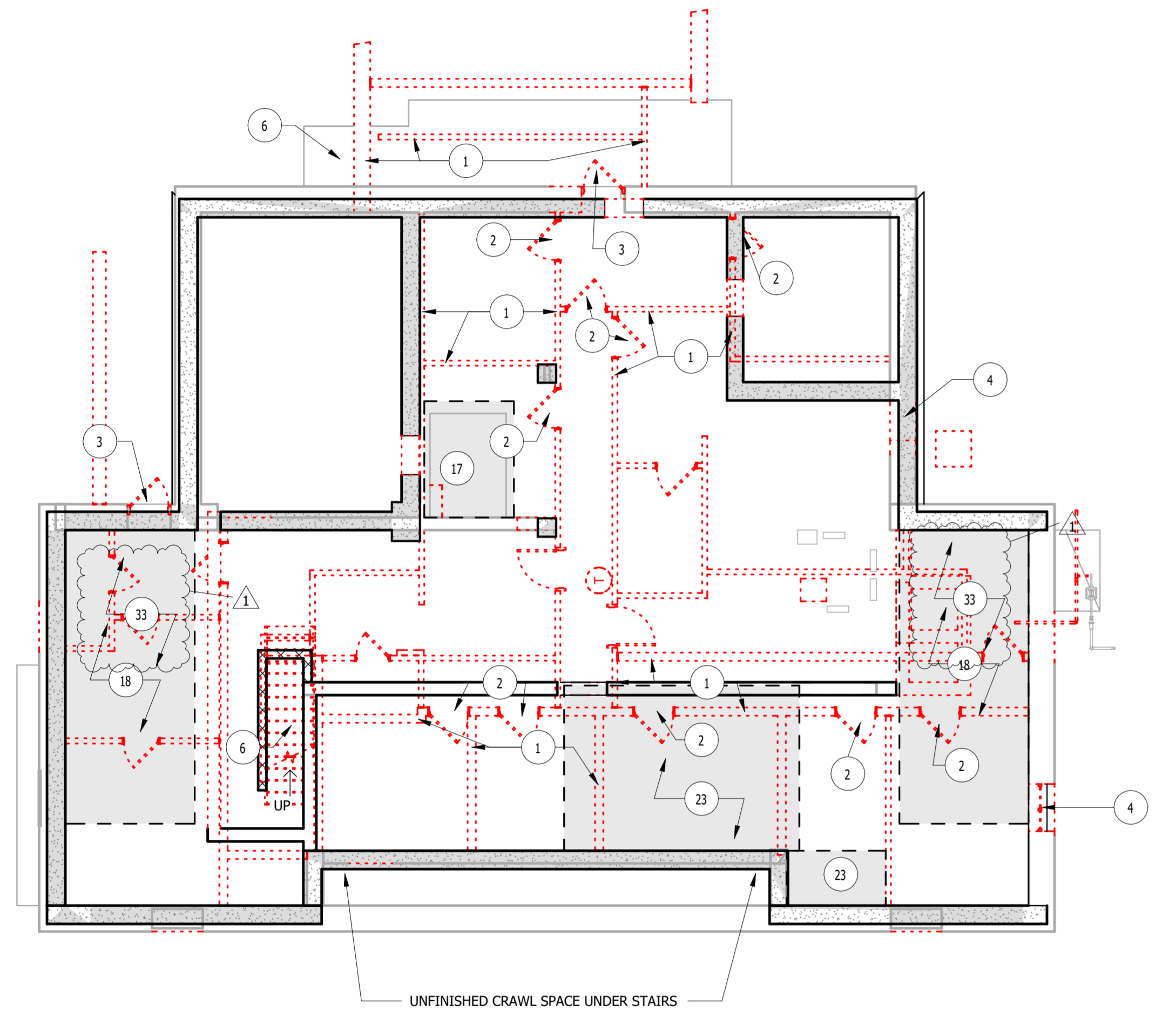


- ### DEMOLITION LEGEND
- NO WORK IN THIS AREA
  - SAWCUT AND REMOVE PORTION OF EXISTING SLAB THIS LOCATION.
  - NOTE:** DASHED LINES INDICATE AREAS OR ITEMS TO BE DEMOLISHED
- 1 REMOVE EXISTING WALL AND ALL ASSOCIATED ITEMS
  - 2 REMOVE EXISTING DOOR AND FRAME
  - 3 REMOVE EXISTING DOOR AND FRAME; INFILL EXISTING DOOR OPENING AND PREPARE SURFACES FOR NEW FINISHES - REFER TO RENOVATION PLANS FOR INFILL THIS LOCATION.
  - 4 REMOVE EXISTING WINDOW; PREPARE ALL SURFACES FOR NEW WINDOWS
  - 5 REMOVE PORTION OF EXISTING WALL AS DIMENSIONED TO CREATE AN OPENING PER NEW PLANS; AT MASONRY OPENINGS, PROVIDE A CLEAN CUT AND TOOTH IN NEW MASONRY AS REQUIRED.
  - 6 REMOVE EXISTING STAIRS, RAILS, AND ALL ASSOCIATED ITEMS. COORDINATE WITH STRUCTURAL FOR TEMPORARY REINFORCEMENT DURING THE WORK OF DEMOLITION AND FOR NEW REINFORCEMENT OR SUPPORT OF INFILL SLAB IN LOCATIONS WHERE STAIRS WERE REMOVED.
  - 7 REMOVE EXISTING FLOORING AND BASE AS REQUIRED FOR NEW WALL. PREP FOR NEW FINISHES
  - 8 REMOVE EXISTING COUNTERTOPS AND ALL CASEWORK THIS AREA
  - 9 REMOVE CEILING TILE, GRID, LIGHT FIXTURES, EQUIPMENT, & ACCESSORIES. PREP FOR NEW CEILING
  - 10 REMOVE GYP. CEILING, LIGHT FIXTURES, EQUIPMENT, & ACCESSORIES. PREP FOR NEW CEILING
  - 11 REMOVE EXISTING SINK & COUNTERTOP - PREP. FOR NEW FIXTURES, SEE PLUMBING
  - 12 REMOVE EXISTING KITCHEN EQUIPMENT
  - 13 REMOVE EXISTING FLOORING AND BASE. PREP FOR NEW FINISHES
  - 14 IN EXISTING LOBBY SPACE, IT IS THE DESIGN INTENT TO PRESERVE ORIGINAL FINISHES FROM THIS SPACE, INCLUDING EXISTING WOOD WAINSCOTING, EXISTING CROWN MOLDING, AND CEILING. IF REMOVAL OF ANY OF THESE FINISHES IS REQUIRED, CLEAN / REFINISH, AND STORE MATERIALS AS REQUIRED FOR REINSTALLATION IN RENOVATED SPACE.
  - 15 REMOVE ALL PLUMBING FIXTURES & TOILET ACCESSORIES. CAP ALL PLUMBING
  - 16 CLEAN AND PREP. EXISTING WALLS FOR NEW FINISHES. REPAIR ANY DAMAGED FINISHES TO REMAIN.
  - 17 IN LOCATION OF NEW ELEVATOR TO BE INSTALLED, REMOVE PORTION OF EXISTING SLAB AS REQUIRED AND EXCAVATE BELOW SLAB FOR THE INSTALLATION OF ELEVATOR PIT AND FOOTINGS. COORDINATE WITH STRUCTURAL.
  - 18 EXISTING CONCRETE SLAB HAS A STEP UP FROM ADJACENT SLAB. SAWCUT AND REMOVE EXISTING SLAB THIS LOCATION AND PREPARE FOR NEW FLOOR SLAB TO BE INSTALLED - COORDINATE WITH STRUCTURAL.
  - 19 SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB AS INDICATED TO INSTALL NEW FOOTINGS FOR NEW STEEL COLUMNS. COORDINATE WITH STRUCTURAL.
  - 20 EXISTING DRAIN LEADERS FROM ROOF GUTTER ABOVE RUN THROUGH WALL IN THESE LOCATIONS. THE DESIGN INTENT IS TO RELOCATE DRAIN LEADERS IN THE NEW CHASE SPACE BEHIND TOILET 202 AND TOILET 221. COORDINATE WITH PLUMBING FOR NEW RAIN LEADER LOCATIONS AND SAW CUT EXISTING SLAB AS REQUIRED TO ALLOW RAIN LEADERS TO RUN THROUGH SLAB AT THESE LOCATIONS - COORDINATE WITH STRUCTURAL.
  - 21 EXISTING CONCRETE SLAB HAS A STEP UP FROM ADJACENT SLAB. REMOVE EXISTING STEP, PATCH AND REPAIR FLOOR SLAB AS REQUIRED TO PROVIDE A LEVEL SURFACE.
  - 22 REMOVE EXISTING CONCRETE COLUMN - COORDINATE WITH STRUCTURAL FOR TEMPORARY SHORING AND PREPARATION FOR FUTURE COLUMNS, AND BEAM SUPPORT.
  - 23 SAWCUT EXISTING SLAB IN THIS LOCATION FOR BELOW SLAB PLUMBING - COORDINATE WITH PLUMBING
  - 24 REMOVE EXISTING OVERHEAD DOOR AND ALL ASSOCIATED ELEMENTS THIS LOCATION. PREPARE ALL SURFACES TO RECEIVE NEW FINISHES.
  - 25 CONTRACTOR TO REMOVE, CAREFULLY PRESERVE, AND STORE EXISTING LAVATORIES FROM THESE SPACES. CLEAN AND PREPARE FOR REINSTALLATION IN NEW TOILETS PER RENOVATION DRAWINGS.
  - 26 CONTRACTOR TO REMOVE, CAREFULLY PRESERVE, AND STORE EXISTING MARBLE WAINSCOTTING AND TOILET PARTITIONS. COORDINATE WITH FINISH PLAN AND FINISH SCHEDULE FOR REUSE IN RENOVATED SPACE.
  - 27 REMOVE EXISTING SAFE THIS LOCATION.
  - 28 REMOVE EXISTING WINDOW AND PORTION OF EXISTING WALL THIS LOCATION AS REQUIRED TO CREATE AN OPENING PER NEW PLANS; AT MASONRY OPENING, PROVIDE A CLEAN CUT AND TOOTH IN NEW MASONRY AS REQUIRED.
  - 29 EXISTING WINDOW IN THIS LOCATION HAS BEEN REMOVED AND BRICKED IN. REMOVE BRICK INSET PANEL AND PREPARE ALL SURFACES TO RECEIVE NEW WINDOW IN EXISTING OPENING.
  - 30 REMOVE ELECTRICAL PANEL AND ALL ASSOCIATED ITEMS - COORDINATE WITH ELECTRICAL.
  - 31 IN LOCATION OF NEW ELEVATOR TO BE INSTALLED, REMOVE A PORTION OF THE EXISTING ROOF THIS LOCATION AND PREPARE ALL SURFACES FOR NEW STRUCTURAL FRAMING AND NEW WALLS, FLOOR, AND FINISHES - SEE STRUCTURAL.
  - 32 CONTRACTOR TO REMOVE, CAREFULLY PRESERVE, REMOVE ALL EXCESS MORTAR AND DEBRIS, AND STORE EXISTING MASONRY AT LOCATIONS WHERE NEW OPENING HAS BEEN INDICATED. CLEAN AND PREPARE FOR REINSTALLATION IN LOCATIONS REQUIRING INFILL AND/OR REPAIR.
  - 33 DEMOLISH SECTIONS OF WALL AND OR CEILING TO ACCOMMODATE NEW LIGHTING LOCATIONS IN STAIRWELLS. PREPARE SURFACES TO ACCEPT NEW FINISHES

- ### DEMO GENERAL NOTES
1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
  2. CONTRACTOR TO NOTIFY OWNER IF SUSPECTED ASBESTOS IS FOUND.
  3. CONTRACTOR SHALL RETAIN ALL REQUIRED EGRESS PASSAGES AND EMERGENCY LIGHTING THROUGHOUT THE DURATION OF THE WORK.
  4. CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS TO PREVENT UNAUTHORIZED ACCESS TO CONSTRUCTION AREAS DURING THE DURATION OF THE WORK.
  5. REMOVAL OF ANY PARTITION SHALL NOT EXPOSE THE FLOOR TO AN UNPROTECTED STATE. REPAIR AND/OR REPLACE AS REQUIRED.
  6. REFER TO M/P/E, STRUCTURAL, & CIVIL SHEETS FOR ADDITIONAL INFORMATION.
  7. TOOTH ALL MASONRY INTO NEW OPENINGS
  8. PATCH & REPAIR ANY DAMAGED WALLS AND FLOORING. PREP FOR NEW FINISHES.
  9. REPLACE ANY CEILING TILES DAMAGED DURING DEMOLITION.
  10. IF EXISTING ITEMS IN WORKING ORDER PRIOR TO DEMOLITION ARE DAMAGED DURING CONSTRUCTION AND ARE TO BE REUSED, THE ITEMS SHALL BE RESTORED TO WORKING ORDER AND FINISHED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
  11. ANY FINISHES, EQUIPMENT, FURNISHINGS, ETC. THAT ARE DAMAGED OR MISPLACED/LOST DURING THE COURSE OF THE WORK SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
  12. WHERE NO WORK IS TO TAKE PLACE, THE CONTRACTOR SHALL PROTECT ALL EXISTING FURNISHINGS AND FINISHES THROUGHOUT DEMOLITION AND RENOVATION WORK.
  13. ANY DAMAGE TO EXISTING CURBS, WALKS, PAVING, UTILITIES, FENCING, OR EXTERIOR STRUCTURES AND OTHER ITEMS INDICATED TO REMAIN SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
  14. DISPOSE OF ALL DEBRIS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
  15. G.C. TO VERIFY LOCATIONS OF EXISTING UTILITIES SO AS TO NOT DAMAGE EXISTING SERVICES.
  16. WHERE EXIST. CMU WALLS ARE BEING PARTIALLY DEMOLISHED, EXISTING CMU TO REMAIN SHALL BE CLEANED, MADE SMOOTH, & PREPPED FOR NEW FINISHES.



**1 DEMOLITION PLAN - GROUND FLOOR**  
1/8" = 1'-0"



**2 DEMOLITION PLAN - BASEMENT LEVEL**  
1/8" = 1'-0"

**WINCHESTER CITY HALL**

7 S HIGH ST, SUITE 1  
WINCHESTER, TN 37398

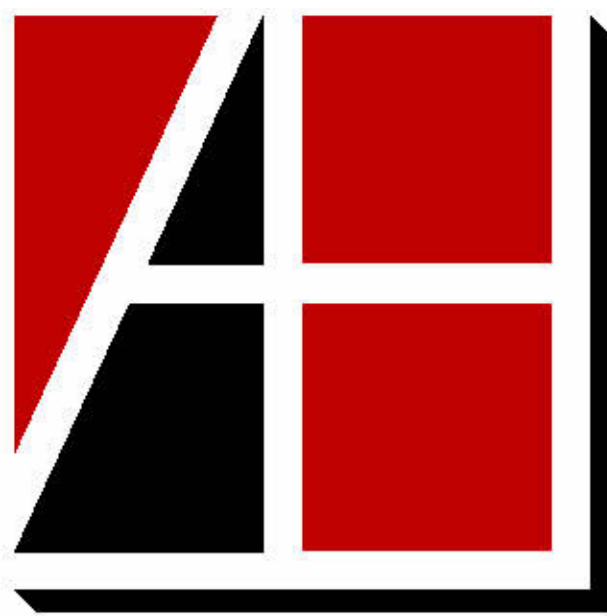
CITY OF WINCHESTER, TENNESSEE

No.	Revision Description	Date
1	ADDENDUM 2	3.4.26

**DEMOLITION PLAN - BASEMENT AND GROUND FLOOR**

JOB NO: 63492 DRAWN: RMT  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

**AD1.0**



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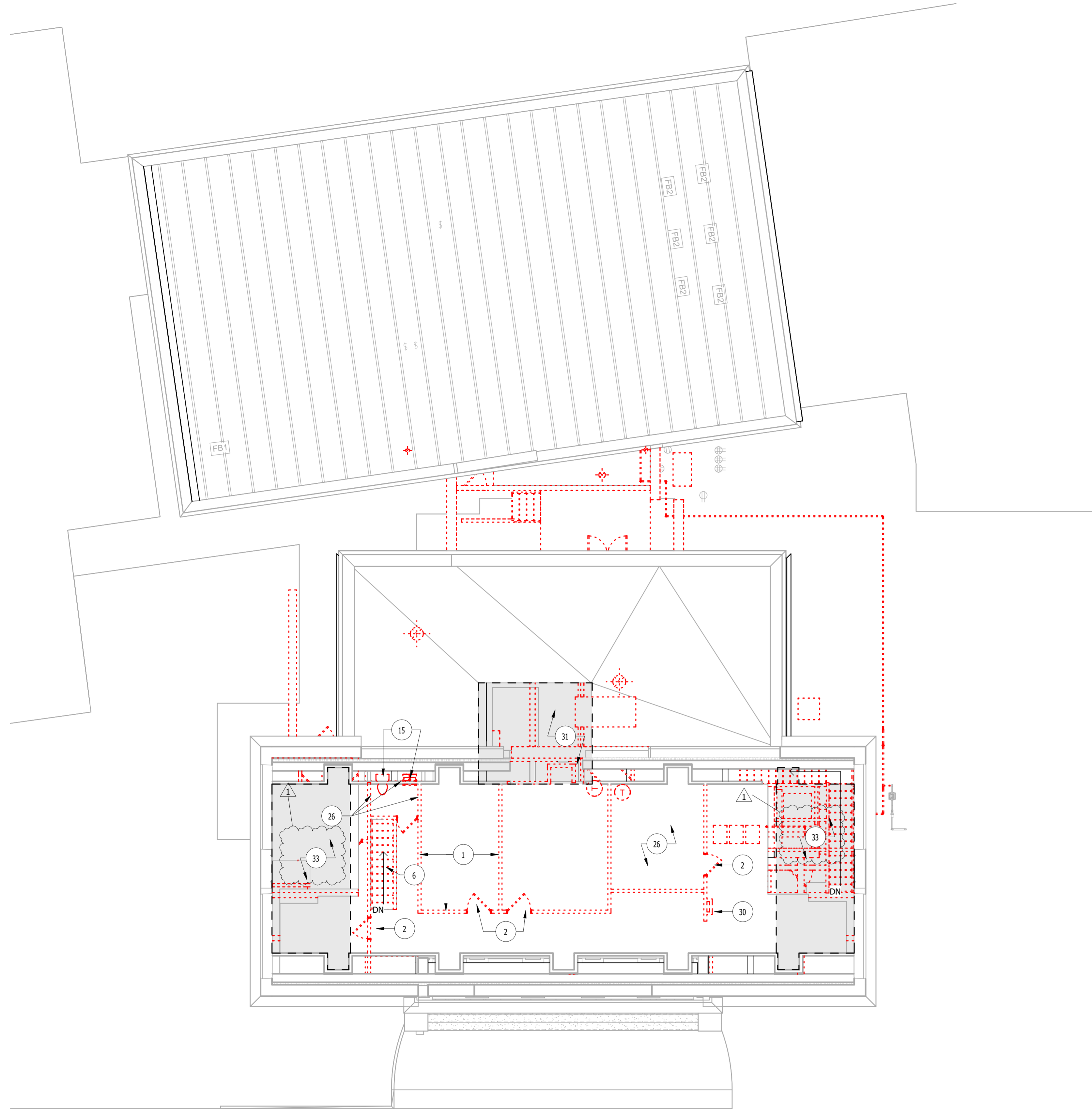
**DEMO GENERAL NOTES**

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3. CONTRACTOR SHALL RETAIN ALL REQUIRED EGRESS PASSAGES AND EMERGENCY LIGHTING THROUGHOUT THE DURATION OF THE WORK.
4. CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS TO PREVENT UNAUTHORIZED ACCESS TO CONSTRUCTION AREAS DURING THE DURATION OF THE WORK.
5. REMOVAL OF ANY PARTITION SHALL NOT EXPOSE THE FLOOR TO AN UNPROTECTED STATE. REPAIR AND/OR REPLACE AS REQUIRED.
6. REFER TO M/P/E, STRUCTURAL, & CIVIL SHEETS FOR ADDITIONAL INFORMATION.
7. TOOTH ALL MASONRY INTO NEW OPENINGS.
8. PATCH & REPAIR ANY DAMAGED WALLS AND FLOORING. PREP FOR NEW FINISHES.
9. REPLACE ANY CEILING TILES DAMAGED DURING DEMOLITION.
10. IF EXISTING ITEMS IN WORKING ORDER PRIOR TO DEMOLITION ARE DAMAGED DURING CONSTRUCTION AND ARE TO BE REUSED, THE ITEM(S) SHALL BE RESTORED TO WORKING ORDER AND FINISHED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
11. ANY FINISHES, EQUIPMENT, FURNISHINGS, ETC. THAT ARE DAMAGED OR MISPLACED/LOST DURING THE COURSE OF THE WORK SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
12. WHERE NO WORK IS TO TAKE PLACE, THE CONTRACTOR SHALL PROTECT ALL EXISTING FURNISHINGS AND FINISHES THROUGHOUT DEMOLITION AND RENOVATION WORK.
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14. DISPOSE OF ALL DEBRIS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION. G.C. TO VERIFY LOCATIONS OF EXISTING UTILITIES SO AS TO NOT DAMAGE EXISTING SERVICES.
15. WHERE EXIST. CMU WALLS ARE BEING PARTIALLY DEMOLISHED, EXISTING CMU TO REMAIN SHALL BE CLEANED, MADE SMOOTH, & PREPPED FOR NEW FINISHES.

**DEMOLITION LEGEND**

- NO WORK IN THIS AREA
  - SAWCUT AND REMOVE PORTION OF EXISTING SLAB THIS LOCATION.
- NOTE:** DASHED LINES INDICATE AREAS OR ITEMS TO BE DEMOLISHED

1. REMOVE EXISTING WALL AND ALL ASSOCIATED ITEMS
2. REMOVE EXISTING DOOR AND FRAME
3. REMOVE EXISTING DOOR AND FRAME. INFILL EXISTING DOOR OPENING AND PREPARE SURFACES FOR NEW FINISHES - REFER TO RENOVATION PLANS FOR INFILL THIS LOCATION.
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8. REMOVE EXISTING COUNTERTOPS AND ALL CASEWORK THIS AREA
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10. REMOVE GYP. CEILING, LIGHT FIXTURES, EQUIPMENT, & ACCESSORIES. PREP FOR NEW CEILING
11. REMOVE EXISTING SINK & COUNTERTOP - PREP. FOR NEW FIXTURES, SEE PLUMBING
12. REMOVE EXISTING KITCHEN EQUIPMENT
13. REMOVE EXISTING FLOORING AND BASE. PREP FOR NEW FINISHES
14. IN EXISTING LOBBY SPACE, IT IS THE DESIGN INTENT TO PRESERVE ORIGINAL FINISHES FROM THIS SPACE, INCLUDING EXISTING WOOD WAINSCOTTING, EXISTING CROWN MOLDING, AND CEILING. IF REMOVAL OF ANY OF THESE FINISHES IS REQUIRED, CLEAN / REFINISH, AND STORE MATERIALS AS REQUIRED FOR REINSTALLATION IN RENOVATED SPACE.
15. REMOVE ALL PLUMBING FIXTURES & TOILET ACCESSORIES. CAP ALL PLUMBING FINISHES TO REMAIN.
16. CLEAN AND PREP. EXISTING WALLS FOR NEW FINISHES. REPAIR ANY DAMAGED FINISHES TO REMAIN.
17. IN LOCATION OF NEW ELEVATOR TO BE INSTALLED, REMOVE PORTION OF EXISTING SLAB AS REQUIRED AND EXCAVATE BELOW SLAB FOR THE INSTALLATION OF ELEVATOR PIT AND FOOTINGS. COORDINATE WITH STRUCTURAL.
18. EXISTING CONCRETE SLAB HAS A STEP UP FROM ADJACENT SLAB. SAWCUT AND REMOVE EXISTING SLAB THIS LOCATION AND PREPARE FOR NEW FLOOR SLAB TO BE INSTALLED - COORDINATE WITH STRUCTURAL.
19. SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB AS INDICATED TO INSTALL NEW FOOTINGS FOR NEW STEEL COLUMNS. COORDINATE WITH STRUCTURAL.
20. EXISTING DRAIN LEADERS FROM ROOF GUTTER ABOVE RUN THROUGH WALL IN THESE LOCATIONS. THE DESIGN INTENT IS TO RELOCATE DRAIN LEADERS IN THE NEW CHASE SPACE BEHIND TOILET 202 AND TOILET 221. COORDINATE WITH PLUMBING FOR NEW RAIN LEADER LOCATIONS AND SAW CUT EXISTING SLAB AS REQUIRED TO ALLOW RAIN LEADERS TO RUN THROUGH SLAB AT THESE LOCATIONS - COORDINATE WITH STRUCTURAL.
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22. REMOVE EXISTING CONCRETE COLUMN - COORDINATE WITH STRUCTURAL FOR TEMPORARY SHORING AND PREPARATION FOR FUTURE COLUMNS, AND BEAM SUPPORT.
23. SAWCUT EXISTING SLAB IN THIS LOCATION FOR BELOW SLAB PLUMBING - COORDINATE WITH PLUMBING
24. REMOVE EXISTING OVERHEAD DOOR AND ALL ASSOCIATED ELEMENTS THIS LOCATION. PREPARE ALL SURFACES TO RECEIVE NEW FINISHES.
25. CONTRACTOR TO REMOVE, CAREFULLY PRESERVE, AND STORE EXISTING LAVATORIES FROM THESE SPACES. CLEAN AND PREPARE FOR REINSTALLATION IN NEW TOILETS PER RENOVATION DRAWINGS.
26. CONTRACTOR TO REMOVE, CAREFULLY PRESERVE, AND STORE EXISTING MARBLE WAINSCOTTING AND TOILET PARTITIONS. COORDINATE WITH FINISH PLAN AND FINISH SCHEDULE FOR REUSE IN RENOVATED SPACE.
27. REMOVE EXISTING SAFE THIS LOCATION.
28. REMOVE EXISTING WINDOW AND PORTION OF EXISTING WALL THIS LOCATION AS REQUIRED TO CREATE AN OPENING PER NEW PLANS; AT MASONRY OPENING, PROVIDE A CLEAN CUT AND TOOTH IN NEW MASONRY AS REQUIRED.
29. EXISTING WINDOW IN THIS LOCATION HAS BEEN REMOVED AND BRICKED IN. REMOVE BRICK INSET PANEL AND PREPARE ALL SURFACES TO RECEIVE NEW WINDOW IN EXISTING OPENING.
30. REMOVE ELECTRICAL PANEL AND ALL ASSOCIATED ITEMS - COORDINATE WITH ELECTRICAL.
31. IN LOCATION OF NEW ELEVATOR TO BE INSTALLED, AND ELEVATOR LOBBY, REMOVE A PORTION OF THE EXISTING ROOF THIS LOCATION AND PREPARE ALL SURFACES FOR NEW STRUCTURAL FRAMING AND NEW WALLS, FLOOR, AND FINISHES - SEE STRUCTURAL.
32. CONTRACTOR TO REMOVE, CAREFULLY PRESERVE, REMOVE ALL EXCESS MORTAR AND DEBRIS, AND STORE EXISTING MASONRY AT LOCATIONS WHERE NEW OPENING HAS BEEN INDICATED. CLEAN AND PREPARE FOR REINSTALLATION IN LOCATIONS REQUIRING INFILL AND/OR REPAIR.
33. DEMOLISH SECTIONS OF WALL AND OR CEILING TO ACCOMMODATE NEW LIGHTING LOCATIONS IN STAIRWELLS. PREPARE SURFACES TO ACCEPT NEW FINISHES



**1 DEMOLITION PLAN - SECOND FLOOR**  
1/8" = 1'-0"

**WINCHESTER CITY HALL**

7 S HIGH ST, SUITE 1  
WINCHESTER, TN 37398

CITY OF WINCHESTER, TENNESSEE		
No.	Revision Description	Date
1	ADDENDUM 2	3.4.26

**DEMOLITION PLAN - SECOND FLOOR**

JOB NO: 63492 DRAWN: RMT  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

**AD1.1**



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FIRE RATING LEGEND			
COLOR	WALL TYPE	PATTERN	FIRE RESISTANCE RATING
EXISTING	NEW		
[Green]	FIRE PARTITION	[Pattern]	30 MIN.
[Red]	FIRE BARRIER	[Pattern]	1 HOUR
[Blue]	FIRE WALL	[Pattern]	2 HOUR
		[Pattern]	3 HOUR
		[Pattern]	4 HOUR

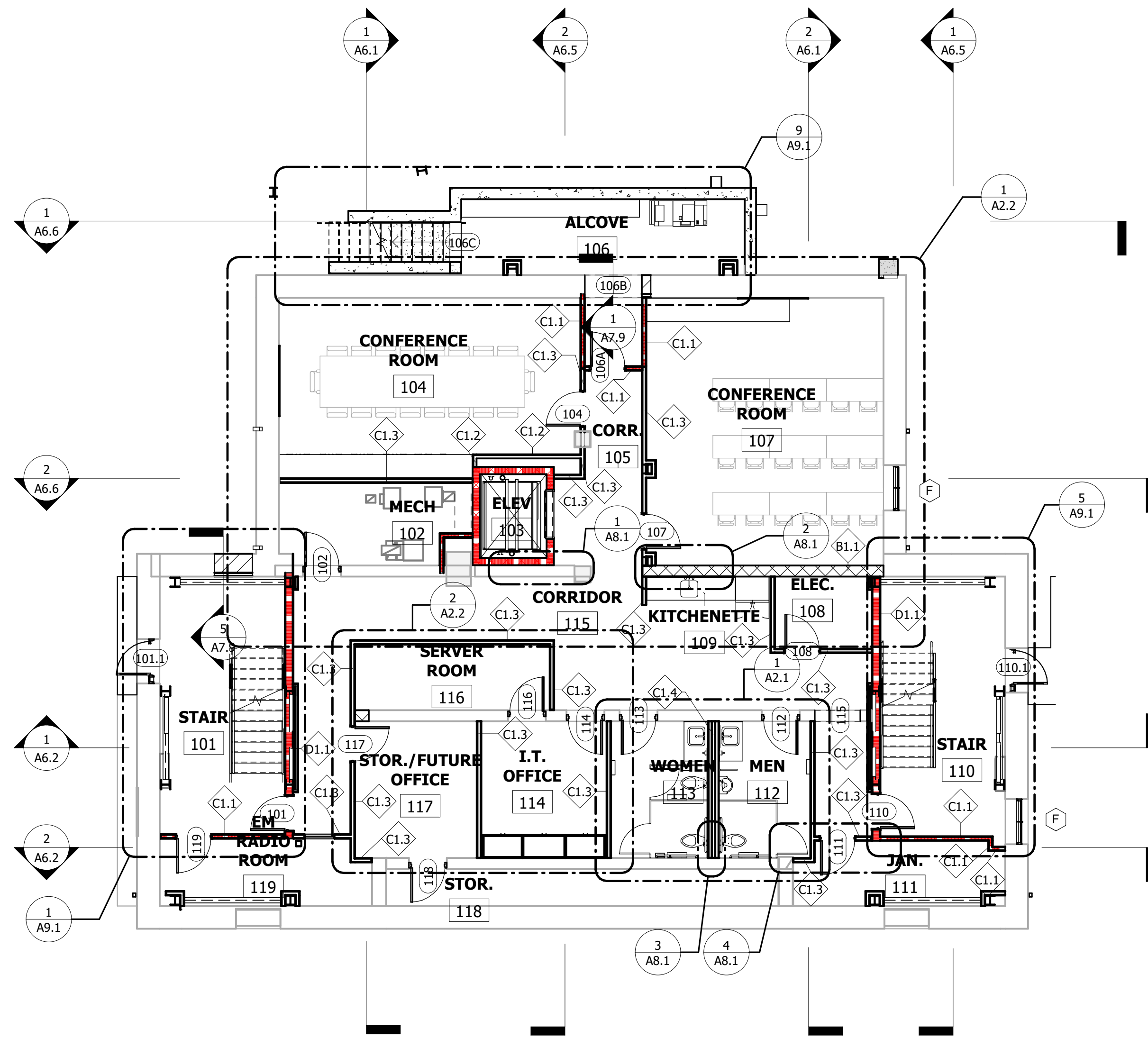
FIRE RATING CAN BE ANY COMBINATION OF THE ABOVE COLORS AND PATTERN. FIRE AND SMOKE RATINGS SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE PURPOSES ONLY. REFER TO LIFE SAFETY PLANS FOR COORDINATION AND CONSTRUCTION PURPOSES. THIS IS A STANDARD LEGEND. WALL TYPES MAY BE SHOWN BUT NOT UTILIZED IN THE PROJECT.

SMOKE RATING LEGEND		
EXISTING	NEW	WALL TYPE
[Pattern]	[Pattern]	SMOKE PARTITION
[Pattern]	[Pattern]	SMOKE BARRIER

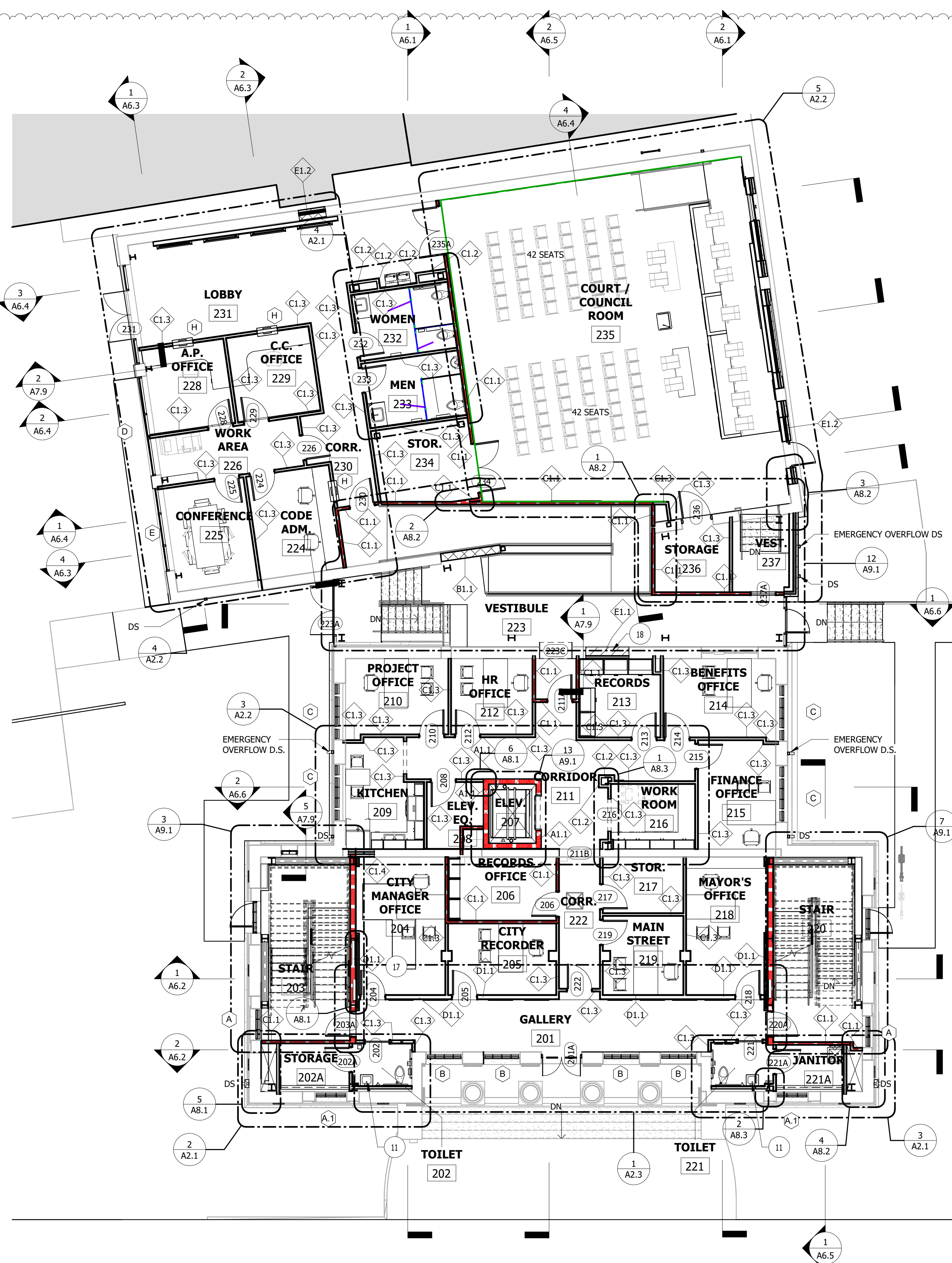
- ### PLAN NOTES LEGEND
- NEW WALL (PAINT) - SEE WALL TYPES.
  - NEW DOOR IN EXISTING OPENING - SEE DOOR SCHEDULE.
  - NEW WINDOW IN EXISTING OPENING - SEE WINDOW TYPES.
  - NEW STEEL PAN STAIRS - COORDINATE WITH STRUCTURAL.
  - NEW PLASTIC LAMINATE CASEWORK WITH SOLID SURFACE COUNTERTOP - COORDINATE WITH FINISH SCHEDULE.
  - NEW PLASTIC LAMINATE CASEWORK - COORDINATE WITH FINISH SCHEDULE.
  - REINSTALL EXISTING CROWN MOLDING, WOOD WAINSCOTTING, AND ALL PRESERVED FINISHES IN THIS SPACE.
  - NEW ELEVATOR - COORDINATE WITH STRUCTURAL, ELECTRICAL, AND PLUMBING.
  - NEW ROOF DRAIN LEADERS - RUN DOWN THROUGH NEW CHASE SPACE - SEE PLUMBING.
  - NEW CAST-IN-PLACE CONCRETE RAMP AND STAIRS - COORDINATE WITH STRUCTURAL.
  - REINSTALL EXISTING PRESERVED LAVATORIES IN NEW TOILETS - COORDINATE WITH PLUMBING.
  - NEW ALUMINUM STOREFRONT ENTRY SYSTEM - COORDINATE WITH DOOR SCHEDULE.
  - ALL EXTERIOR WOOD OR PLASTER ELEMENTS ARE TO BE PATCHED AND REPAINTED (TO INCLUDE, BUT NOT LIMITED TO CORNICE, COLUMNS, SOFFIT, AND INFILL WALLS AT WINDOW AND DOOR OPENINGS).
  - NEW METAL STUD INFILL WITH BRICK VENEER.
  - NEW PREFINISHED METAL CANOPY (ABOVE) - SEE A3.2, CANOPY PLANS.
  - CONCRETE WALK - COORDINATE WITH CIVIL.
  - LINE IN FLOOR INDICATES AREA OF NEW INFILL FLOORING AT LOCATION OF EXISTING STAIRS TO BE REMOVED - COORDINATE WITH STRUCTURAL.
  - INFILL MASONRY OPENING WITH STORED BRICK MASONRY UNITS FROM NEW OPENINGS CUT INTO EXISTING WALLS - SEE NOTE 32 IN DEMOLITION NOTES. USE TYPE O MORTAR FOR BRICK POINTING FOR USE WITH OLDER MASONRY UNITS. TOOTH MASONRY INFILL INTO ADJACENT EXISTING MASONRY WALLS TO REMAIN.

- ### FLOOR PLAN GENERAL NOTES
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO EXTRA COMPENSATION WILL BE GIVEN TO A BIDDER OR SUPPLIER WHO HAS BID FROM AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. IN CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN DRAWINGS, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH DISCREPANCIES.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL INDICATE ON THESE PLANS APPROVED CHANGES TO THE WORK. THIS SET OF DRAWINGS SHALL BE TURNED OVER TO THE OWNER WHEN THE PROJECT IS COMPLETED.
  - DO NOT SCALE DRAWINGS. USE PRINTED DIMENSIONS ONLY.
  - ALL DIMENSIONS ARE TO FINISH FACE OF WALL AND OPENING UNLESS NOTED OTHERWISE.
  - ALL CONSTRUCTION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODE REQUIREMENTS.
  - CEMENT BACKER BOARD SHALL BE SUBSTITUTED FOR GYPSUM BOARD WHERE CERAMIC TILE IS SCHEDULED, EXCEPT AT RATED PARTITIONS.
  - ALL OUTSIDE CORNERS OF GYP. BD. WALLS TO RECEIVE CORNER REINFORCEMENT.
  - RUN GYPSUM BOARD 6" ABOVE ADJACENT CEILING SYSTEM UNLESS REQUIRED TO GO TO DECK.
  - STAGGER OUTLETS AND OTHER OPENINGS THAT PENETRATE WALLS. (MIN 12")
  - CAULK ALL JOINTS WHERE DISSIMILAR MATERIALS MEET.
  - IT IS THE INTENT OF THIS CONTRACT THAT ALL INTERIOR WALLS BE FINISHED AND PAINTED TO A UNIFORM APPEARANCE.
  - ALL NEW INTERIOR WALLS TO BE PAINTED. COLOR TO BE SELECTED BY ARCHITECT AND APPROVED BY OWNER.
  - AT ALL DRYWALL PARTITIONS, PROVIDE CONTROL JOINTS @ 20'-0" O.C. MAX. OR AS NOTED. PROVIDE JOINT REINFORCEMENT. CONTROL JOINTS TO BE PAINTED TO MATCH WALL.
  - PROVIDE BLOCKING AT ALL WALL HUNG CABINETS, MIRRORS, WALL-MOUNTED TOILET ACCESSORIES, TOILET PARTITIONS, DRINKING FOUNTAINS, TELEVISIONS, ETC. IF LOCATED IN STUD WALLS.
  - DOORS TO BE 4" FROM INTERIOR GYPSUM WALL CORNER UNLESS OTHERWISE NOTED.
  - DOORS TO BE 4" FROM INTERIOR CMU WALL CORNER UNLESS OTHERWISE NOTED.
  - REFER TO ENLARGED FLOOR PLAN SHEETS CONTAINING MORE DETAILED DIMENSIONS AND INFORMATION.
  - EVERY DOOR TO HAVE 18" CLEARANCE ON PULL SIDE OF DOOR. DOORS WITH CLOSER TO HAVE 12" CLEARANCE ON PUSH SIDE.
  - MAX. HEIGHT FOR 2 1/2" & 3 5/8" STUDS IS 12'-0". ABOVE 12'-0", INSTALL 18 GAUGE 3-5/8" STUDS.
  - REFER TO LIFE SAFETY PLAN FOR LOCATIONS OF FIRE EXTINGUISHERS
  - SLOPE FLOORS TO FLOOR DRAINS AS INDICATED.
  - E.J. = EXPANSION JOINT. SEE FLOOR FINISH PLANS FOR DETAILS
  - AT ANY CORNERS IN CMU WALLS THAT ARE NOT 90 DEGREE ANGLES, CMU JOINTS SHALL BE MITERED.
  - IT IS THE RESPONSIBILITY OF THE G.C. TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
  - ALL DOORS NOT TAGGED ARE EXISTING DOORS TO REMAIN.

NOTE: FURNITURE IS SHOWN FOR REFERENCE ONLY - ALL FURNITURE IS TO BE OWNER PROVIDED AND INSTALLED



**1 BASEMENT LEVEL**  
1/8" = 1'-0"



**2 GROUND FLOOR**  
1/8" = 1'-0"

WINCHESTER CITY HALL

7 S HIGH ST, SUITE 1  
WINCHESTER, TN 37398

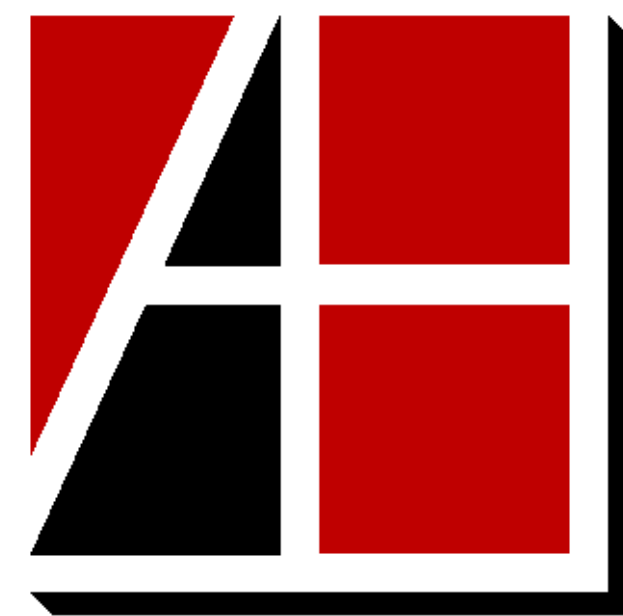
CITY OF WINCHESTER, TENNESSEE

No.	Revision Description	Date
1	ADDENDUM 2	3.4.26

REFERENCE FLOOR PLAN

JOB NO: 63492 DRAWN: RMT  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

A1.3



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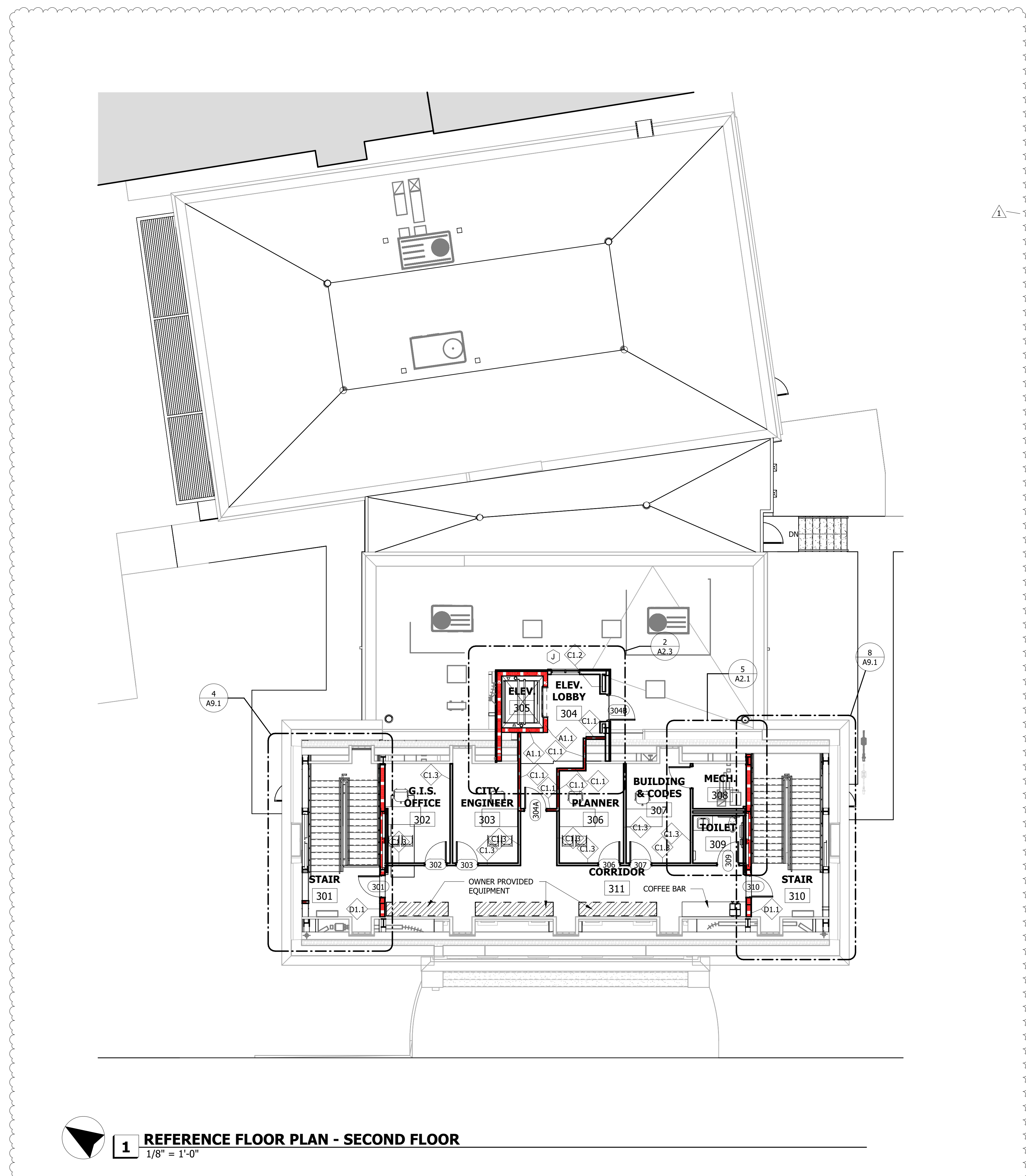
FIRE RATING LEGEND				
EXISTING	NEW	WALL TYPE	PATTERN	FIRE RESISTANCE RATING
				30 MIN.
		FIRE PARTITION	[Pattern]	1 HOUR
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SMOKE RATING LEGEND		
EXISTING	NEW	WALL TYPE
[Pattern]	[Pattern]	SMOKE PARTITION
[Pattern]	[Pattern]	SMOKE BARRIER

- PLAN NOTES LEGEND**
- NEW WALL (PAINT) - SEE WALL TYPES.
  - NEW DOOR IN EXISTING OPENING - SEE DOOR SCHEDULE.
  - NEW WINDOW IN EXISTING OPENING - SEE WINDOW TYPES.
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  - ALL DOORS NOT TAGGED ARE EXISTING DOORS TO REMAIN.



**1 REFERENCE FLOOR PLAN - SECOND FLOOR**  
1/8" = 1'-0"

WINCHESTER CITY HALL

7 S HIGH ST, SUITE 1  
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CITY OF WINCHESTER, TENNESSEE

No.	Revision Description	Date
1	ADDENDUM 2	3.4.26

REFERENCE FLOOR PLAN -  
SECOND FLOOR

JOB NO: 63492 DRAWN: RMT  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

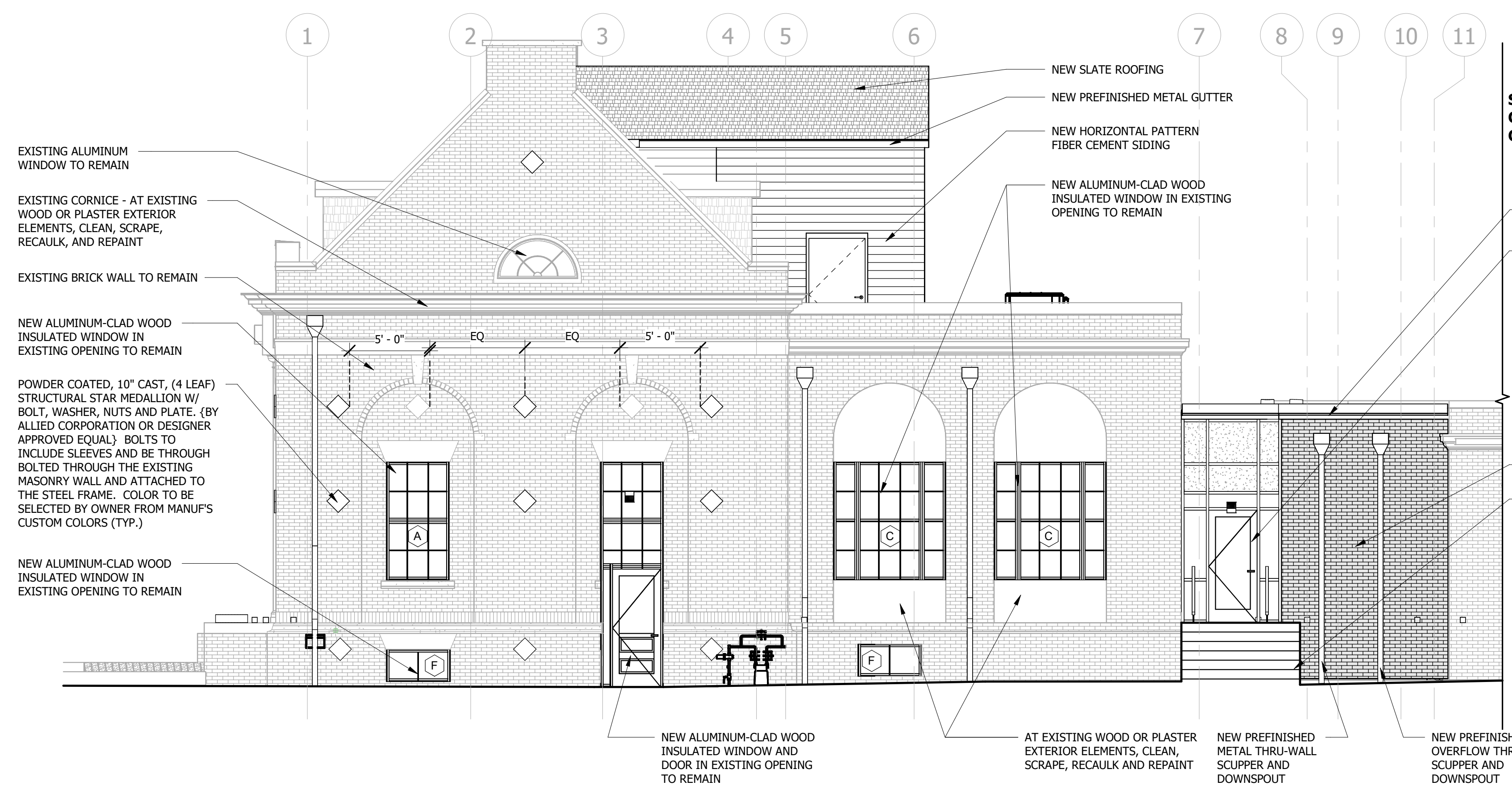
A1.4



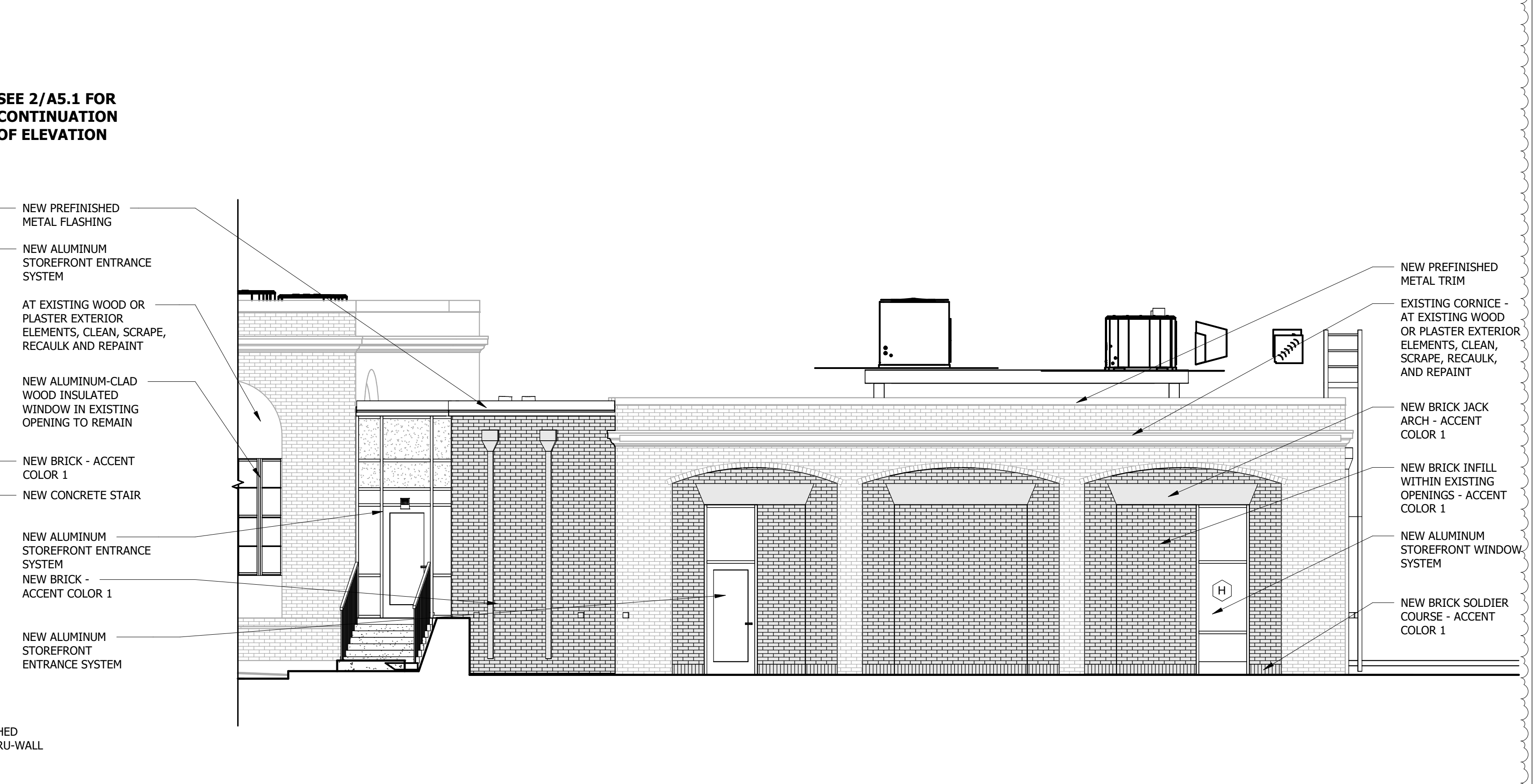
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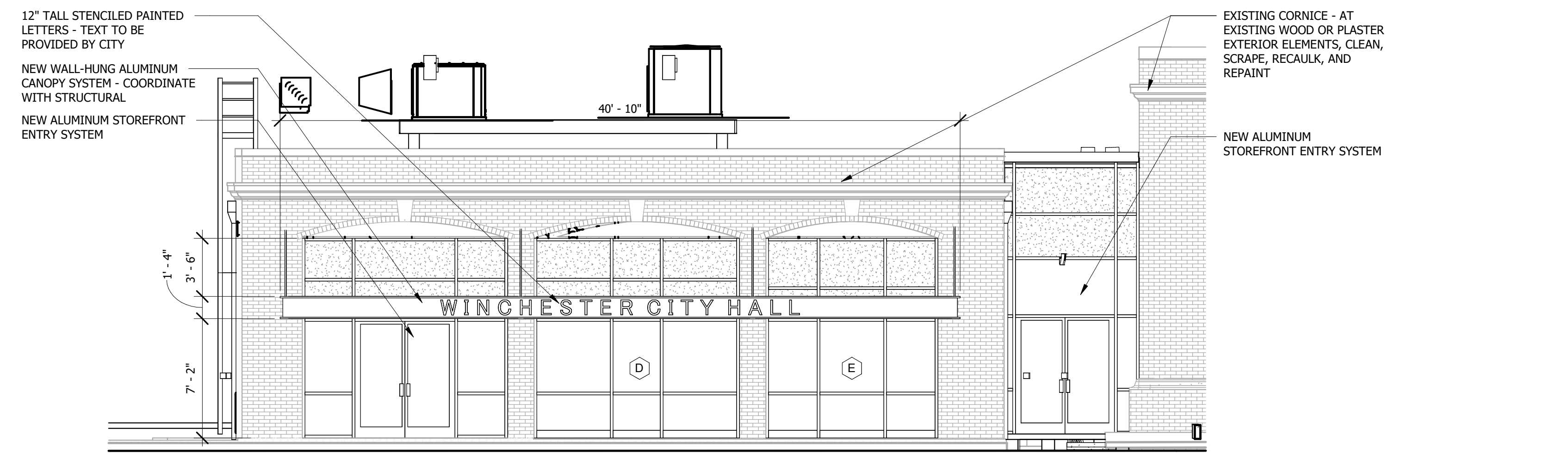
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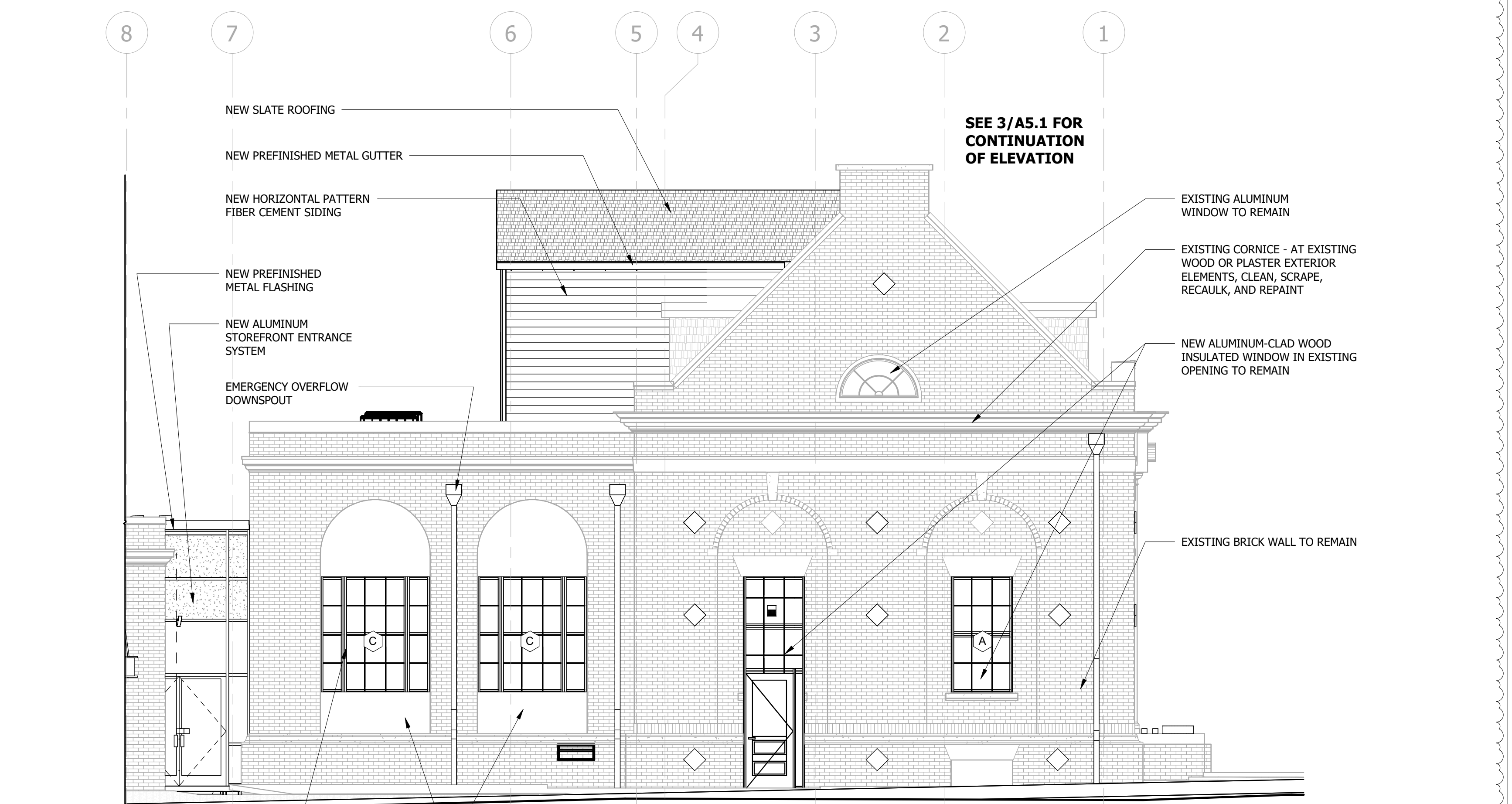
**1 EAST ELEVATION**  
3/16" = 1'-0"



**6 WEST ELEVATION**  
3/16" = 1'-0"



**5 EAST ELEVATION**  
3/16" = 1'-0"



**3 WEST ELEVATION**  
3/16" = 1'-0"

**WINCHESTER CITY HALL**

7 S HIGH ST, SUITE 1  
WINCHESTER, TN 37398

CITY OF WINCHESTER, TENNESSEE

No.	Revision Description	Date
1	ADDENDUM 2	3.4.26

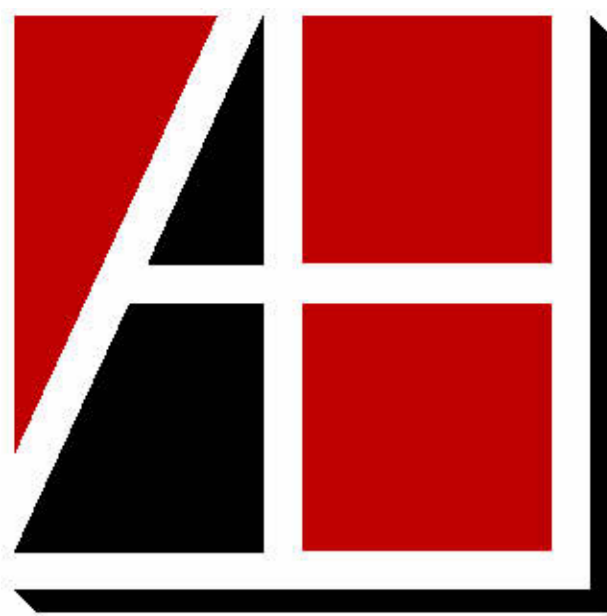
**EXTERIOR ELEVATIONS**

JOB NO: 63492 DRAWN: RMT  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

**A5.1**

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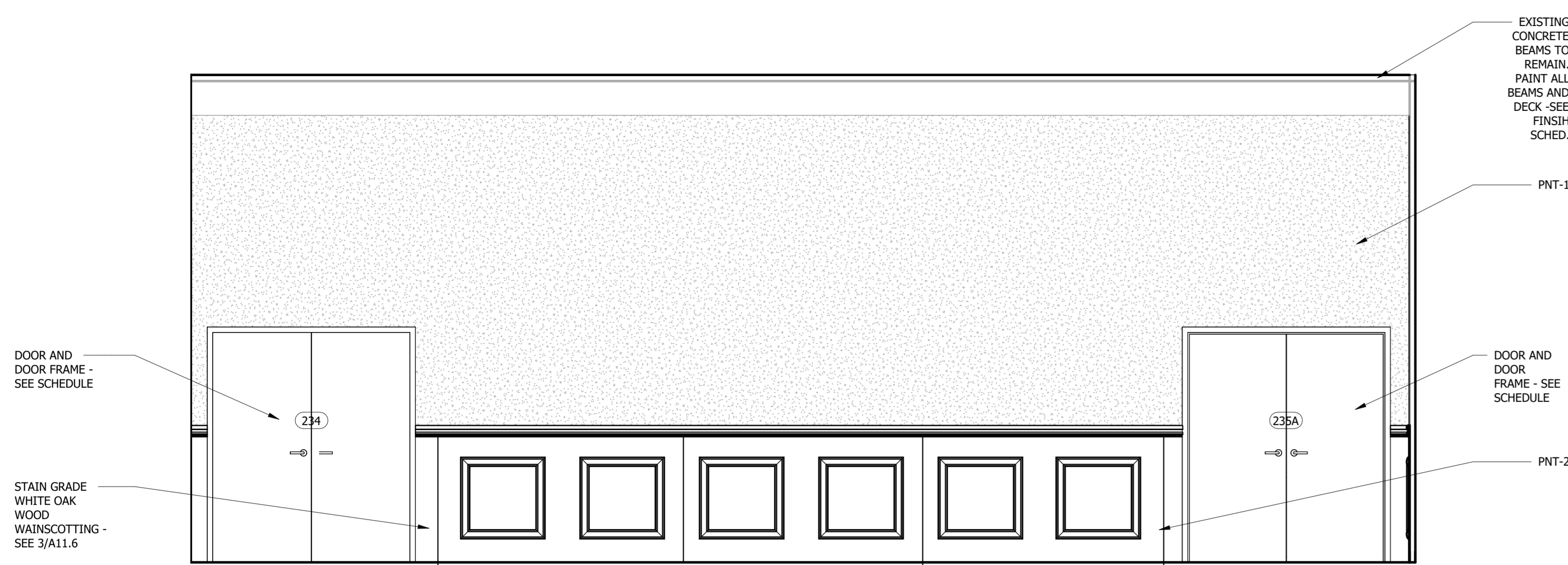




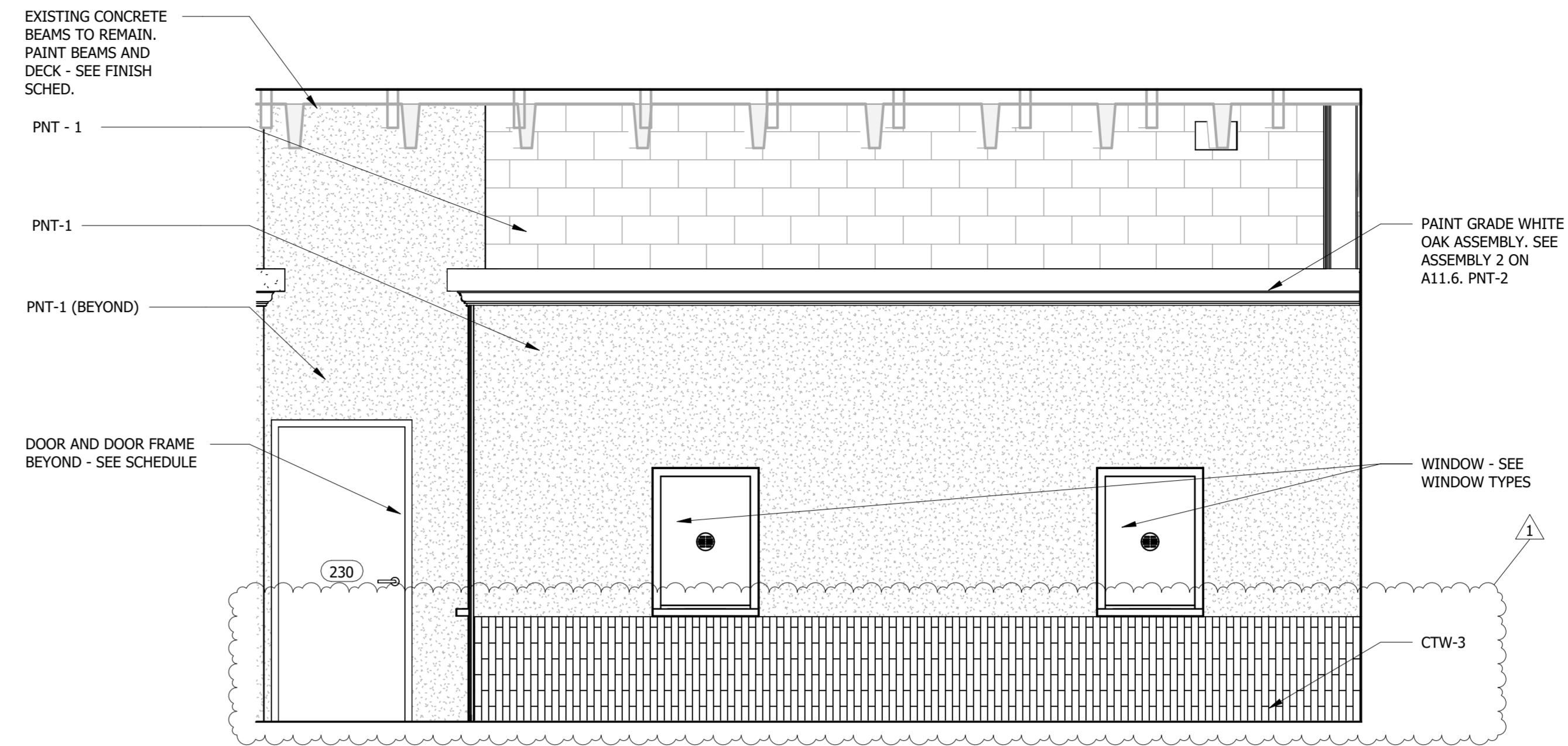
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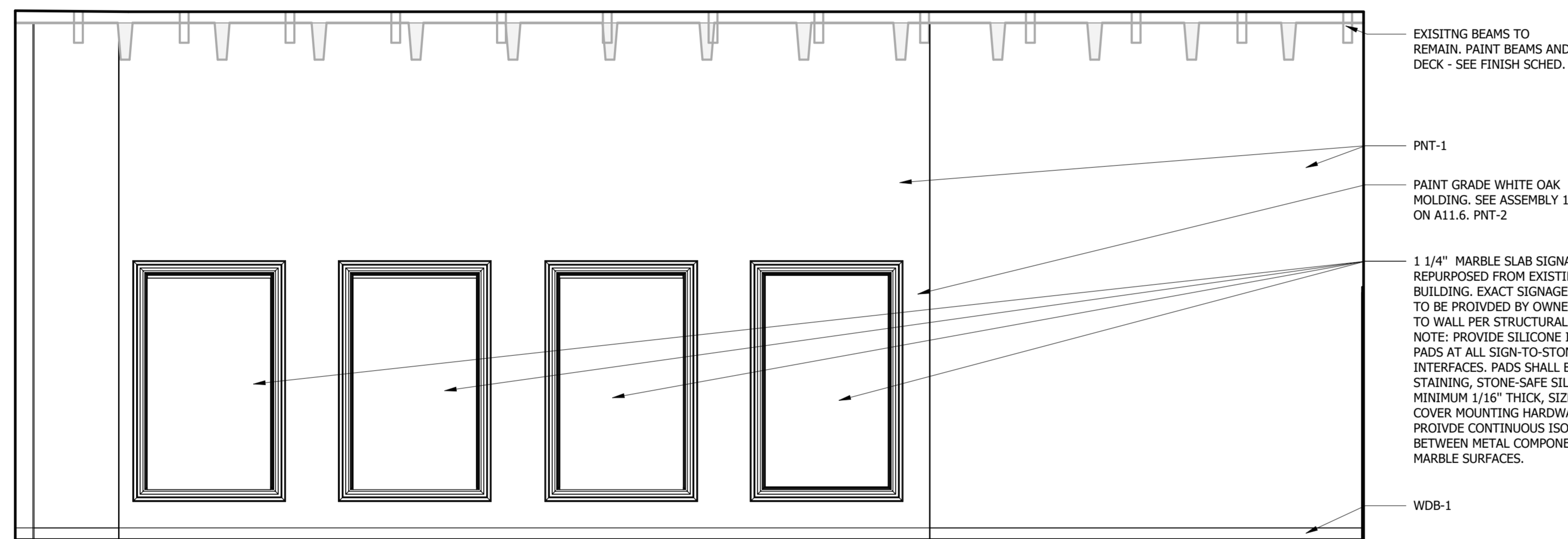
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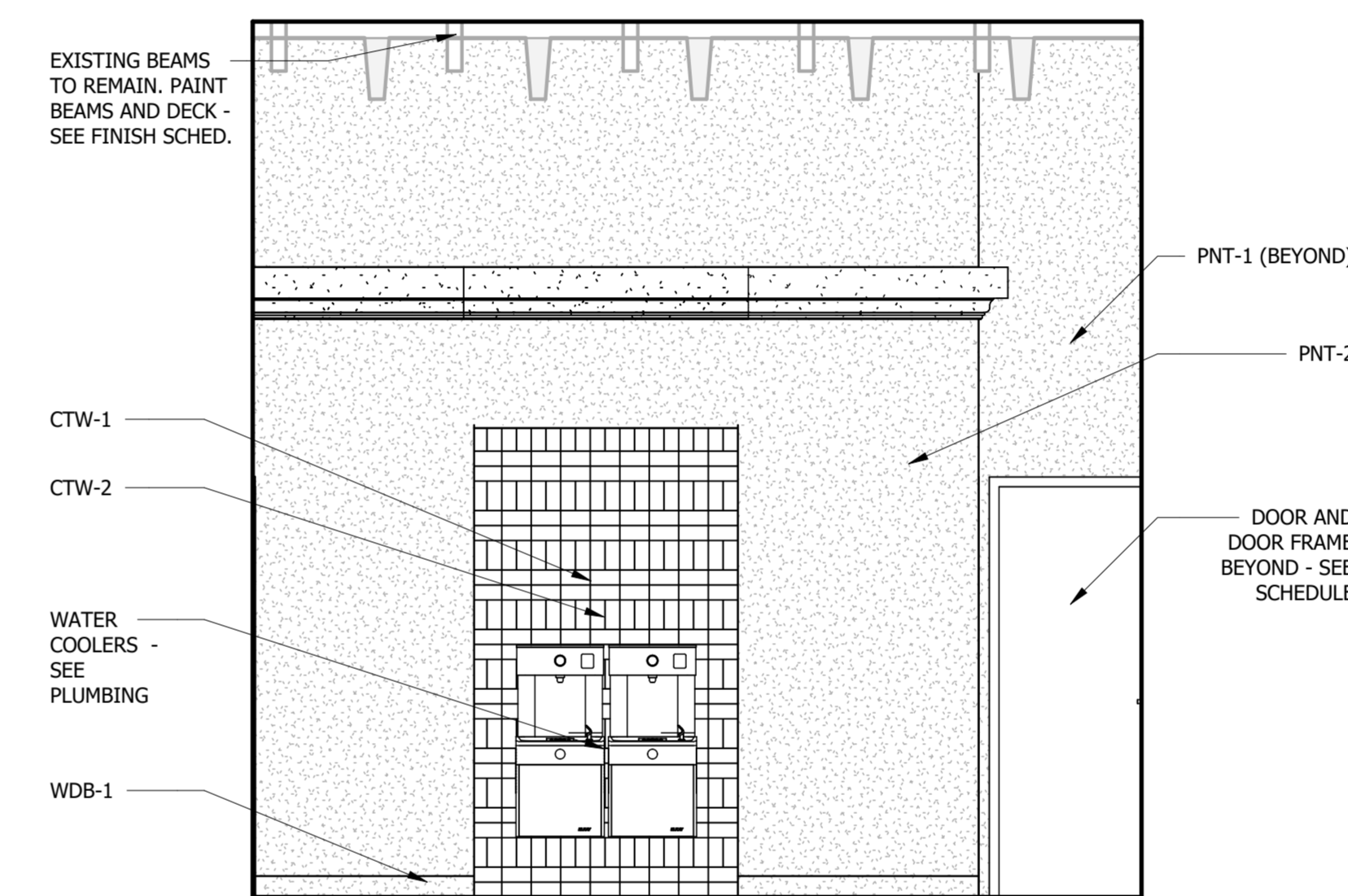
**1 INT. ELEV. - 8 @ COURT / COUNCIL ROOM**  
3/8" = 1'-0"



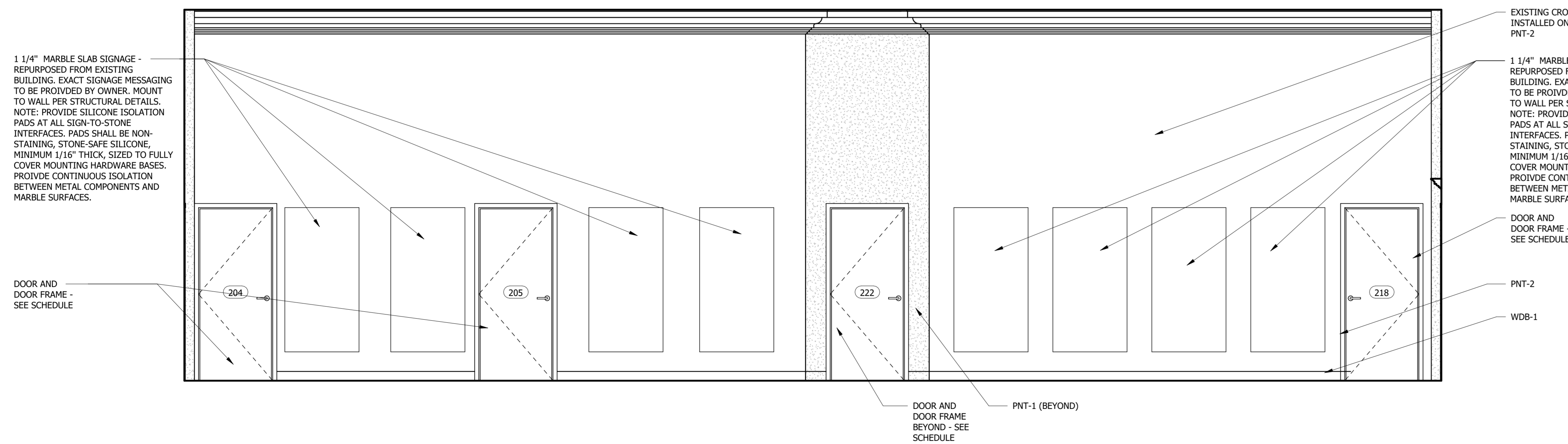
**6 INT. ELEV. 1 @ CORR. 230**  
3/8" = 1'-0"



**3 INT. ELEV. - 2 @ LOBBY 231**  
3/8" = 1'-0"



**5 INT. ELEV. - 3 @ LOBBY 231**  
3/8" = 1'-0"



**4 INT. ELEV. - 8 @ GALLERY 201**  
3/8" = 1'-0"

TOILET ACCESSORIES SCHEDULE			
Type Mark	Type	Comments	Furnished By
T1.1	PAPER TOWEL DISPENSER/DISPOSAL		
T1.2	PAPER TOWEL DISPENSER		
T2	SANITARY DISPOSAL		
T3.1	TOILET PAPER DISPENSER		
T3.2	DOUBLE TOILET PAPER DISPENSER		
T4	GRAB BAR - 42"		
T5	GRAB BAR - 18"		
T6	GRAB BAR - 36"		
T7	MIRROR - 24" x 36"		
T8	MOP BACK		
T9	SOAP DISPENSER		

SPECIALTY EQUIPMENT SCHEDULE			
Type Mark	Type	Comments	Furnished By
SE2	36"		O.F.O.I.

WINCHESTER CITY HALL

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WINCHESTER, TN 37398

CITY OF WINCHESTER, TENNESSEE

No.	Revision Description	Date
1	ADDENDUM 2	3.4.26

INTERIOR ELEVATIONS AND DETAILS

JOB NO: 63492 DRAWN: ESR  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

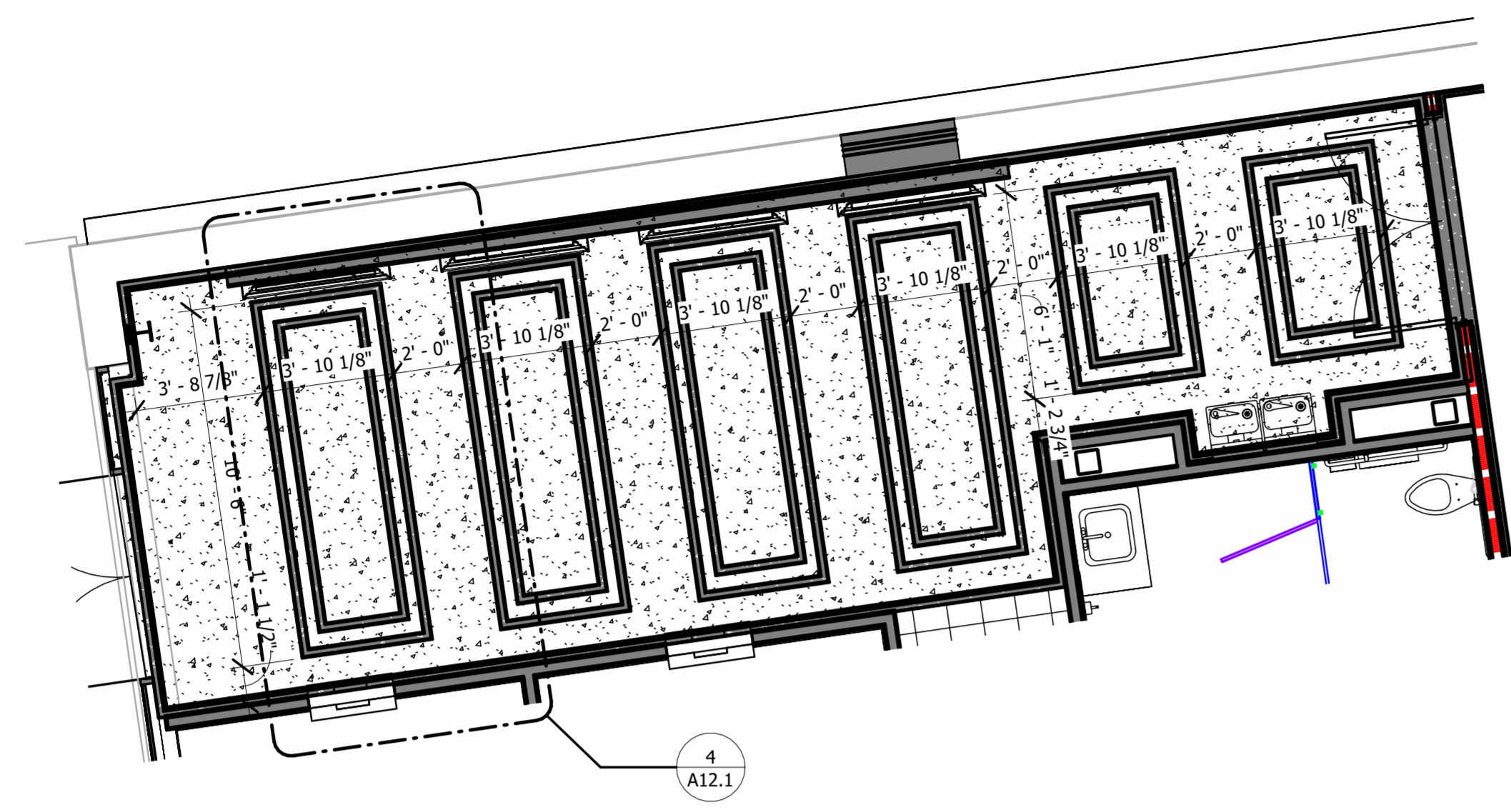
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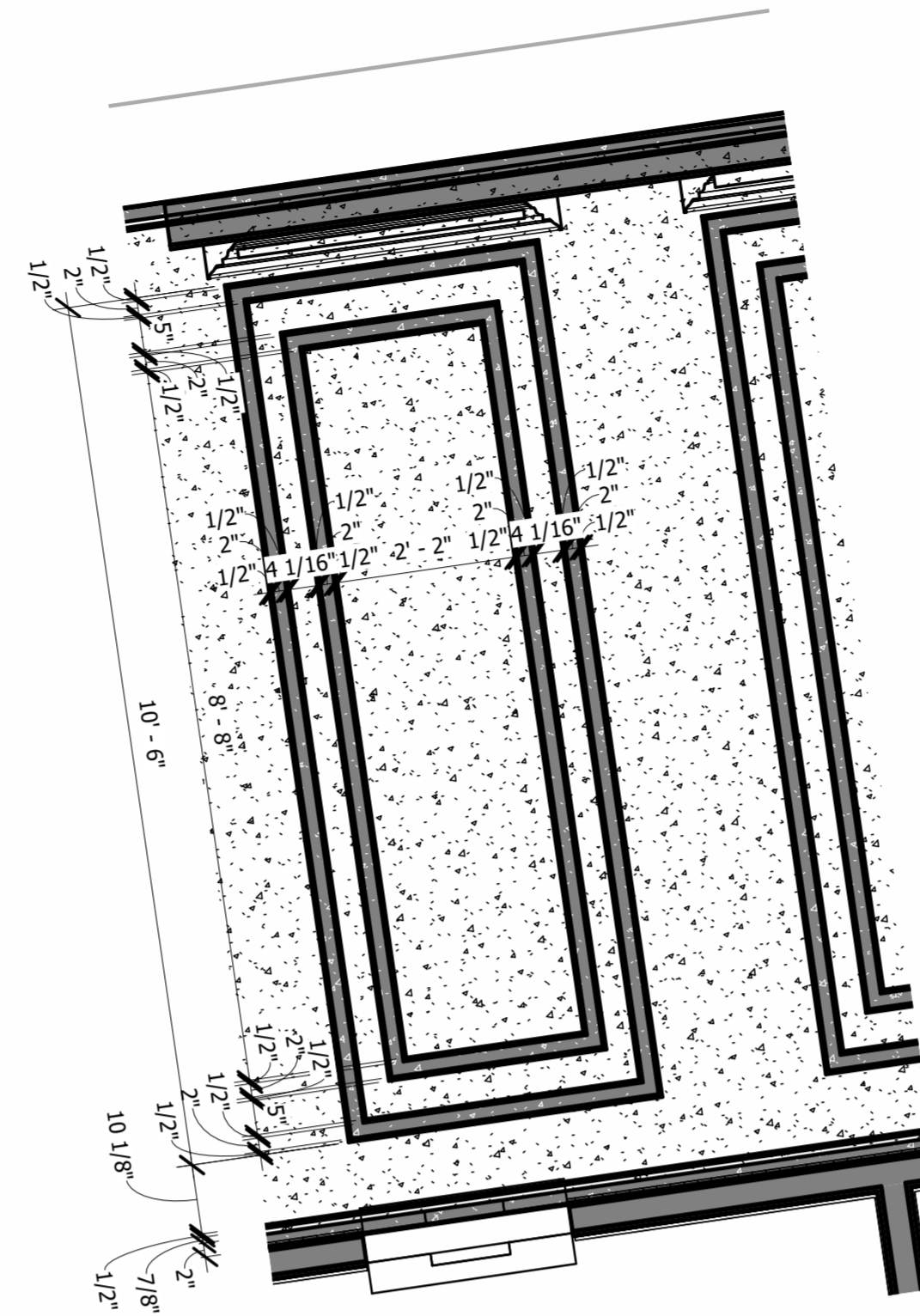
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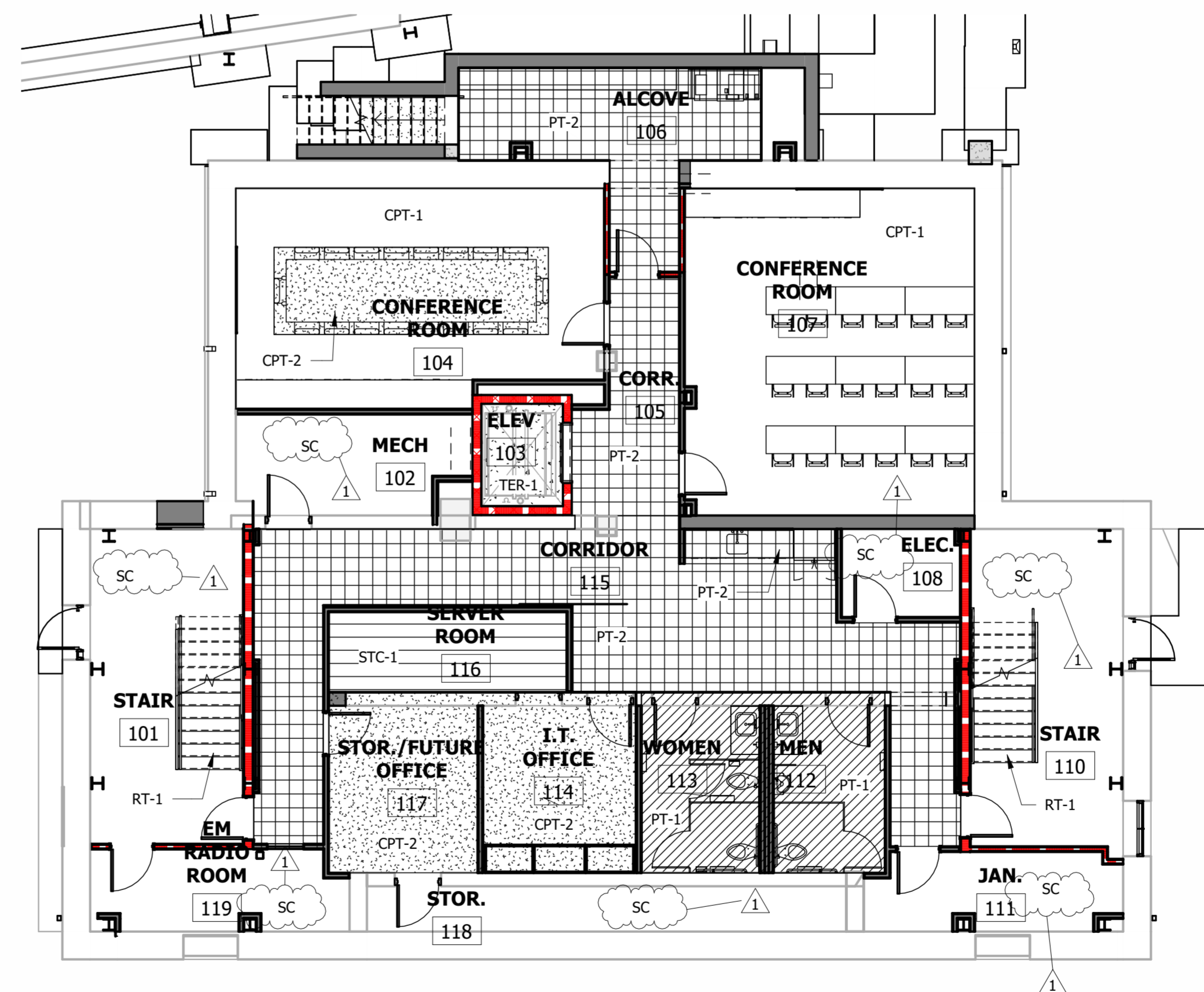
**3 FINISH PLAN - ENLARGED**  
1/4" = 1'-0"



**4 FINISH PLAN - DETAIL**  
1/2" = 1'-0"



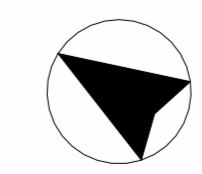
**1 FINISH FLOOR PLAN COLOR ( VISUAL DIAGRAM REFERENCE ONLY) - BASEMENT LEVEL**  
1/8" = 1'-0"



**2 FINISH PLAN - BASEMENT LEVEL**  
1/8" = 1'-0"

**FINISH FLOOR PATTERNS**

[Pattern]	CPT-1
[Pattern]	CPT-2
[Pattern]	TER-1
[Pattern]	TER-2
[Pattern]	PT-1
[Pattern]	PT-2
[Pattern]	PT-3
[Pattern]	NOT USED
[Pattern]	STC-1



WINCHESTER CITY HALL

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CITY OF WINCHESTER, TENNESSEE

No.	Revision Description	Date
1	ADDENDUM 2	3.4.26

FINISH PLAN

JOB NO: 63492 DRAWN: ESR  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

**A12.1**

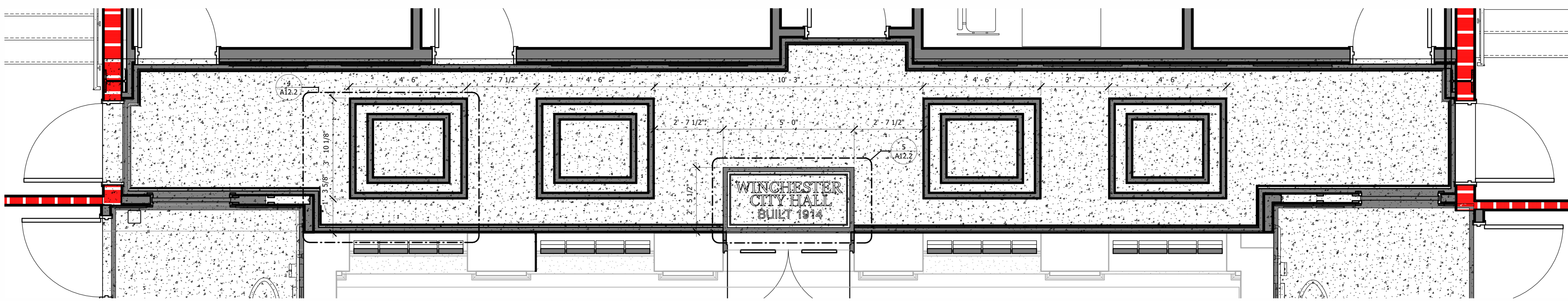
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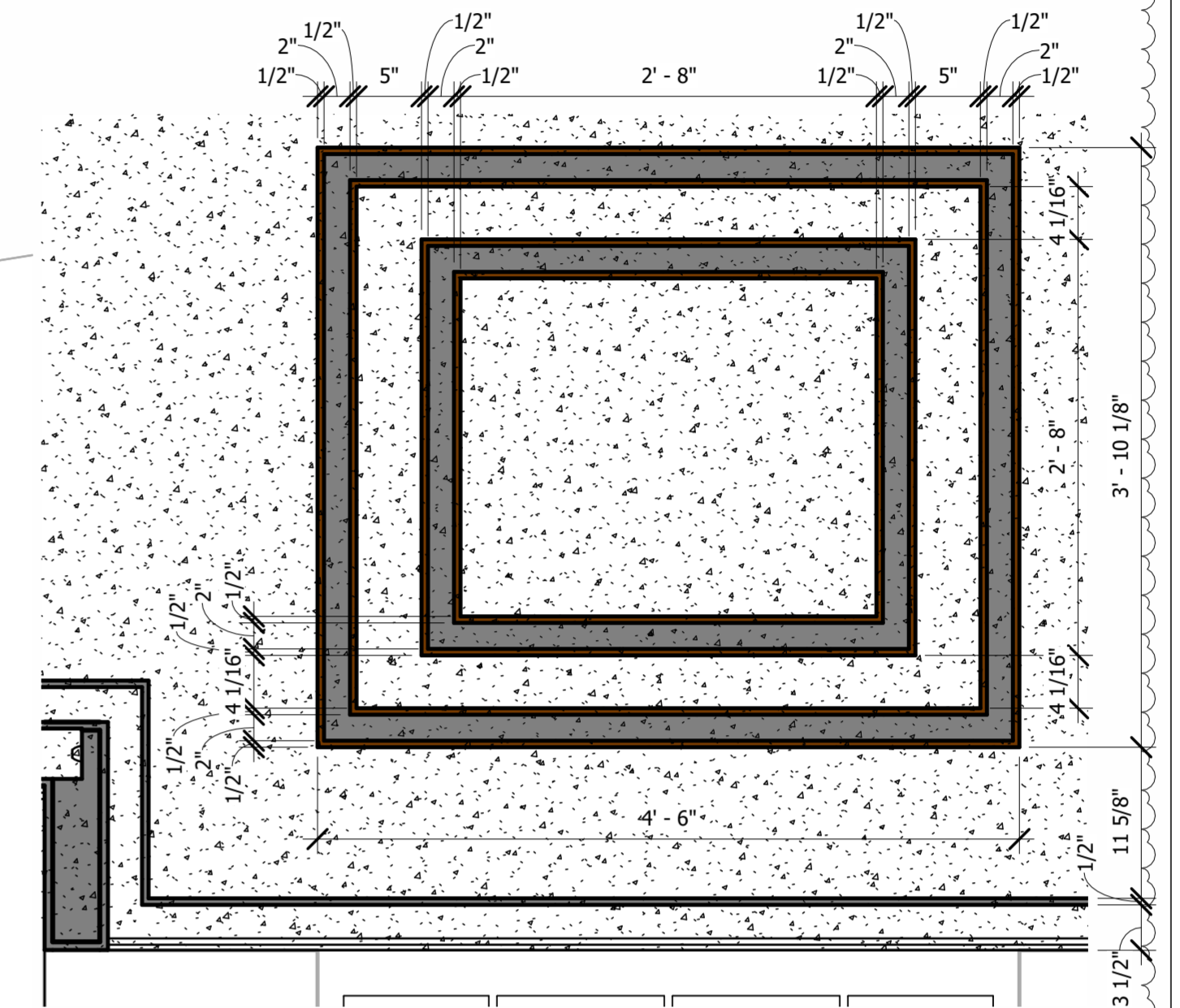
**3 FINISH PLAN - ENLARGED**  
1/2" = 1'-0"



**2 FINISH FLOOR PLAN COLOR (VISUAL DIAGRAM REFERENCE ONLY) - GROUND FLOOR**  
1/8" = 1'-0"



**1 FINISH PLAN - GROUND FLOOR**  
1/8" = 1'-0"



**4 FINISH PLAN - DETAIL**  
1" = 1'-0"



**5 FINISH PLAN - DETAIL**  
1" = 1'-0"

FINISH FLOOR PATTERNS	
[Pattern]	CPT-1
[Pattern]	CPT-2
[Pattern]	TER-1
[Pattern]	TER-2
[Pattern]	PT-1
[Pattern]	PT-2
[Pattern]	PT-3
[Pattern]	NOT USED
[Pattern]	STC-1

**WINCHESTER CITY HALL**

7 S HIGH ST, SUITE 1  
WINCHESTER, TN 37398

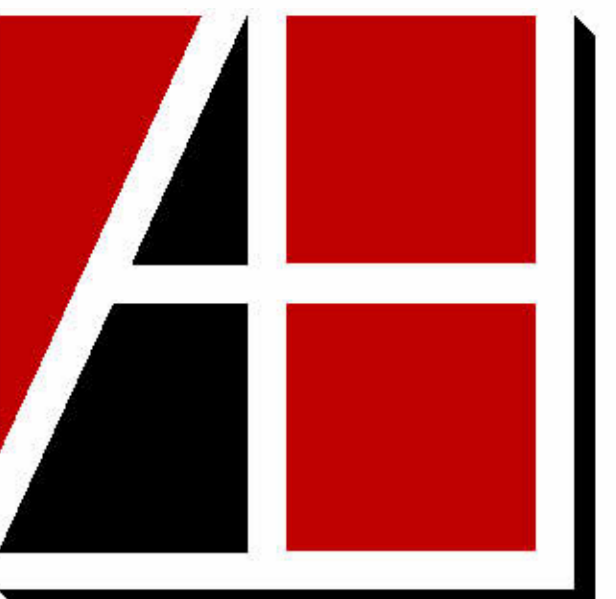
CITY OF WINCHESTER, TENNESSEE

No.	Revision Description	Date
1	ADDENDUM 2	3.4.26

**FINISH PLAN**

JOB NO: 63492 DRAWN: ESR  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

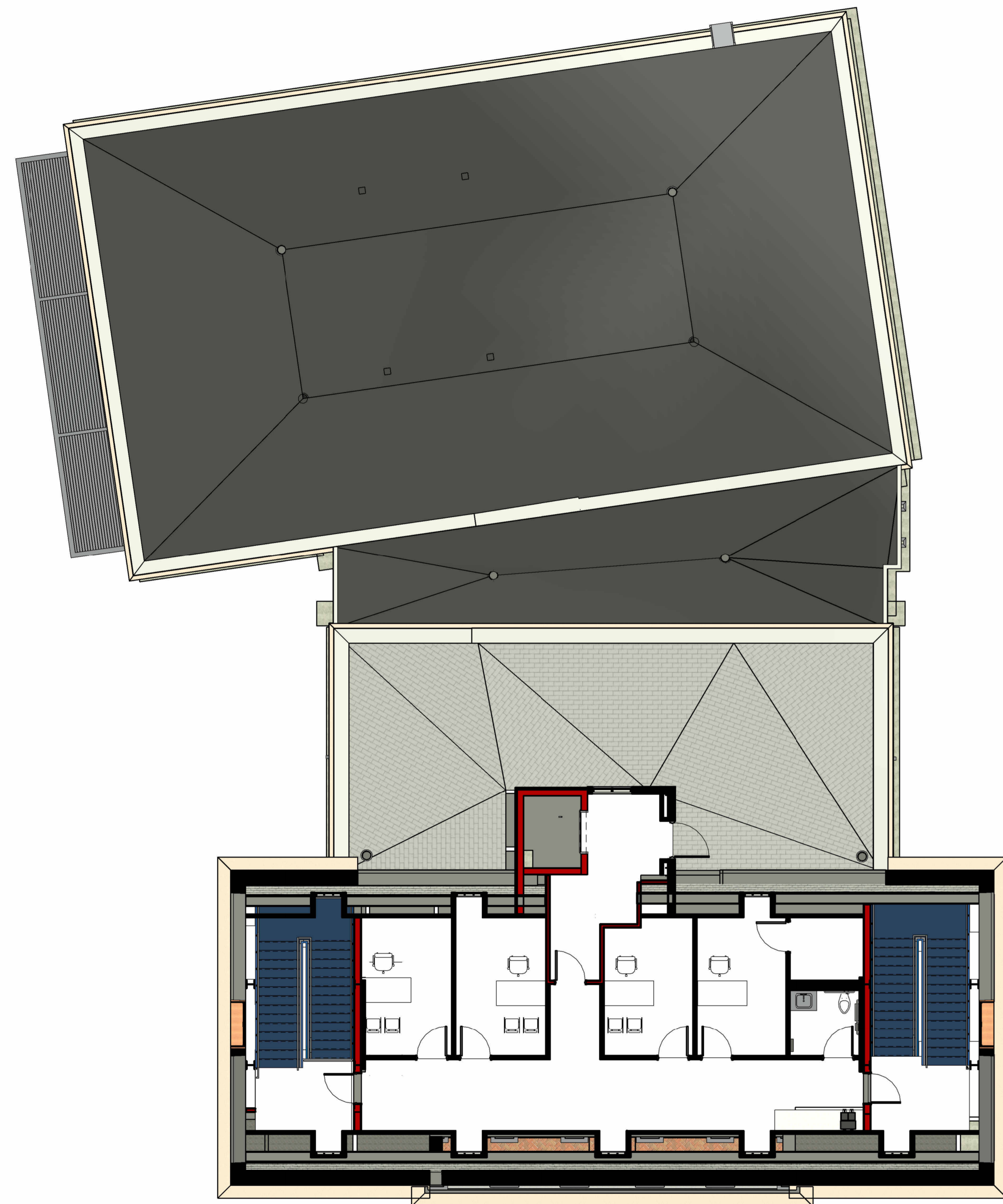
**A12.2**



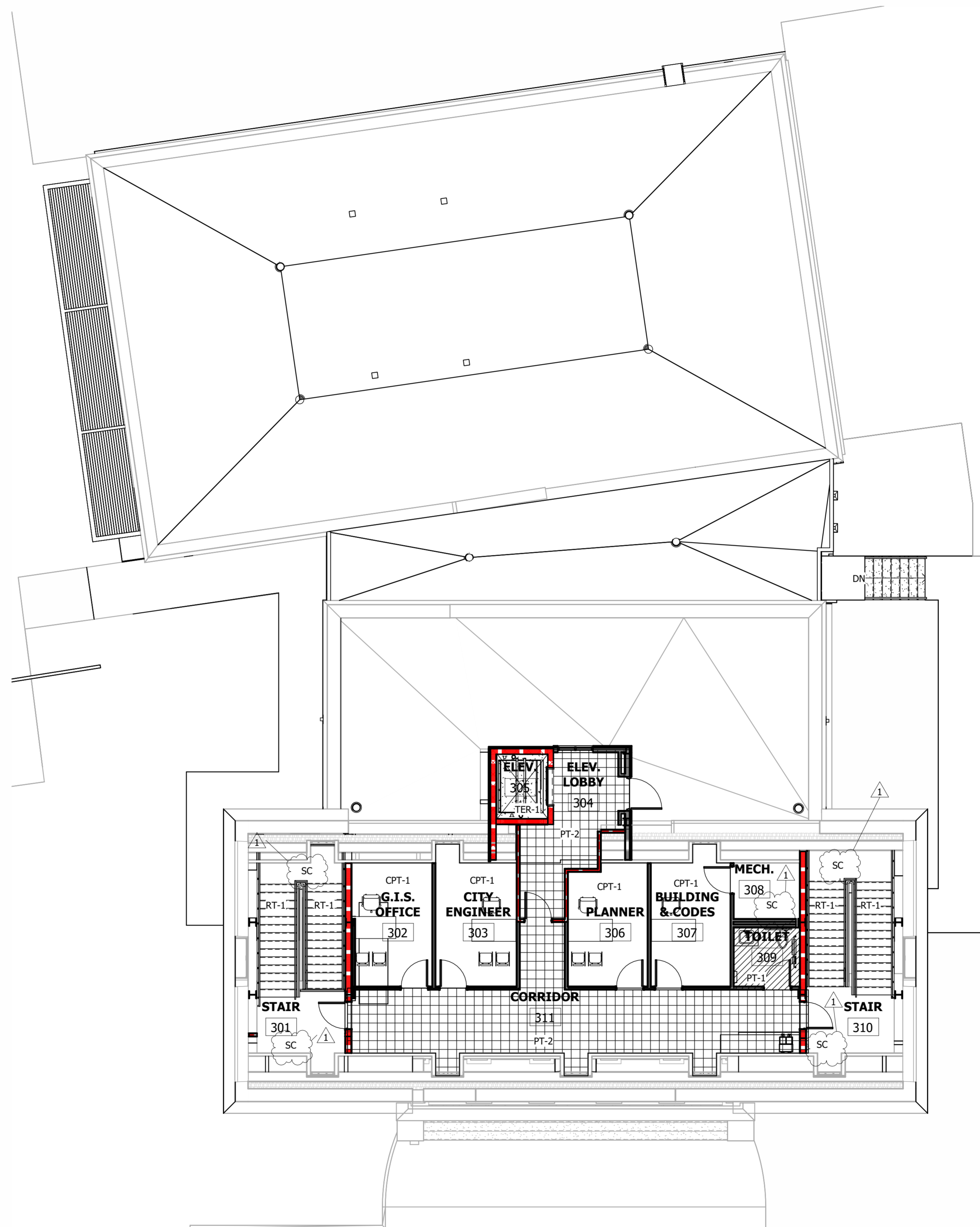
**Allen & Hoshall**  
engineers • architects • surveyors

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**1 FINISH FLOOR PLAN COLOR ( VISUAL DIAGRAM REFERENCE ONLY) - SECOND LEVEL**  
1/8" = 1'-0"



**2 FINISH FLOOR PLAN - SECOND LEVEL**  
1/8" = 1'-0"

FINISH FLOOR PATTERNS	
	CPT-1
	CPT-2
	TER-1
	TER-2
	PT-1
	PT-2
	PT-3
	NOT USED
	STC-1

**WINCHESTER CITY HALL**

7 S HIGH ST, SUITE 1  
WINCHESTER, TN 37398

CITY OF WINCHESTER, TENNESSEE

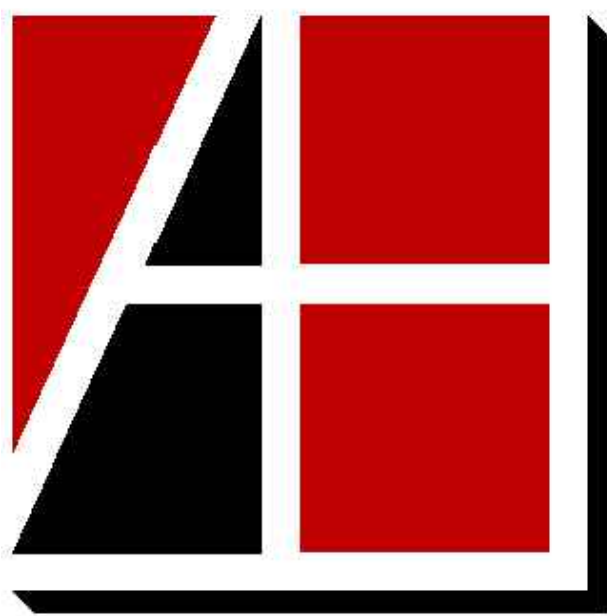
No.	Revision Description	Date
1	ADDENDUM 2	3.4.26

**FINISH PLAN**

JOB NO: 63492 DRAWN: ESR  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

**A12.3**

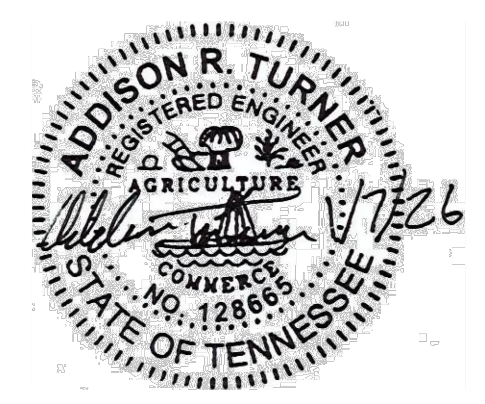




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FIRE RATING LEGEND			
COLOR	WALL TYPE	PATTERN	FIRE RESISTANCE RATING
EXISTING	NEW		
Green	Fire Partition	-----	30 MIN.
Red	Fire Barrier	=====	1 HOUR
Blue	Fire Wall	-----	2 HOUR
		-----	3 HOUR
		-----	4 HOUR

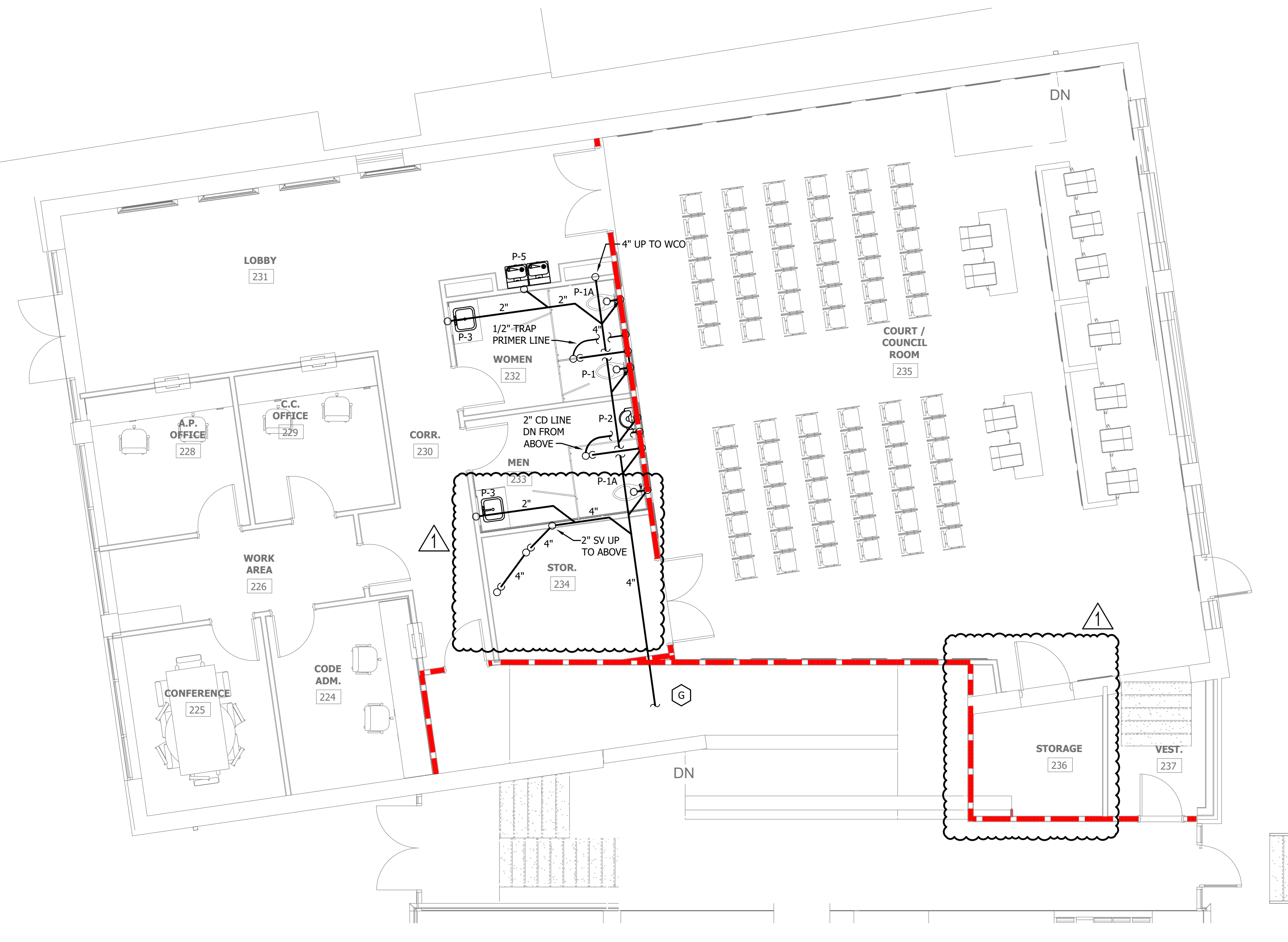
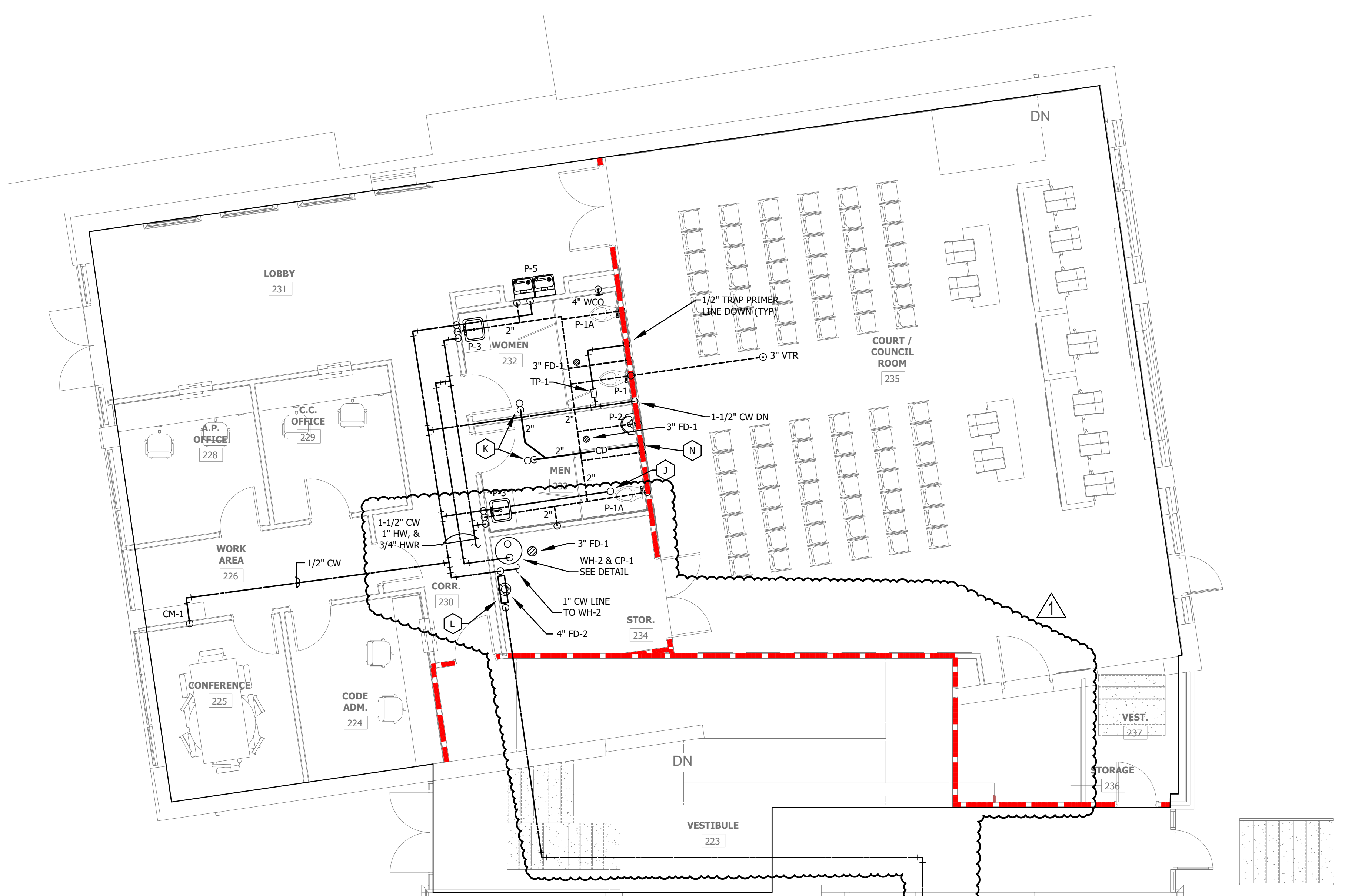
FIRE RATING CAN BE ANY COMBINATION OF THE ABOVE COLORS AND PATTERN. FIRE AND SMOKE RATINGS SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE PURPOSES ONLY. REFER TO LIFE SAFETY PLANS FOR COORDINATION AND CONSTRUCTION PURPOSES. THIS IS A STANDARD LEGEND. WALL TYPES MAY BE SHOWN BUT NOT UTILIZED IN THE PROJECT.

SMOKE RATING LEGEND		
EXISTING	NEW	WALL TYPE
-----	-----	SMOKE PARTITION
-----	-----	SMOKE BARRIER

- KEYNOTES:**
- (A) 1/2" CW LINE UP TO COFFEE MAKER ABOVE. SEE P1.2 FOR CONTINUATION.
  - (B) 2" SW DOWN TO ABOVE CEILING IN BASEMENT LEVEL. SEE P1.0 FOR CONTINUATION.
  - (C) 3" SV PIPING FROM BASEMENT TO 3" VTR. SEE P1.0 FOR CONTINUATION.
  - (D) 1/2" HOT WATER AND 1-1/2" COLD WATER LINE UP TO ABOVE. SEE P1.2 FOR CONTINUATION.
  - (E) 4" WASTE DOWN FROM WATER CLOSET ABOVE. SEE P1.2 FOR CONTINUATION.
  - (F) ROUTE SV UP IN WALL ABOVE. SEE P1.2 FOR CONTINUATION. TIE 2" SV OF SINK ABOVE INTO 2" SV AND V.T.R.
  - (G) TIE INTO EXISTING SANITARY WASTE LINE. CONTRACTOR TO VERIFY SIZE AND ELEVATION UPON NOTICE TO PROCEED. REPORT RESULTS TO ENGINEER OF RECORD PROMPTLY AND IN WRITING.
  - (H) 4" WASTE LINE DOWN TO BASEMENT. SEE P1.0 FOR CONTINUATION.
  - (I) CONNECT 2" SV FROM BELOW MARKED KEYNOTE N ON P1.0.
  - (J) 1" CW UP TO ROOF HYDRANT WITH STAINLESS STEEL SHROUD, MALE HOSE FITTING, VACUUM BREAKER AND DOME HANDLE: EQUAL TO MAPA #MPH-24D:24/9. INSTALL IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS.
  - (K) 2" P-TRAP ABOVE CEILING TO SERVE ROOF TOP AIR HANDLING UNIT CONDENSATE. EXTEND 2" TRAP INLET TO ABOVE ROOF ELEVATION. COORDINATE EXACT LOCATION WITH HVAC CONTRACTOR. SEE MECH SECTION FOR DETAIL.
  - (L) INSTALL NEW BFP-2. SEE DETAIL ON P0.3 AND SCHEDULE ON P0.1 FOR ADDITIONAL INFORMATION.
  - (M) 2" CW LINE UP FROM BELOW IN PHASE 2 WORK ROOM WALL. SEE P1.0 FOR SUPPLY. CW LINE WILL BE INSTALLED DURING PHASE 1 IN EXISTING CORRIDOR WALL. CONTRACTOR SHALL REFER TO EXISTING AND ARCHITECTURAL PLANS TO COORDINATE PIPE LOCATION WITH EXISTING CORRIDOR WALL AND PHASE 2 WORK ROOM WALL. COORDINATE INSTALLATION WITH OWNER AT LEAST 72 HOURS IN ADVANCE. UPON COMPLETION OF INSTALLATION IN PHASE 1 CONTRACTOR SHALL PATCH AND REPAIR ANY AFFECTED AREAS.
  - (N) 2" CD LINE DOWN TO BELOW. ROUTE BELOW SLAB AND TIE INTO TAILPIECE OF FD-1 ABOVE WATER SEAL OF P-TRAP.

**PHASING NOTE:**  
REFER TO ARCHITECTURAL PLAN A0.3 FOR PROJECT PHASING.

**GENERAL NOTES:**  
THE EXACT LOCATIONS OF THE EXISTING SANITARY SEWER IS NOT KNOWN. THE CONTRACTOR SHALL LOCATE THE EXISTING SEWER AND VERIFY THE SIZE, DEPTH, AND DIRECTION OF FLOW. THE CONTRACTOR SHALL THEN VERIFY THAT THE EXISTING SANITARY IS CLEAR AND FUNCTIONS PROPERLY BY RODDING AND TELEVISION SANITARY SEWER LINES WITHIN 2 WEEKS OF CONSTRUCTION MOBILIZATION. PROVIDE THE ROUTING REPORT AND CAMERA FOOTAGE TO ALLEN & HOSHALL PROJECT MANAGER.  
ROD AND TELEVISION SANITARY SEWER LINES AT THE COMPLETION OF CONSTRUCTION (AT LEAST 1 WEEK PRIOR TO ANTICIPATED CERTIFICATE OF OCCUPANCY). PROVIDE FINAL ROUTING REPORT AND CAMERA FOOTAGE TO ALLEN & HOSHALL PROJECT MANAGER.



**1 FIRST FLOOR - BELOW GROUND PLUMBING**  
3/16" = 1'-0"

**2 FIRST FLOOR - ABOVE GROUND PLUMBING**  
3/16" = 1'-0"

**WINCHESTER CITY HALL**

7 S HIGH ST, SUITE 1  
WINCHESTER, TN 37398

CITY OF WINCHESTER, TENNESSEE

No.	Revision Description	Date
1	ADDENDUM #2	03/05/2026

**FIRST FLOOR - PLUMBING**

JOB NO: 63492 DRAWN: ART  
DATE: 01.07.2026 CONSTRUCTION DOCUMENTS

## DOCUMENT 00 0115

## LIST OF DRAWINGS

The following is a list of Contract Drawings which this contract is to be based. These drawings are entitled WINCHESTER CITY HALL RENOVATIONS for WINCHESTER, TENNESSEE and dated JANUARY 7, 2026 with revision dates (if any), as noted. They will be supplemented by additional shop and dimensional drawings of materials and equipment and other drawings where specified.

<u>Drawing Number</u>	<u>Sub-Title</u>	<u>Revision Date</u>
<u>GENERAL</u>		
G0.1	Sheet Index	
G0.2	Life Safety Plan	
G0.3	Life Safety Plan – Second Floor Level	
G0.4	Life Safety Information	
<u>CIVIL</u>		
C0.1	Existing Conditions and Demolition Plan	<a href="#">03/04/2026</a>
C1.1	Site Plan	<a href="#">03/04/2026</a>
C1.2	Layout Plan	
C2.1	Grading Plan	
C3.1	Erosion Control Plan Stage 1	
C3.2	Erosion Control Plan Stage 2	
C3.3	Erosion Control Notes and Details	
C4.1	Utility Plan	02/27/2026
C5.1	Site Details	
C5.2	Site Details	
<u>ARCHITECTURAL</u>		
A0.1	Abbreviations and Symbols	
A0.2	Wall Types	
A0.3	Phasing Plan	02/27/2026
A0.4	Fire Rated Assembly Design Details	
A0.5	Fire Rated Assembly Design Details	
AD1.0	Demolition Plan – Basement and Ground Floor	<a href="#">03/04/2026</a>
AD1.1	Demolition Plan – Second Floor	<a href="#">03/04/2026</a>
AD4.1	Demolition Roof Plan	
A1.0	Architectural Site Plan	
A1.1	Dimensioned Floor Plans – Basement & Ground Floor Levels	
A1.2	Dimensioned Floor Plan – Second Level	
A1.3	Reference Floor Plans	<a href="#">03/04/2026</a>
A1.4	Reference Floor Plan – Second Floor	<a href="#">03/04/2026</a>
A2.1	Enlarged Plans	
A2.2	Enlarged Plans	02/27/2026
A2.3	Enlarged Plans	
A3.1	Reflected Ceiling Plan	
A3.2	Reflected Ceiling Plan – Second Floor Level	
A4.1	Roof Plan	
A4.2	Roof Details	
A4.3	Roof Details	
A5.1	Exterior Elevations	<a href="#">03/04/2026</a>
A5.2	Exterior Elevations	
A6.1	Building Sections	
A6.2	Building Sections	
A6.3	Building Sections	
010726	LIST OF DRAWINGS	00 0115-1

A6.4	Building Sections	
A6.5	Building Sections	
A6.6	Building Sections	
A7.1	Wall Sections	
A7.2	Wall Sections	
A7.3	Wall Sections	
A7.4	Wall Sections	
A7.5	Wall Sections	
A7.6	Wall Sections	
A7.7	Wall Sections	
A7.8	Wall Sections	
A7.9	Wall Sections	
A8.1	Plan Details and Sections	
A8.2	Plan Details	
A8.3	Plan Details	
A9.1	Vertical Circulation	
A9.2	Vertical Circulation	
A9.3	Vertical Circulation	
A9.4	Vertical Circulation Details	
A10.1	Door Types	<a href="#">03/04/2026</a>
A10.2	Door Details	
A10.3	Window Types and Details	
A10.4	Window Details	
A11.1	Interior Elevations and Details	
A11.2	Interior Elevations and Details	02/27/2026
A11.3	Interior Elevations and Details	02/27/2026
A11.4	Interior Elevations and Details	<a href="#">03/04/2026</a>
A11.5	Millwork Details	
A11.6	Millwork Details	
A11.7	Millwork Details	
A12.1	Finish Plan	<a href="#">03/04/2026</a>
A12.2	Finish Plan	<a href="#">03/04/2026</a>
A12.3	Finish Plan	<a href="#">03/04/2026</a>
A12.4	Finish Schedule	<a href="#">03/04/2026</a>
A13.1	Signage and Graphics	
A13.2	Signage Plans	
A13.3	Signage Plan	

**STRUCTURAL**

S0.0	Structural General Notes	
S0.1	Structural General Notes (Cont.)	
S0.2	Structural Special Inspections	
S0.3	Structural Special Inspections	
S1.1	Basement Plan	
S1.2	Ground Floor Underpinning Layout Plan	
S1.3	Ground Floor Foundation / Framing Plan	
S1.4	Second Floor Framing Plan	
S1.5	New Connector Roof Framing Plan	
S1.6	Roof Framing Plan	
S1.7	Retaining Walls	
S3.1	Sections	
S3.2	Sections	
S3.3	Sections	
S3.4	Building Section	
S3.5	Steel Framing Connections	
S3.6	Stairway Framing Connections	
S3.7	Sections @ Elevator	

S4.1	Frame Elevations In Stair 101
S4.2	Frame Elevations In Stair 101
S4.3	Frame Elevations In Stair 110
S4.4	Frame Elevations In Stair 110
S4.5	Building Sections
S5.1	Miscellaneous Details
S5.2	Miscellaneous Details
S5.3	Miscellaneous Details
SD1.1	Existing Basement Demolition Plan
SD1.2	Existing Ground Floor Demolition Plan
SD1.3	Second Floor Demolition Plan
SD1.4	Roof Demolition Plan

MECHANICAL

M0.1	General Notes, Legends, and Abbreviations
MD1.1	HVAC Demolition Plans
M1.1	HVAC Plan Views
M5.1	Details
M6.1	Schedules

PLUMBING

P0.1	Legend, Notes, Schedules, and Details
P0.2	Details
P1.0	Basement – Plumbing
P1.1	First Floor – Plumbing
P1.2	Second Floor – Plumbing
P2.0	Fire Protection Plans
PD1.0	Basement – Demolition Plan
PD1.1	First Floor – Demolition Plan
PD1.2	Second Floor – Demolition Plan

[03/04/2026](#)ELECTRICAL

E0.1	Legend & Notes
ED1.1	Electrical Demolition Plan
E1.1	Electrical Site Plan
E2.1	Floor Plan – Lighting
E3.1	Floor Plan – Power – Phase 1
E3.2	Floor Plan – Power – Phase 2
E4.1	Systems Plan
E5.1	Enlarged Views
E6.1	Electrical Details
E6.2	Electrical Panel Schedules, Riser Diagram & Details
E6.3	Panel Schedules

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## SECTION 08 4413

## GLAZED ALUMINUM CURTAIN WALLS

## PART 1 GENERAL

## 1.1 SECTION INCLUDES

- A. This Section covers Kawneer Architectural Aluminum Curtain Wall Systems, including perimeter trims, stools, accessories, shims and anchors, and perimeter sealing of curtain wall framing.
- B. Types of Kawneer Aluminum Curtain Wall Systems include:
  - 1. 1600 Wall System®1 Curtain Wall:
    - a. Sight line: 2-1/2" (63.5 mm)
    - b. Outside-glazed pressure plate format
    - c. System depth: 6" (152.4 mm) for 1" (25.4 mm) insulating glazing and 1/4" (6.3 mm) monolithic glazing

## 1.2 RELATED SECTIONS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.
- B. SECTION 084112: Aluminum-Framed Entrances
- C. SECTION 084113: Aluminum-Framed Storefronts
- D. SECTION 085113: Single Hung Aluminum Windows
- E. SECTION 088000: Glazing

## 1.3 DEFINITIONS

- A. For fenestration industry standard terminology and definitions, refer to the Fenestration & Glazing Industry Alliance (FGIA) Glossary (AAMA AG-13).

## 1.4 PERFORMANCE REQUIREMENTS

- A. General Performance:
  - 1. Product to comply with the specified performance requirements without failure due to defective manufacture, fabrication, installation, or other defects in construction, as determined by testing of glazed aluminum curtain walls representing those indicated for this project.
  - 2. Glazed aluminum curtain walls shall withstand movements of supporting structure including, but not limited to, story drift, twist, column shortening, long-term creep, and deflection from uniformly distributed and concentrated live loads.
  - 3. Failure includes any of these events:
    - a. Thermal stresses transferring to building structure
    - b. Glass breakage
    - c. Loosening or weakening of fasteners, attachments, and other components
    - d. Failure of operating units
- B. Delegated Design:
  - 1. Design glazed aluminum curtain walls, including comprehensive engineering analysis by a qualified professional engineer, using performance requirements and design criteria indicated.

- C. Wind Loads:
1. The curtain wall system shall include anchorage that is capable of withstanding the following wind load design pressures: See structural drawings
  2. The design pressures are based on the 2018 International Building Code
- D. Air Leakage:
1. The test specimen shall be tested in accordance with ASTM E 283.
  2. Air infiltration rate shall not exceed 0.06 cfm/ft<sup>2</sup> (0.3 l/s · m<sup>2</sup>) at a static air pressure differential of 6.2 psf (300 Pa).
- E. Water Resistance:
1. Static:
    - a. The test specimen shall be tested in accordance with ASTM E 331.
    - b. There shall be no leakage at a minimum static air pressure differential of 12 psf (575 Pa) as defined in AAMA 501.
  2. Dynamic:
    - a. The test specimen shall be tested in accordance with AAMA 501.1.
    - b. There shall be no leakage at an air pressure differential of 12 psf (575 Pa) as defined in AAMA 501.
- F. Uniform Load:
1. A static air design load of 40 psf (1915 Pa) shall be applied in the positive and negative direction in accordance with ASTM E 330.
  2. There shall be no deflection in excess of L/175 of the span of any framing member at design load.
  3. At a structural test load equal to 1.5 times the specified design load, no glass breakage or permanent set in the framing members in excess of 0.2% of their clear spans shall occur.
- G. Seismic:
1. When tested to AAMA 501.4, system must meet design displacement (elastic) of 0.010 times the story height and ultimate displacement (inelastic) of 1.5 times the design displacement.
  2. When tested to AAMA 501.6, system must meet dynamic seismic drift causing glass fallout ( $\Delta$ Fallout) of 4.75" or 0.0300 times the story height.
- H. Thermal Transmittance (U-factor), Simulation:
1. Thermal transmittance simulation results using NFRC 100 or AAMA 507 are based on a Center of Glass (COG) U-factor of 0.30 Btu/(hr·ft<sup>2</sup>·°F) and a warm-edge spacer.
  2. When simulated using NFRC 100, the system U-factor shall not be more than or .46 Btu/(hr·ft<sup>2</sup>·°F) per NFRC 100.
- I. Condensation Resistance Factor (CRF) or Temperature Index (TI):
1. Condensation resistance test results in accordance with AAMA 1503 or CSA A440 are based upon 1" (25.4 mm) clear low emissivity coated insulating glass, (1/4" e=0.035, #2), 1/2" warm edge spacer and argon fill gas, 1/4").
  2. When tested using AAMA 1503, the CRF<sub>frame</sub> and CRF<sub>glass</sub> (with low-emissivity glazing) shall not be less than 71 and 71 respectively.
- J. Sound Transmission Loss:
1. When tested to ASTM E90 and ASTM E1425, the Sound Transmission Class (STC) and Outdoor/Indoor Transmission Class (OITC) shall not be less than:
    - a. STC 31 or OITC 26 based upon 1" (25.4 mm) insulating glass (1/4", 1/2" AS, 1/4")

## 1.5 SUBMITTALS

- A. Product Data:
  - 1. For each type of product indicated, include:
    - a. Construction details
    - b. Material descriptions
    - c. Dimensions of individual components and profiles
    - d. Finishes
- B. Shop Drawings:
  - 1. Plans
  - 2. Elevations
  - 3. Sections
  - 4. Full-size details
  - 5. Attachments to other work
- C. Samples for Initial Selection:
  - 1. Provide samples for units with factory-applied color finishes.
- D. Samples for Verification:
  - 1. Provide a verification sample for each type of exposed finish required, in manufacturer's standard sizes.
- E. Product Test Reports:
  - 1. Provide test reports for glazed aluminum curtain walls.
  - 2. Test reports must be based on evaluation of comprehensive tests performed by a qualified preconstruction testing agency.
  - 3. Test reports must indicate compliance with performance requirements.
- F. Fabrication Sample:
  - 1. Provide a fabrication sample of each vertical-to-horizontal intersection of aluminum-framed curtain wall systems, made from 12" (304.8 mm) lengths of full-size components and showing details of the following:
    - a. Joinery
    - b. Glazing

## 1.6 QUALITY ASSURANCE

- A. Installer Qualifications:
  - 1. Installer must have successfully installed the same or similar systems required for the project and other projects of similar size and scope.
- B. Manufacturer Qualifications:
  - 1. Manufacturer must be capable of fabricating glazed aluminum curtain walls that meet or exceed the stated performance requirements.
- C. Source Limitations:
  - 1. Obtain aluminum curtain wall system through one source from a single manufacturer.
- D. Product Options:
  - 1. Information on drawings and in specifications establishes requirements for aesthetic effects and performance characteristics of assemblies. Aesthetic effects are indicated by dimensions, arrangements, alignment, and profiles of components and assemblies as they relate to sightlines, to one another, and to adjoining construction.
  - 2. Do not modify intended aesthetic effects, as judged solely by Architect, except with Architect's approval. If modifications are proposed, submit comprehensive explanatory data to Architect for review.

- E. Pre-installation Conference:
  - 1. Conduct conference at project site to comply with requirements in Division 01 Project Management and Coordination Section.

## 1.7 PROJECT CONDITIONS

- A. Field Measurements:
  - 1. Verify actual locations of structural supports for glazed aluminum curtain walls by field measurements before fabrication.
  - 2. Indicate measurements on shop drawings.

## 1.8 WARRANTY

- A. Submit manufacturer's standard warranty for owner's acceptance.
- B. Warranty Period:
  - 1. Two years from Date of Substantial Completion of the project provided however that in no event shall the Limited Warranty begin later than six months from date of shipment by manufacturer.

## PART 2 PRODUCTS

### 2.1 MANUFACTURERS

- A. Basis-of-Design Product:
  - 1. Kawneer Company, Inc.
  - 2. 1600 Wall System®1 Curtain Wall types:
    - a. 1600 Wall System®1 Curtain Wall:
      - (1) Sight line: 2-1/2" (63.5 mm)
      - (2) Outside-glazed pressure plate format
      - (3) System depth: 6" (152.4 mm) for 1" (25.4 mm) insulating glazing and 1/4" (6.3 mm) monolithic glazing
  - 3. Tested to AAMA 501, ASTM E 1886, E 1996, and TAS 201, 202, 203
- B. Or Approved equal
- C. Substitutions:
  - 1. Refer to Division 01 Substitutions Section for procedures and submission requirements.
  - 2. Pre-Contract (Bidding Period) Substitutions:
    - a. Submit written requests ten (10) days prior to bid date.
  - 3. Post-Contract (Construction Period) Substitutions:
    - a. Submit written request in order to avoid installation and construction delays.
  - 4. Product Literature and Drawings:
    - a. Submit product literature and drawings modified to suit specific project requirements and job conditions.
  - 5. Certificates:
    - a. Submit certificate(s) certifying that the substitute manufacturer (1) attests to adherence to specification requirements for curtain wall system performance criteria, and (2) has been engaged in the design, manufacture, and fabrication of aluminum curtain walls for a period of not less than ten (10) years. (Company Name).
  - 6. Test Reports:
    - a. Submit test reports verifying compliance with each test requirement required by the project.

7. Samples:
    - a. Provide samples of typical product sections and finish samples in manufacturer's standard sizes.
  - D. Substitution Acceptance:
    1. Acceptance will be in written form, either as an addendum or modification.
    2. Acceptance will be documented by a formal change order signed by the owner and contractor.
- ## 2.2 MATERIALS
- A. Aluminum Extrusions:
    1. Alloy and temper recommended by glazed aluminum curtain wall manufacturer for strength, corrosion resistance, and application of required finish
    2. Not less than 0.070" (1.8 mm) wall thickness at any location for the main frame
    3. Complying with ASTM B221: 6063-T6 alloy and temper
  - B. Aluminum Sheet Alloy:
    1. Shall meet the requirements of ASTM B209.
  - C. Fasteners:
    1. Aluminum, nonmagnetic stainless steel or other materials must be non-corrosive and compatible with aluminum members, trim hardware, anchors, and other components.
  - D. Anchors, Clips, and Accessories:
    1. Aluminum, nonmagnetic stainless steel, or zinc-coated steel or iron complying with ASTM B 633 for SC 3 severe service conditions or other suitable zinc coating.
    2. Anchors, clips, and accessories shall provide sufficient strength to withstand the design pressure indicated.
  - E. Pressure Plate:
    1. Pressure plate shall be aluminum.
    2. Pressure plate shall be fastened to the mullion with stainless steel screws.
  - F. Reinforcing Members:
    1. Aluminum, nonmagnetic stainless steel, or nickel/chrome-plated steel complying with ASTM B 456 for Type SC 3 severe service conditions, or zinc-coated steel or iron complying with ASTM B 633 for SC 3 severe service conditions or other suitable zinc coating.
    2. Reinforcing members must provide sufficient strength to withstand the design pressure indicated.
  - G. Sealant:
    1. For sealants required within fabricated curtain wall system, provide permanently elastic, non-shrinking, and non-migrating type recommended by sealant manufacturer for joint size and movement.
  - H. Thermal Barrier:
    1. Thermal separator shall be extruded of a silicone compatible elastomer that provides a minimum 1/4" (6.3 mm) separation.
  - I. Tolerances:
    1. References to tolerances for wall thickness and other cross-sectional dimensions of glazed curtain wall members are nominal and in compliance with AA Aluminum Standards and Data.

## 2.3 CURTAIN WALL FRAMING

- A. Framing Members:
  - 1. Manufacturer's standard extruded- or formed-aluminum framing members of thickness required and reinforced as required to support imposed loads
  - 2. Glazing System: Four-sided captured
  - 3. Glazing Plane: Front
- B. Glass:
  - 1. Monolithic glass options:
    - a. 1/4" (6.3 mm)
  - 2. Insulating glass options:
    - a. 1" (25.4 mm)
- C. Brackets and Reinforcements:
  - 1. Manufacturer's standard high-strength aluminum with non-staining, non-ferrous shims for aligning system components.
- D. Framing Sealants:
  - 1. Shall be suitable for glazed aluminum curtain wall as recommended by sealant manufacturer.
- E. Fasteners and Accessories:
  - 1. Manufacturer's standard corrosion-resistant, non-staining, non-bleeding fasteners and accessories must be compatible with adjacent materials.
  - 2. Where exposed, fasteners and accessories shall be stainless steel.
- F. Perimeter Anchors:
  - 1. When steel anchors are used, provide insulation between steel material and aluminum material to prevent galvanic action.
- G. Packing, Shipping, Handling, and Unloading:
  - 1. Deliver materials in manufacturer's original, unopened, undamaged containers with identification labels intact.
- H. Storage and Protection:
  - 1. Store materials so that they are protected from exposure to harmful weather conditions.
  - 2. Handle material and components to avoid damage.
  - 3. Protect material against damage from elements, construction activities, and other hazards before, during, and after installation.

## 2.4 GLAZING

- A. Glazing to meet requirements in Division 08 Glazing Section.
- B. Glazing Gaskets:
  - 1. Gaskets to meet requirements of ASTM C864.
- C. Spacers and Setting Blocks:
  - 1. Manufacturer's standard elastomeric type
- D. Bond-Breaker Tape:
  - 1. Manufacturer's standard TFE-fluorocarbon or polyethylene material to which sealants will not develop adhesion.
- E. Glazing Sealants:
  - 1. As recommended by manufacturer for joint type.

## 2.5 ACCESSORY MATERIALS

- A. Bituminous Paint:
  1. Cold-applied asphalt-mastic paint
  2. Complies with SSPC-Paint 12 requirements except containing no asbestos
  3. Formulated for 30-mil (0.762 mm) thickness per coat

## 2.6 FABRICATION

- A. Extrude or form aluminum shapes before finishing.
- B. Fabricate components that, when assembled, have the following characteristics:
  1. Profiles that are sharp, straight, and free of defects or deformations
  2. Accurately fitted joints
  3. Physical and thermal isolation of glazing from framing members
  4. Accommodations for thermal and mechanical movements of glazing and framing that maintain required glazing edge clearances
  5. Provisions for field replacement of glazing from exterior
  6. Fasteners, anchors, and connection devices that are concealed from view to the greatest extent possible
  7. Internal weeping system or other means to drain water passing joints, condensation occurring within framing members, and moisture migrating within glazed aluminum curtain wall to exterior
- C. Curtain Wall Framing:
  1. Fabricate components for assembly using shear block system following manufacturer's standard installation instructions.
- D. After fabrication, clearly mark components to identify their locations in project according to shop drawings.

## 2.7 ALUMINUM FINISHES

- A. Finish designations that are prefixed by AA comply with the system established by the Aluminum Association for designating aluminum finishes.
- B. Factory Finishing:
  1. Kawneer Permanodic® AA-M10C21A44, AAMA 611, Architectural Class I Color Anodic Coating (Color: to be selected from full range)

## PART 3 EXECUTION

### 3.1 EXAMINATION

- A. With installer present, examine areas for compliance with requirements for installation tolerances and other conditions affecting performance of the work.
- B. Proceed with installation only after correcting unsatisfactory conditions.

### 3.2 INSTALLATION

- A. Curtain Wall System Installation:
  1. Install curtain wall systems plumb, level, and true to line, without warp or rack of frames, within manufacturer's prescribed tolerances, and complying with installation instructions.
  2. Provide support and anchor in place.

3. Dissimilar Materials:
    - a. Provide separation of aluminum materials from sources of corrosion or electrolytic action contact points.
  4. Glazing:
    - a. Glass shall be outside-glazed.
    - b. Glass shall be held in place with extruded aluminum pressure plates anchored to the mullion using stainless steel fasteners that are spaced no more than 9" (228.6 mm) on center.
  5. Water Drainage
    - a. Each light of glass shall be compartmentalized using joint plugs and silicone sealant to divert water to the horizontal weep locations.
    - b. Weep holes shall be located in the horizontal pressure plates and covers to divert water to the exterior of the building.
- B. Related Products Installation:
1. Sealants (Perimeter):
    - a. Refer to Joint Treatment (Sealants) Section.
  2. Glass:
    - a. Refer to Glass and Glazing Section.
    - b. Reference: ANSI Z97.1, CPSC 16 CFR 1201, and GANA Glazing Manual.
- 3.3 ADJUSTING, CLEANING, AND PROTECTION
- A. Adjusting: Not applicable.
- B. Protection:
1. Protect installed product's finish surfaces from damage during construction.
  2. Protect aluminum curtain wall system from damage from grinding and polishing compounds, plaster, lime, acid, cement, or other harmful contaminants.
- C. Cleaning:
1. Repair or replace damaged installed products.
  2. Clean installed products in accordance with manufacturer's instructions prior to owner's acceptance.
  3. Remove and replace glass that has been broken, chipped, cracked, abraded, or damaged during the construction period.
  4. Remove construction debris from project site and legally dispose of debris.

END OF SECTION

**QUESTIONS & ANSWERS**  
**WINCHESTER CITY HALL RENOVATIONS**  
**WINCHESTER, TENNESSEE**

Q&A #8 - #17

Q8) Can you please confirm the removal method (remove all, mill/fill, overlay, etc.) and asphalt details (depths) for the entire patch area?

A8) The removal depth for the existing asphalt is shown on C0.1. Asphalt patching shall follow the guidelines of the Tennessee Department of Transportation General Requirements for Open Trench Pavement and Wheel Path Pavement Repair Details.

Q9) SS-1 designates this material as a "solid surface." However, the manufacturer and color specifications provided indicate a quartz material. Please confirm the correct material type.

A9) The correct material is the specified quartz surface material.

Q10) On Sheet A12.2, Room 201 Gallery, provide an enlarged detail showing the dimensions of the floor pattern with inset letters.

A10) Please see attached revised sheets A12.1 and A12.2 included with this Addendum.

Q11) On A1.3, there are 3 type "G" frames shown in Offices 224, 228, and 229. These should be type "H", correct?

A11) Yes, the transaction windows in Offices 224, 228, and 229 are to be type "H" instead of type "G". Please see attached revised sheet A1.3 included with this Addendum.

Q12) Window type "J" does not appear to show up anywhere on the floor plans.

A12) Window type "J" is located in the plan north wall of Space 304, Elevator Lobby. Please see attached revised sheet A1.4 included with this Addendum.

Q13) Sheet A1.3 shows one frame "D" and one frame "E", while A5.1 shows it as two type "D" frames. Which sheet is correct?

A13) Sheet A1.3 correctly identifies the type "D" and type "E" windows. Please see attached revised sheet A5.1 included with this Addendum.

Q14) The frames that are over 12 feet tall will need to be curtain wall instead of storefront. Please provide the system being used.

A14) Curtainwall system basis of design to be Kawneer 1600 with a 2.5" sight line and a 6" depth. Please see attached revised A5.1, A10.1, and section 08 4413 – Glazed Aluminum Curtainwall included with this Addendum.

Q15) There are a number of forms that seem to be required to be included with our bid. Is it possible to publish a definitive list of what forms are needed so that none are inadvertently left out? Also, is there an "official" Bid Envelope Cover Sheet?

A15) The additional required forms are City of Winchester required forms, and are listed under 00 3310 in the Project Manual (11 Pages):

- Drug Free Workplace Affidavit
- Hold Harmless and Indemnity Requirement

[ADDENDUM #2](#)

- Title VI Compliance Survey
- Certificate of Non-Discrimination
- Certificate of Non-Illegal Immigrant Use
- Certificate of Non-Collusion
- Specification Requirements and Compliance

There is no "official" Bid Envelope Cover Sheet: Contractor may use the cover sheet from the State bids and modify as required for this project. A Bid Envelope Cover Sheet needs to provide the proper licensing data for General Contractor and all listed subcontractors.

- Q16) Paragraph 11 of the bid form says Phase 1 is to be complete by 300 days after NTP. Phase 2 will complete in 450 days after the issuance of the Notice to Proceed for this phase. Will this be 300 days plus 450 days – 750 days. Or will there be overlap. Or will there be a gap between the phases?
- A16) There is a Phase 1 of 300 Calendar Days and a Phase 2 with an additional 450 calendar days. There will not be overlap between the phases. Refer to A0.3, Phasing Plan Note: *"Phase 1 Substantial Completion 300 Calendar Days. Contractor to coordinate with Owner after completion of Phase 1 to allow for a period of a couple of weeks for the City's employees to relocate all of their office furniture and equipment prior to turning over Building "A" to the Contractor for Phase 2."*
- Q17) In the Finish Legend, under Toilet Compartments, states Scranton Aria Partitions in the color shale. However, on the Demolition Legend, #26 states to remove, preserve, and store Toilet Partitions and coordinate with finish plan and finish schedule for reuse. I don't see anything stating whether we're reusing or not.
- A17) The note in the Demolition Legend is referring to the existing marble partitions located in existing toilets. These are additional to the marble wainscotting that is to be preserved and stored.