Addendum #1



PROJECT: Wells Fargo Greely 6835 10th Street Greely, Colorado 80634

Items included in this Addendum should be incorporated into the contractor's bid price.

Description:

Pricing for the changes listed below shall include all changes indicated in the Contract Documents incorporated as part of this addendum. The General Contractor shall coordinate changes in the work with all trades affected.

- 1.1 Bid submittal shall include all items in the Civil, Landscape, Architectural, Structural and MEP drawings, Specification, and this Addendum #1. Notify SGD if you are missing any of these documents.
- 1.2 A Pre-Bid Walkthrough was completed on May 14[,] 2025. A copy of the Pre-Bid Meeting Minutes is attached to this addendum. All items discussed in the walkthrough and recorded in the Pre-Bid Meeting shall be included in the base bid including allowances.
- 1.3 Bidders to carry a \$2,500.00 allowance in their base bid for keying at the end of the project. The Wells Fargo preferred locksmith contact information will be provided at the time of turnover.
- 1.4 Refer to section 012113 for allowances of \$22,500.00 for Materials Testing and \$20,000.00 for Transformer to be included in base bid.
- 1.5 Pre Pre-Bid Walk thru include in base building city tap and impact fees:
 - Utility, Development & Infrastructure Fees: \$44,524
 - Tap Fees: \$76,395
 - o Meter Charge \$1,428
 - o Water \$40,300
 - o Irrigation \$5,050
 - o Raw Water \$6,617
 - o Sewer \$23,000
 - *Contact City of Greeley for Building Permit Cost since it is based on your bid amount.
- 1.6 Clarification to Sheets Sheet G0.01 and G0.11 Door 121 is to be a BR Door with new hardware scheduled 9.05. The contractor to coordinate that correct laminate finish is ordered.
- 1.7 Clarification to Sheet A1.04 Electrical Plan Floor outlets identified as either a floor box or conduit stubbed into millwork.
- 1.8 Exterior Finish Revision Architectural Sheets A201, A2.02, A3.10 A3.13, A4.00 A4.03, and Structural Sheets S0.50, S0.51, S1.02, S1.03, S5.01 for the material revisions to the building façade by the client.
- 1.9 Civil Plans Revised sheets C300 thru C303, C400, C500 thru C503, and C600 with City Comments to include in Bid.
- 1.10 Landscape Plan Revised sheet 6 of 15 with City Comments to include in Bid.

Addendum #1



1.11 The following items are Requested Information from Bidders:

Question:

Door schedule is called out for Door Types FG5 and FG6 for the interior doors but there is no Door Type FG5 and FG6. Should these be type FG1?

Response:

Door Types indicated as either FG5 or FG6 are to be FG1.

1.12 The following items are Requested Information from Bidders:

Question:

What type of aluminum system is spec for the interior door frames, frame 1 and 2?

Response:

Door Frames to be Type 1.

1.13 The following items are Requested Information from Bidders:

Question:

The spec's call for 7-day programmable thermostats but the plans state a Distech control panel in the IT room. Do they want standalone programmable thermostats or a Distech BMS/DDC control panel for the temperature controls?

Response:

Distech BMS/DDC control panel should be included in your bid.

By: John Schlueter

END OF ADDENDUM #1



Pre-Bid Meeting Notes

Meeting purpose:	WF Greely, Colorado – Pre-Bid Meeting Minutes
Date:	May 14, 2025, 9:30 am
Location:	6835 10th Street, Greely, Colorado 80634
Note taker:	John Schlueter

Attendees: "X" next to name if person attended the meeting.

	Name:	Company:	Email:	Role:
Х	Micheal Tracy	Wells Fargo	Michael.R.Tracy2@wellsfargo.com	WF PM
Х		Sage Commercial Group	brennan@sagecommercialgroup.com	Bidder
		Regas Contracting	dave@regas.com	Bidder
		BVB General Contractors	jon@bvgi.com	Bidder
		Colorado True North, Inc.	mike@coloradotruenorth.com	Bidder
Х	John Schlueter	SGDesign	js@sgdeisgn.biz	Architect
Х	Aaron Barnhart	Wallace Design Collective	aaron.barnhart@wallace.design	Civil
Х	Jake Croop	Wallace Design Collective	<u>jake.croop</u> @wallace.design	Civil

Notes:

- 1.1 The Wells Fargo CM discussed the RFP document and indicated the importance of following the instructions provided in the RFP in completing all items. The Wells Fargo bid form must be used in your submittal. The bid form is to include the BE #112812, and the Project # 419440. Wells Fargo change order form and lean waivers were discussed and must be used during the project by the selected contractor.
- 1.2 The dates in the RFP document are indicated and contingent on permits. Wells Fargo is looking to have a construction start date of September 8, 2025. The completion date is May 1, 2026 and must be met.
- 1.3 Each bidder must submit bids following the RFP Instructions otherwise their bid may be disqualified. Subcontractors list must be included.
- 1.4 A full-time onsite superintendent is required for this project. They will be onsite to supervise their subcontractors and to provide access and/or coordinate with Wells Fargo vendors. Wells Fargo vendors include Technology (equipment and cabling), Security (equipment, wiring, cameras, and Bullet Resistant items), ATM, Branding Elements, Signage, and Furniture.
- 1.5 The selected contractor will be required to fill out the Wells Fargo Safety Checklist daily and turn it in monthly. Weekly project reports will need to be submitted to Wells Fargo by 10 am each Monday. Weekly reports will include an update on construction items completed in the past week, a two-week look ahead, construction schedule, and updated construction photos. Reports to be sent to Michael Tracy and Sarah Rankin (sarah.rankin@wellsfargo.com) with Wells Fargo.
- 1.6 During the project the selected contractor will send Michael Tracy (Wells Fargo CM) all invoices prior to sending them to Wells Fargo Accounts Payable Department. All RFI's during the project to be sent to Sarah Rankin (Wells Fargo Project Coordinator) and SGDesign.

- 1.7 The selected contractor will be required to attend a weekly meeting during construction where they will provide an update. These meetings typically last between 30-60 minutes. Wells Fargo vendors will be on this call. SGD will take the Meeting Minutes.
- 1.8 The selected contractor at the completion of the project will need to provide closeout documents within 30 days of project completion. Close out documents include manuals, warranties, lien waivers, and as built drawings.
- 1.9 The Wells Fargo CM indicated that this is a private bid and that information regarding this bid should not be placed on public sites to solicit bids from subcontractors.
- 1.10 The Wells Fargo CM discussed the importance of all submittals to ensure job schedules are kept. SGD to provide a log to the awarded contractor. The selected contractor will identify any long lead items and provide substitution early in the project for Wells Fargo consideration.
- 1.11 Notification of any issues that arise during the construction should be presented to SGDesign. Any items not resolved in a timely matter should be directed to the Wells Fargo CM.
- 1.12 Currently the Development Plans have been issued to City of Greely and will be issued to the city after the first-round comments on the Development Plans. The selected GC will include all building and trade permits in their base bid.
- 1.13 Bidders to include all impact and tap fees in base bid cost. Fees include the following:
 - Utility, Development & Infrastructure Fees: \$44,524
 - Tap Fees: \$76,395
 - o Meter Charge \$1,428
 - o Water \$40,300
 - o Irrigation \$5,050
 - o Raw Water \$6,617
 - o Sewer \$23,000
 - *Contact City of Greeley for Building Permit Cost
- 1.14 The Wells Fargo PM discussed the importance of all submittals to ensure job schedules are kept. SGD to provide a log to the awarded contractor. The selected contractor will identify any long lead items and provide substitution early on in the project for Wells Fargo consideration.
- 1.15 A general overview of the project was discussed, and a site walk was completed. Currently the site is a grassy area.
- 1.16 A brief review of the drawings was discussed. The new building being constructed is the Wells Fargo new prototype with new exterior finishes. SGD indicated that the specifications/information in the drawings supersede the written spec book due to all the recent changes that Wells Fargo is making to their prototype building. If there is a conflict the drawing has the current and correct information.
- 1.17 The following items will be provided and installed by the Wells Fargo vendor:
 - a. Bandit Barriers. The selected general contractor to install BR material in walls and millwork and frame the cased opening for BR Door. Security Vendor will provide the BR Materials and instructions to install both these items. The Teller Glass Barrier (Bandit Barrier) and BR Door and Frame will be installed by the WF vendor.
 - b. Signage. The selected general contractor will need to coordinate with AGI who will install building and site signage.
- 1.18 3V is the preferred Wells Fargo millwork vendor. Bidders can obtain a bid from their preferred millworker vendor and 3V. Contact SGD if 3V's contact information is needed.
- 1.19 Terracon is the Geotech Engineer and provided the Soils Report included in the specifications. It is highly recommended that Terracon also complete the material testing for this project. An allowance of \$22,500.00 is indicated in the specifications, section 012113 and to be included in base bid.
- 1.20 Other allowance in Specification, 012113 is \$20,000 for transformer.
- 1.21 A critical date during the construction phase will be the IDF (Server) Room ready date. This room will be a priority in completing the data circuit. The room must be dried in with all walls, ceiling, door with a lock, HVAC, floor sealed, and permanent power.
- 1.22 The Structural Engineer will make two site visits during construction, prior to foundation being poured and when framing is 75% complete. They will provide a Site Observation Visit Report but will not be there for any inspections. The selected contractor must hire a third-party inspector to provide any reports required by the City of Colorado Springs and PPRBD to close out this project and obtain the CO.

- 1.23 Wells Fargo CM mentioned that at Brand Becon location, a whip is to be installed from the schedule junction box above ceiling to about 4'-0" AFF for signage lettering.
- 1.24 No Wells Fargo employees to be allowed on site except Wells Fargo CM.
- 1.25 Selected GC to contact City for all utility requirements once bid is awarded.
- 1.26 Verify of finish material when they arrive, make sure it's not defective. In particular, look at fabric finishes.
- 1.27 A professional photographer will take photos of project. Select GC will have superintendent provide access on the weekend prior to opening.

Please report any discrepancies to John Schlueter.

ALL HARDWARE SETS:

KICK PLATE

STRIKE

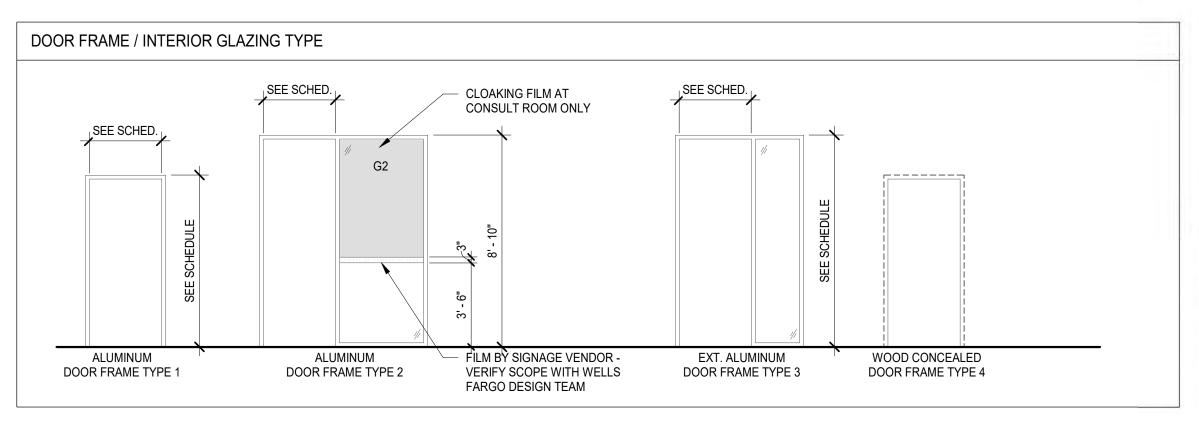
1 EA.

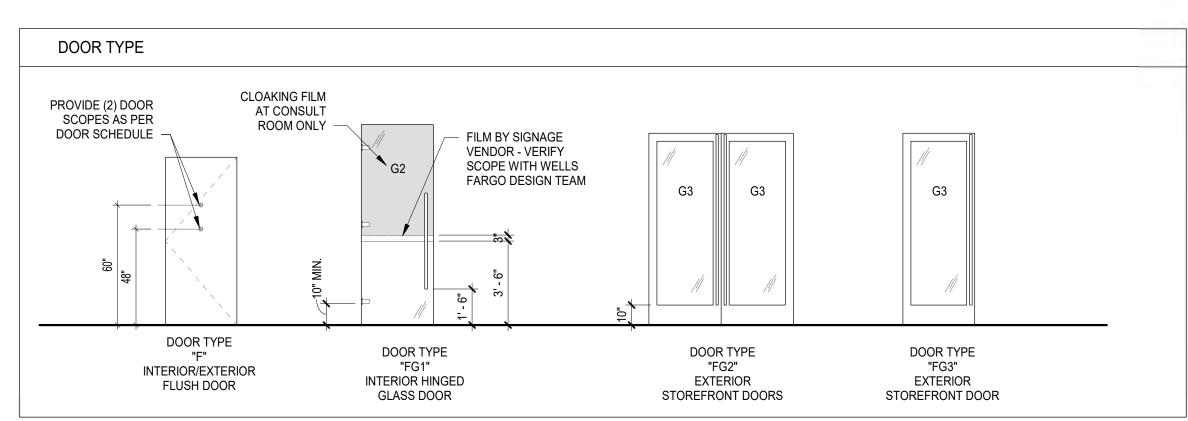
CONTRACTOR SHALL PROVIDE FINAL CORES FOR ALL HARDWARE INCLUDING HARDWARE INSTALLED BY BANK VENDORS.

CLEAR

T.S.S. STANDARD - THREAT SIDE ONLY

HES 5000





GLAZING SCHEDULE
G1 1" TEMPERED INSULATED GLASS WITH LOW-E TINT COATING, SOLARBAN 70 (2) CLEAR + CLEAR. REFER TO MIN. U-FACTOR & SHGC
G2 1/2" CLEAR TEMPERED GLASS FOR INTERIOR
G3 3/8" CLEAR TEMPERED GLASS W/ TINT COATING TO MATCH STOREFRONT GLAZING. REFER TO MIN. U-FACTOR & SHGC
STOREFRONT

KAWNEER 451T, FRONT SET, BLACK ANODIZED FINISH (BASIS OF DESIGN TABLE C402.4 BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS

CLIMATE ZONE	C.	D	1.3	2	;	3	1	CEPT	5 A MAR	ND INE 4	(3	7		8	k .						
						Vertical 1	enestrat	ion														
U-factor																						
Fixed fenestration	fenestration 0.50		0.	50	0.46		0.38		0.38		0.36		0.29		0.29							
Operable fenestration	0.	65	0.	65	0.60		0.	0.45 0.45		45	0.43		0.37		0.37							
Entrance doors	1.	10	0.	83	0.	77	0.	77	0.77		0.77		0.77		0.77		0.	77	0.7	7	0.7	7
SHGC																						
Orientation ^a	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N						
PF < 0.2	0.25	0.33	0.25	0.33	0.25	0.33	0.40	0.53	0.40	0.53	0.40	0.53	0.45	NR	0.45	NR						
0.2 ≤ PF < 0.5	0.30	0.37	0.30	0.37	0.30	0.37	0.48	0.58	0.48	0.58	0.48	0.58	NR	NR	NR	NR						
PF ≥ 0.5	0.40	0.40	0.40	0.40	0.40	0.40	0.64	0.64	0.64	0.64	0.64	0.64	NR	NR	NR	NR						
						Sk	ylights															
U-factor	0.	75	0.65 0.55		0.50		0.	50	0.	50	0.5	0	0.5	iO O								
SHGC	0.35		0.	35	0.35		0.	40	0.40		0.	40	NF	2	NF	2						

a. "N" indicates vertical fenestration oriented within 45 degrees of true north. "SEW" indicates orientations other than "N." For buildings in the southern hemisphere, reverse south and north. Buildings located at less than 23.5 degrees latitude shall use SEW for all orientations.

	DOOR SCHEDULE														
				DOOR	}					FRAME			HARDV	WARE	
DOOF	l l		SIZ	ZE							DETAIL				
NO.	ROOM	PR.	WIDTH	HEIGHT	MATL	TYPE	MATL	TYPE	FINISH	HEAD	JAMB	SILL	FUNCTION	GROUP	NOTES
100	ENTRANCE	Yes	3' - 0"	8' - 8"	ALUM	FG2	ALUM	1	BLK ANOD	2/G0.11	4/G0.11	1/G0.11	PANIC	7.01	PROVIDE 10" CLEARANCE OPTION FOR THE VERTICAL PULLS
100A	ENTRANCE	Yes	3' - 0"	8' - 8"	ALUM	FG2	ALUM	1	BLK ANOD	2/G0.11	4/G0.11	1/G0.11	PANIC	7.01	PROVIDE 10" CLEARANCE OPTION FOR THE VERTICAL PULLS
101	VESTIBULE	Yes	3' - 0"	8' - 8"	ALUM	FG2	ALUM	1	BLK ANOD	2/G0.11 SIM.	4/G0.11	1/G0.11 SIM	PUSH / PULL	7.01A	PROVIDE 10" CLEARANCE OPTION FOR THE VERTICAL PULLS
104	EXIT		3' - 0"	8' - 8"	ALUM	FG3	ALUM	3	BLK ANOD	2/G0.11	3/G0.11	1/G0.11	DOOR ALARM	9.02	
111	OFFICE		3' - 0"	8' - 7 1/2"	GLASS	FG1	ALUM	2	BLK ANOD	5/G0.11	7/G0.11	5/G0.11	PASSAGE	1.01	PROVIDE GLAZING SHOP DRAWINGS FOR ARCHITECT APPROVAL, OPENING HEIGHT TO BE 8'-10"
112	OFFICE		3' - 0"	8' - 7 1/2"	GLASS	FG1	ALUM	2	BLK ANOD	5/G0.11	7/G0.11	5/G0.11	PASSAGE	1.01	PROVIDE GLAZING SHOP DRAWINGS FOR ARCHITECT APPROVAL, OPENING HEIGHT TO BE 8'-10"
113	OFFICE		3' - 0"	8' - 7 1/2"	GLASS	FG1	ALUM	2	BLK ANOD	5/G0.11	7/G0.11	5/G0.11	PASSAGE	1.01	PROVIDE GLAZING SHOP DRAWINGS FOR ARCHITECT APPROVAL, OPENING HEIGHT TO BE 8'-10"
114	OFFICE		3' - 0"	8' - 7 1/2"	GLASS	FG1	ALUM	2	BLK ANOD	5/G0.11	7/G0.11	5/G0.11	PASSAGE	1.01	PROVIDE GLAZING SHOP DRAWINGS FOR ARCHITECT APPROVAL, OPENING HEIGHT TO BE 8'-10"
115	OFFICE		3' - 0"	8' - 7 1/2"	GLASS	FG1	ALUM	2	BLK ANOD	5/G0.11	7/G0.11	5/G0.11	PASSAGE	1.01	PROVIDE GLAZING SHOP DRAWINGS FOR ARCHITECT APPROVAL, OPENING HEIGHT TO BE 8'-10"
116	OFFICE		3' - 0"	8' - 7 1/2"	GLASS	FG1	ALUM	2	BLK ANOD	5/G0.11	7/G0.11	5/G0.11	PASSAGE	1.01	PROVIDE GLAZING SHOP DRAWINGS FOR ARCHITECT APPROVAL, OPENING HEIGHT TO BE 8'-10"
117	CONFERENCE		3' - 0"	8' - 7 1/2"	GLASS	FG1	ALUM	2	BLK ANOD	5/G0.11	7/G0.11	5/G0.11	PASSAGE	1.01	PROVIDE GLAZING SHOP DRAWINGS FOR ARCHITECT APPROVAL, OPENING HEIGHT TO BE 8'-10"
119	FOCUS		3' - 0"	7' - 0"	GLASS	FG1	ALUM	2	ALUM	5/G0.11	7/G0.11	5/G0.11	PASSAGE	1.01	PROVIDE GLAZING SHOP DRAWINGS FOR ARCHITECT APPROVAL, OPENING HEIGHT TO BE 7'-2 1/2
120	CORRIDOR		3' - 0"	7' - 0"	WOOD	F	ALUM	2	ALUM	8/G0.11	9/G0.11	8/G0.11	ACCESS CONTROL	9.01	
L21	TELLER		3' - 0"	7' - 0"	WOOD	F	ALUM	1	PAINT	11/G0.11	10/G0.11			9.05	
122	WORK ROOM		3' - 0"	7' - 0"	WOOD	F	ALUM	1	PAINT	8/G0.11	9/G0.11	8/G0.11	ACCESS CONTROL	9.03	PAINTED DOOR TO MATCH ADJACENT WALL FINISH SEMI-GLOSS FOR DOORS
125	BREAKROOM		3' - 0"	7' - 0"	WOOD	F	ALUM	1	ALUM	8/G0.11	9/G0.11	8/G0.11	ACCESS CONTROL	9.01	
126	IDF ROOM		3' - 0"	7' - 0"	WOOD	F	ALUM	1	ALUM	8/G0.11	9/G0.11	8/G0.11	ACCESS CONTROL	8.01	PROVIDE DOOR LOUVER AS NOTED IN THE MECHANICAL DRAWINGS
L27	JANITOR		3' - 0"	7' - 0"	WOOD	F	ALUM	1	ALUM	8/G0.11	9/G0.11	8/G0.11	STORE ROOM	2.01	
128	RESTROOM		3' - 0"	7' - 0"	WOOD	F	ALUM	1	ALUM	8/G0.11	9/G0.11	8/G0.11	PRIVACY	3.01	UNDERCUT DOOR
129	RESTROOM		3' - 0"	7' - 0"	WOOD	F	ALUM	1	ALUM	8/G0.11	9/G0.11	8/G0.11	PRIVACY	3.01	UNDERCUT DOOR

DOOR SCHEDULE NOTES

- A. SMALL FORMAT INTERCHANGEABLE (SCHLAGE) CONSTRUCTION CORES TO BE PROVIDED BY CONTRACTOR AT ALL LOCKSETS. WELLS FARGO PROJECT MANAGER WILL BE RESPONSIBLE FOR RE-PINNING CORES PRIOR TO OPENING.
- B. ALL DOORS SHALL COMPLY WITH MINIMUM REQUIRED BY THE LOCAL JURISDICTION.
- C. DOOR OPENINGS ARE MEASURED FROM THE FACE OF THE DOOR TO THE FACE OF OPPOSING STOP WHEN OPENED AT AN ANGLE OF 90 DEGREES FROM CLOSED POSITION IN ACCORDANCE WITH ANSI ICC 117.1 SEC. 404.2.2 AND 404.2.3.
- D. ALL DOORS IN THE MEANS EGRESS ALLOW FREE EGRESS IN THE DIRECTION OF TRAVEL AT ALL TIMES. DOORS ARE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT PER IBC SECTION 101.1.9.
- E. ALL EXTERIOR LOCKS SHALL BE UL 437 COMPLIANT, U.N.O.
- . ALL HARDWARE SHALL BE ADA COMPLIANT. G. PROVIDE A SMOOTH SURFACE ON THE PUSH SIDE OF THE DOOR STRIKE FACE EXTENDING THE FULL WIDTH OF THE DOOR ON SURFACES WITHIN 10 INCHES OF THE FLOOR MEASURED VERTICALLY IN ACCORDANCE WITH ANSI ICC 117.1
- SEC. 404.2.9. H. VERIFY FRAME DEPTHS W/ WALL FRAMES AT STUD WALLS.

I. ALL DOOR THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT THICKNESS.

- PROVIDE SEALANT BOTH SIDES OF DOOR FRAMES, WHERE DIFFERENT MATERIALS MEET AND FOR WEATHER
- K. VERIFY ALL ROUGH OPENING REQUIREMENTS WITH MANUFACTURER'S DRAWINGS
- .. CONTRACTOR TO PROVIDE PRODUCTS AND SYSTEMS COMPLETE WITH ALL ACCESSORIES, TRIM, FINISH, FASTENERS AND OTHER ITEMS NEEDED FOR A COMPLETE INSTALLATION AND INTENDED USE AND EFFECT.
- M. NEW INTERIOR ALUMINUM DOOR AND GLAZING FRAME TO BE EITHER ALUR FRAMELESS INTERIOR STOREFRONT SYSTEM. FINISH TO BE MANUFACTURER STANDARD (BLACK ANODIZED).
- N. $\,$ NEW INTERIOR KNOCK-DOWN ALUMINUM FRAME TO BE RACO 1-1/2" CLEAR ANODIZED ALUMINUM FRAMING SYSTEM. PROVIDE SYSTEM WIDTH SIZE AS REQUIRED FOR SCHEDULED WALL ASSEMBLY. O. FINISH OF DOOR HARDWARE SHOULD MATCH THE FINISH OF THE INTERIOR STOREFRONT FRAME SYSTEM.
- P. DO NOT EXCEED 8-1/2 POUNDS MAXIMUM EFFORT FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS UNLESS AHJ REQUIRES LIGHTER PULL FORCE. WHEN ALLOWED BY THE AHJ MAXIMUM EFFORT FOR FIRE RATED
- DOORS MAY BE INCREASED TO A MAXIMUM OF 15 POUNDS. Q. MOUNT CLOSERS/OVERHEAD STOPS AT NON-CUSTOMER FACING SIDE OF DOOR AS FEASIBLE, U.N.O.
- R. GC TO MAINTAIN FIRE RATING AT ALL DOORS, WHERE OCCURS, AT EXTERIOR RATED PARTITION. S. WELLS FARGO MARKETING VENDOR TO PROVIDE SIGN STATING "THESE DOORS TO REMAIN UNLOCKED WHEN
- BUILDING IS OCCUPIED." SIGN TO BE PLACED ON INTERIOR FRAME ABOVE DOORS, CENTERED. PROVIDE 18 GA. BACKING AT ALL WALL STOP LOCATIONS, IF APPLICABLE. U. HAND-ACTIVATED LATCHING AND LOCKING DOORS ON AN ACCESSIBLE PATH OF TRAVEL SHALL BE OPERABLE WITH A
- SINGLE FEFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH/PULL ACTIVATION BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS TO OPERATE AS ABOVE IN THE EGRESS DIRECTION IN ACCORDANCE WITH ANSI ICC 117.1 SEC. 309.4 AND V. MOUNT DOOR HARDWARE BETWEEN 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE FINISHED FLOOR.
- W. PROVIDE A MINIMUM OF 1-1/2 PAIR OF BUTT HINGES, ONE LATCH SET OR LOCK SET, AND ONE DOOR STOP FOR EACH DOOR. (CONFIRM FLOOR OR WALL STOP ON SITE WITH ARCHITECT) AT LOCATIONS WHERE DOOR WOULD OTHERWISE STRIKE WALL. PROVIDE 18 GA. BACKING FOR WALL STOP IN FRAMED WALLS.
- X. NEW WOOD DOORS TO BE WHITE MAPLE FACE VENEERS AND SOLID STOCK EDGING AND TRIMS. DOORS TO BE

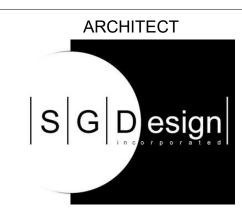
STAINED TO MATCH WOOD GRAIN PLASTIC, MW-1.

DOOR KEY PLAN





GREELEY, CO



SGDesign, Inc. 3311 Elm Street, Suite 105 Dallas, TX 75226 469-865-1910



TOM CHAPMAN, ARCHITECT Colorado Registration # C-5397

CONSULTANTS

SET ISSUE SET ISSUE FOR BID/PRICING SET 04/25/2025 **REVISIONS** REASON FOR ISSUE ADDENDUM #1 - EXT. REV. 5/20/25

REVIEWED BY: JS DRAWN BY:

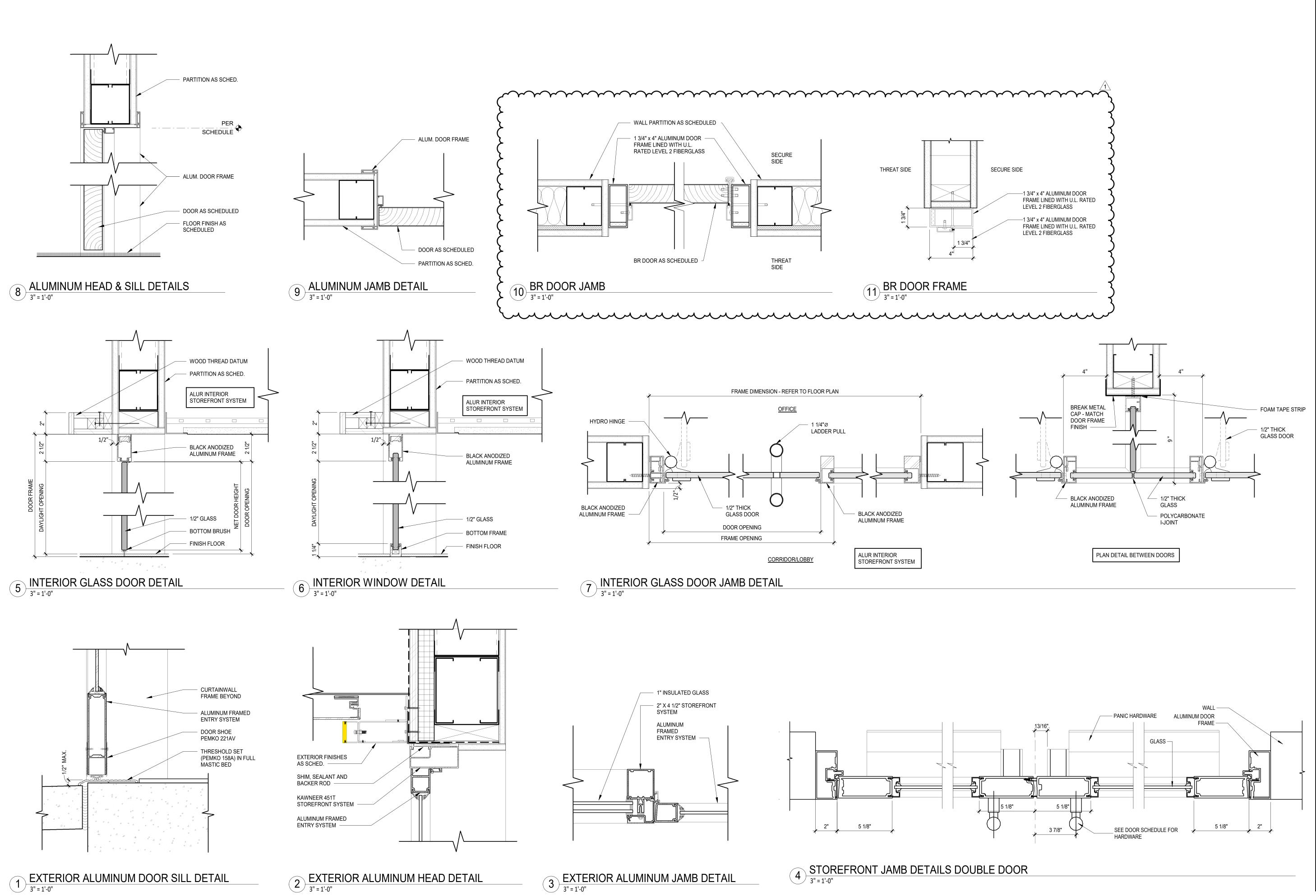
BE# 112766

PROJ# 419105

DOOR, FRAME AND **HARDWARE SCHEDULE**

SHEET NUMBER

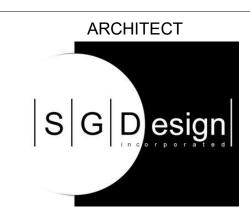
ARCHITECT PROJECT NUMBER 24-005



3 EXTERIOR ALUMINUM JAMB DETAIL
3" = 1'-0"

WELLS FARGO

GREELEY, CO



SGDesign, Inc. 3311 Elm Street, Suite 105 Dallas, TX 75226 469-865-1910



TOM CHAPMAN, ARCHITECT Colorado Registration # C-5397

CONSULTANTS

SET ISSUE SET ISSUE FOR DATE 04/25/2025 BID/PRICING SET REVISIONS
V REASON FOR ISSUE DA
ADDENDUM #1 - EXT. REV. 5/20/25

REVIEWED BY: JS DRAWN BY:

> BE# 112766 PROJ# 419105

SHEET TITLE STOREFRONT AND

DOOR DETAILS

SHEET NUMBER

ARCHITECT PROJECT NUMBER

MUSIC -

20 +54"

SECURITY

PANEL

ELECTRICAL & DATA PLAN LEGEND

WALL-MOUNTED DEVICES

FLOOR DUPLEX RECEPTACLE - CONTRACTOR TO RUN 1" CONDUIT FOR DATA TO CLOSEST WALL FLOOR DATA/DUPLEX RECEPTACLE - CONTRACTOR TO RUN 1" CONDUIT FOR DATA TO CLOSEST WALL

ABBREVIATIONS

CEILING UNIVERSAL SERIAL BUS

DEDICATED OUTLET

101

7' - 11 1/2"

TELLER

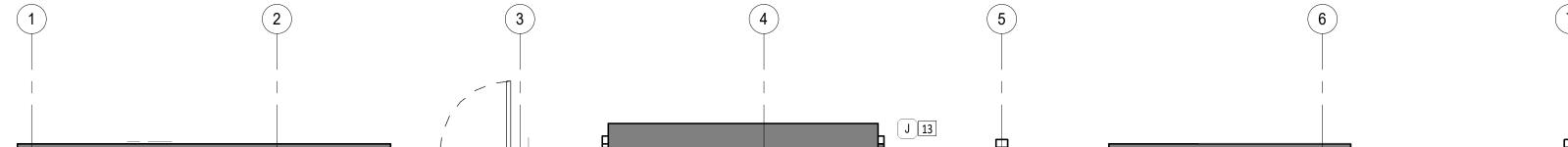
121

+29"

+29"

STUB UP

6' - 0"



^φ [J]17 +53" +53" 8 OFFICE #6 OFFICE #5 **VESTIBULE** 116

115 - FLOOR BOX CONFERENCE 117 2' - 8"

OFFICE #3 OFFICE #2 OFFICE #1 OFFICE #4 113 111 114 112

+90" L5-20D -DATA-CIRCUIT D-MARK

RESTROOM RESTROOM 3 +48" PHONE **BREAK ROOM** 128 125 FOCUS 119

JANITOR 127

DUPLEX RECEPTACLE

QUAD RECEPTACLE PHONE/DATA RECEPTACLE

DATA RECEPTACLE

JUNCTION BOX HDMI

RECESSED FLOOR MOUNTED DEVICES

FLOOR DATA/PHONE/QUAD RECEPTACLE - CONTRACTOR TO RUN 1" CONDUIT FOR DATA TO CLOSEST WALL

MOUNTING HEIGHT +44" HEIGHT ABOVE FINISH FLOOR TO CENTERLINE

+18", 44" HEIGHT ABOVE FINISH FLOOR TO CENTERLINE FOR VERTICALLY STACKED DEVICES

GROUND FAULT CIRCUIT INTERRUPTER

(GFI) (CLG) (USB) (D)

SEE ELEVATIONS FOR ADDITIONAL EQUIPMENT AND ACCESSORY INFORMATION. TELE/DATA/ELECTRICAL ROOM TO BE "ROOM READY" IN ORDER FOR WELLS FARGO VENDORS TO BEGIN INSTALLING TECHNOLOGY AND SECURITY ELEMENTS. 'ROOM READY' CONDITION INCLUDES PERMANENT POWER, PERMANENT HVAC, PAINTED PLYWOOD BACK BOARDS ON PAINTED WALLS, CEILING GRID, FINISHED FLOOR, AND LOCKABLE DOOR. COORDINATE TELE/DATA/ELECTRICAL ROOM EQUIPMENT

NUMBERING WITH WELLS FARGO PROJECT MANAGER.

REFER TO ELECTRICAL DRAWINGS FOR IT ROOM DETAIL PLANS AND ELEVATIONS.

INSTALLATION SCHEDULES WITH WELLS FARGO VENDORS.

M. COORDINATE OUTLETS AT MILLWORK WITH ELEVATIONS ON SHEET A6.01 AND A6.02.

ELECTRICAL PLAN KEYNOTES

GENERAL ELECTRIC NOTES

A. ALL NEW WALL OUTLETS TO BE MOUNTED AT 18" A.F.F. UNLESS OTHERWISE NOTED.

TELEPHONE AND ELECTRICAL OUTLETS ARE SHOWN FOR DESIGN INTENT AND

HAVE RING AND STRING AND BE 3/4" U.N.O. VOICE AND DATA OUTLETS TO BE

REFER TO ENGINEERS DRAWINGS AND 1/A7.00 FOR ADDITIONAL INFORMATION.

GC TO PROVIDE BLOCKING, POWER AND DATA AS REQUIRED PER SPECIFIED MONITORS. FINAL LOCATION OF EQUIPMENT, BLOCKING, POWER AND DATA TO BE COORDINATED ON SITE WITH LOW VOLTAGE VENDOR, ARCHITECT AND WELLS FARGO PROJECT MANAGER PRIOR TO INSTALLATION. SEE ELEVATIONS FOR

ALL SECURITY DEVICES INCLUDING CAMERA MONITORS, ALARMS, ETC. WILL BE

DESIGNED AND INSTALLED BY WELLS FARGO SECURITY VENDOR. SECURITY VENDORS TO VERIFY SECURITY SCOPE WITH PROJECT MANAGER AND

COORDINATE ADDITIONAL ELECTRICAL SUPPORT WITH CONTRACTORS, AS

COORDINATE INSTALLATION DETAILS AND LOCATIONS OF ARTWORK, SIGNAGE &

FURNITURE SHOWN FOR DESIGN INTENT ONLY. ALL FURNITURE TO BE SUPPLIED

AND INSTALLED BY FURNITURE VENDOR. FINAL LOCATION OF FURNITURE AND

MARKETING WITH WELLS FARGO PROJECT MANAGER AND WELLS FARGO BRANDED

OUTLETS TO BE COORDINATED ON SITE. FURNITURE VENDOR TO COORDINATE KEY

ELECTRICAL CONTRACTOR TO COORDINATE AND MAKE FINAL CONNECTIONS FOR

LOCATION ONLY. PROVIDE AND INSTALL ALL ELECTRICAL OUTLETS AND JUNCTION BOXES WITH CONDUIT TO 4" ABOVE CEILING. FOR VOICE AND DATA. CONDUIT TO

THE COLOR OF ALL OUTLETS AND COVER PLATES TO BE WHITE

INSTALLED BY TELECOMMUNICATIONS CONTRACTOR.

ELECTRICAL FEED TO SYSTEMS FURNITURE.

ADDITIONAL INFORMATION.

ENVIRONMENTS TEAM.

REQUIRED.

- 1. CONTRACTOR TO PROVIDE AND INSTALL 1" CONDUIT IN WALL FROM ATM/NIGHT DEPOSIT J-BOX TO 4" ABOVE CEILING. COORDINATE REQUIREMENTS WITH ATM & SECURITY VENDOR.
- 2. CONTRACTOR TO INSTALL OUTLETS FOR CONSULT ROOM PER ELEVATION 8/A6.01.
- 3. CONTRACTOR TO PROVIDE AND INSTALL 3/4" CONDUIT IN WALL FOR EMERGENCY PHONE TO 4" ABOVE CEILING.
- 4. DEDICATED OUTLETS FOR SERVER EQUIPMENT AND CABLING, REFER TO ENGINEER'S DRAWINGS AND COORDINATE WITH WELLS FARGO IT AND CABLING VENDOR.

INCLUDED TWO DEDICATED POWER OUTLETS L5-20 FOR RACK.

- 5. CONTRACTOR TO PROVIDE AND INSTALL #6 GROUND BAR FOR TELEPHONE EQUIPMENT AND SATELLITE EQUIPMENT MOUNTED ON PLYWOOD BACKBOARD, TIE TO BUILDING GROUND SYSTEM.
- 6. CONTRACTOR TO PROVIDE AND INSTALL ZURN'S POWER CONVERTER AND ZURN'S MINI J-BOX FOR HARDWIRING AUTOMATIC FLUSH VALVES AND FAUCETS IN RESTROOMS. CONVERTER AND J-BOX TO BE LOCATED OUTSIDE OF THE RESTROOMS IN CORRIDOR ABOVE CEILING FOR ACCESS. G.C TO PROVIDE AND INSTALL POWER WIRING FROM J-BOX TO EACH FIXTURE IN RESTROOM (REFER TO ZURN'S SPEC SHEET FOR WIRE TYPE). PROVIDE SPLIT PLATE
- CHROME ESCUTCHEON FOR WIRES TO FAUCET @ 24" A.F.F BELOW LAVATORY. 7. CONTRACTOR TO PROVIDE AND INSTALL GEORGIA-PACIFIC HARDWIRED 24VAC ADAPTER KIT FOR AUTOMATED PAPER TOWEL DISPENSER IN RESTROOMS. TRANSFORMER AND J-BOX TO BE LOCATED OUTSIDE OF THE RESTROOMS IN CORRIDOR ABOVE CEILING FOR ACCESS. G.C TO PROVIDE AND INSTALL POWER

WITH FLEX OPENING (COLOR TO MATCH WALL/TILE) OR SMALL 0.25" OR LESS

- WIRING FROM J-BOX TO EACH FIXTURE IN RESTROOM. 8. CONTRACTOR TO PROVIDE AND INSTALL RECESSED POWER AND RECESSED DATA OUTLET AT THE DIGITAL DISPLAY. COORDINATE EXACT OUTLETS HEIGHT AND
- LOCATION WITH WELLS FARGO EQUIPMENT VENDOR/TEMPLATE. 9. WATER HEATER ABOVE MOP SINK, REFER TO MEP DRAWINGS LOCATION AND
- SPECIFICATIONS. 10. CONTRACTOR TO PROVIDE AND INSTALL J-BOX ABOVE CEILING FOR SAFE ALARM.
- PROVIDE 3/4" CONDUIT IN WALL FROM 2'-0" A.F.F. TO 4" ABOVE CEILING. 11. CONTRACTOR TO PROVIDE AND INSTALL J-BOX WITH 3/4" CONDUIT TO ROOM 126 FOR ATM SECURITY CAMERA. COORDINATE INSTALLATION WITH WELLS FARGO SECURITY
- 12. CONTRACTOR TO PROVIDE AND INSTALL ARLINGTON TVBS507 THREE GANG RECESSED BOX -WHITE. PROVIDE DUPLEX OUTLET AT FIRST GANG, DUPLEX OUTLET AT SECOND GANG, TECHNOLOGY OUTLETS AT THIRD GANG. COORDINATE EXACT LOCATION WITH FURNITURE VENDOR.
- 13. CONTRACTOR TO PROVIDE AND INSTALL WALL MOUNTED J-BOX WITH 3/4" CONDUIT TO
- ROOM 126 FOR EXTERIOR SIGNAGE. COORDINATE LOCATION WITH SIGNAGE VENDOR. 14. ALL OUTLETS IN ROOM TO BE DEDICATED. ISOLATED GROUND OUTLETS ARE INDICATED ON PLAN. REFER TO ENGINEER'S DRAWING AND COORDINATE WITH WELLS
- 15. CONTRACTOR TO PROVIDE AND INSTALL RECESSED POWER AND RECESSED DATA OUTLET AT THE SECURITY MONITOR.
- 16. CONTRACTOR TO PROVIDE & INSTALL:

FARGO IT AND CABLING VENDOR.

- 1. (2) 1" CONDUITS FROM J-BOX TO CEILING SPACE ABOVE IDF ROOM 126. 2. CONDUIT(S) FROM J-BOX TO CEILING SPACE FOR POWER. CONTRACTOR TO PROVIDE AND INSTALL QUAD POWER OUTLET AND J-BOX FOR TELEPHONE/DATA LINES AT EACH TELLER STATION. REFER TO TELLER DETAILS.
- 17. PROSCENIUM LIGHTING BY WELLS FARGO VENDOR. CONTRACTOR TO INSTALL
- JUNCTION BOX ABOVE CEILING FOR PROSCENIUM LIGHTING LOW VOLTAGE POWER. 18. CONTRACTOR TO INSTALL OUTLETS HORIZONTALLY.
- 19. CONTRACTOR TO COORDINATE OUTLET LOCATIONS WITH FURNITURE VENDOR.
- 20. JUNCTION BOX FOR IRRIGATION CONTROLLER.
- 21. CONTRACTOR TO PROVIDE AND INSTALL (1) 2" CONDUIT ABOVE CEILING TO THE SERVER CABINET (IT/ELEC ROOM 126) FOR SECURITY/DATA. COORDINATE REQUIREMENTS WITH THE TECHNOLOGY VENDOR.
- 22. CONTRACTOR TO PROVIDE AND INSTALL J-BOX ABOVE CEILING FOR ILLUMINATED CHANNEL LETTER. COORDINATE WITH SIGNAGE VENDOR.
- 23. CONTRACTOR TO PROVIDE AND INSTALL J-BOX ABOVE CEILING FOR SAFE ALARM. PROVIDE 3/4" CONDUIT IN WALL FROM 5'-6" A.F.F. TO 4" ABOVE CEILING.
- 24. G.C.TO PROVIDE A RIGID ASSEMBLY (LIKE A DUCT STATIC PRESSURE PROBE) TO BE INSTALLED A MINIMUM OF 6 INCHES INTO THE AIR STREM. REFER TO MEP DWGS FOR
- 25. G.C. TO PROVIDE BRILLANT SCENT LX5000 DIFFUSER UNIT AND 5000ML OIL VESSEL. CONTACT INFORMATION: EDDIE BETZ, EDDIE@BRILLIANTSCENTS.COM. 954-271-0010
- 26. G.C. TO PROVIDE A SHELF FOR DIFFUSER AND OIL VESSEL



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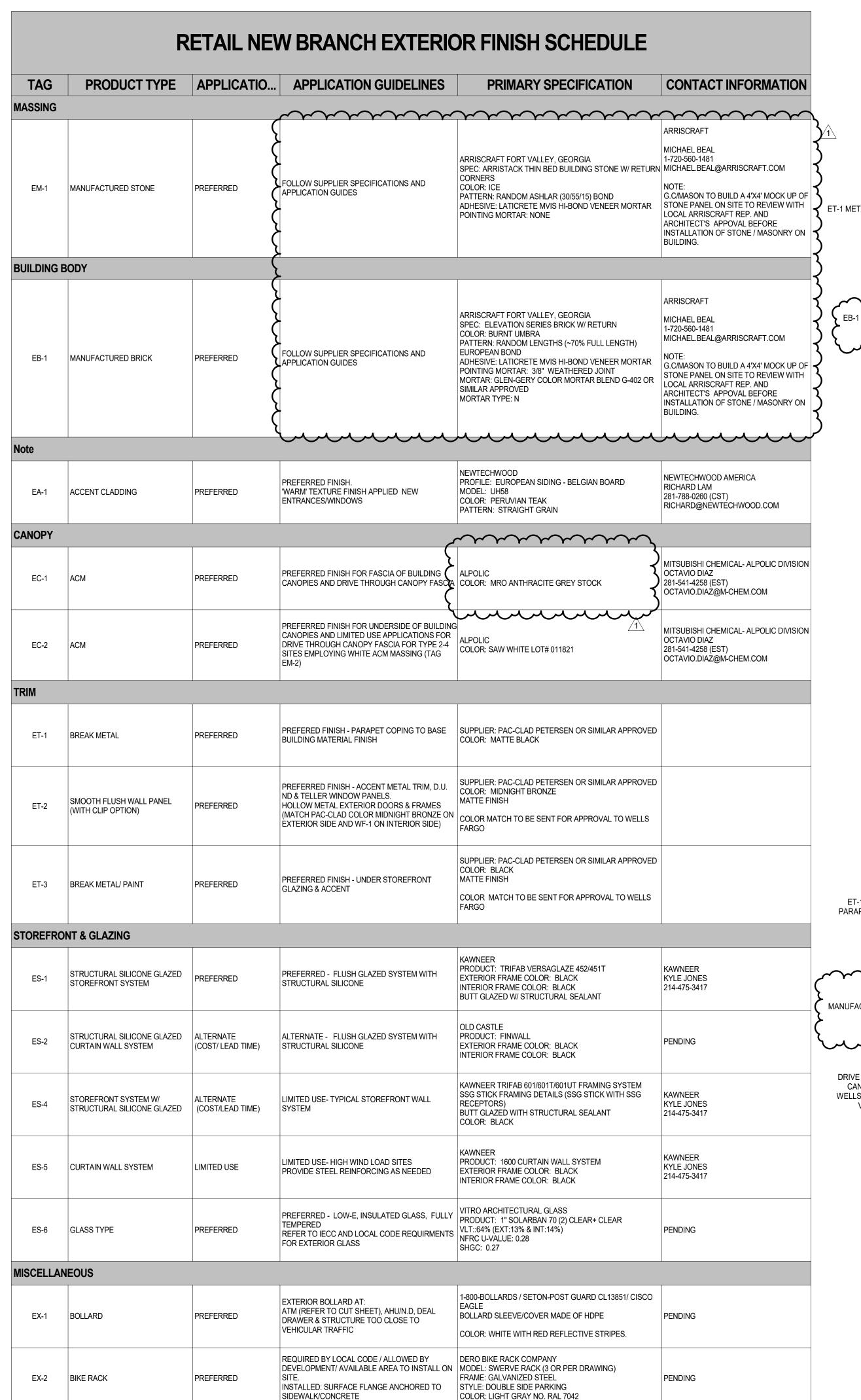
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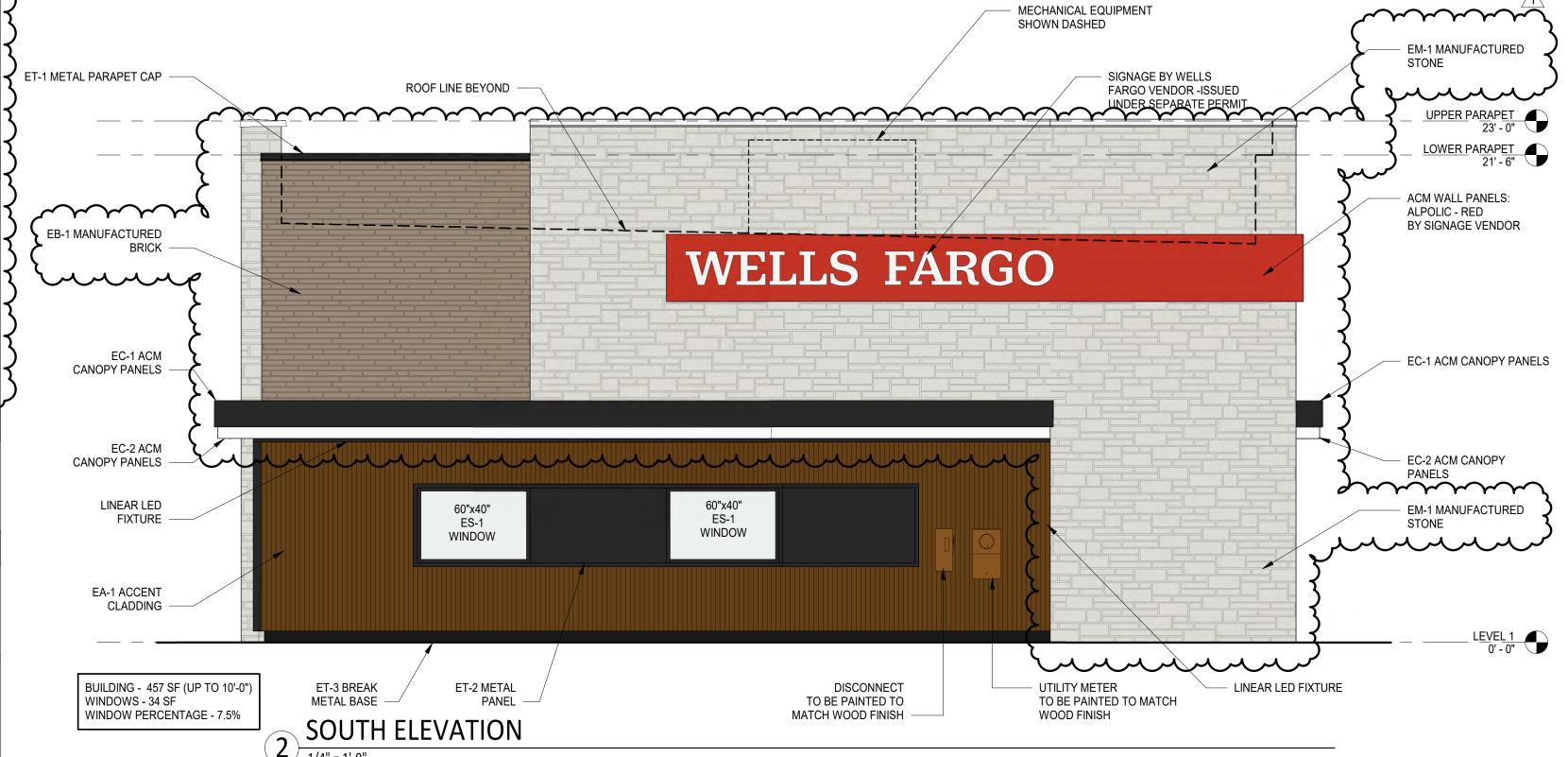
ELECTRICAL PLAN

SHEET NUMBER

ARCHITECT PROJECT NUMBER 24-005



NOTE:
THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREIN SHALL DEMONSTRATE HOW ALL MECHANICAL EQUIPMENT SHALL BE SCREENED. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF CERTIFICATE OF OCCUPANCY.





1/4" = 1'-0"



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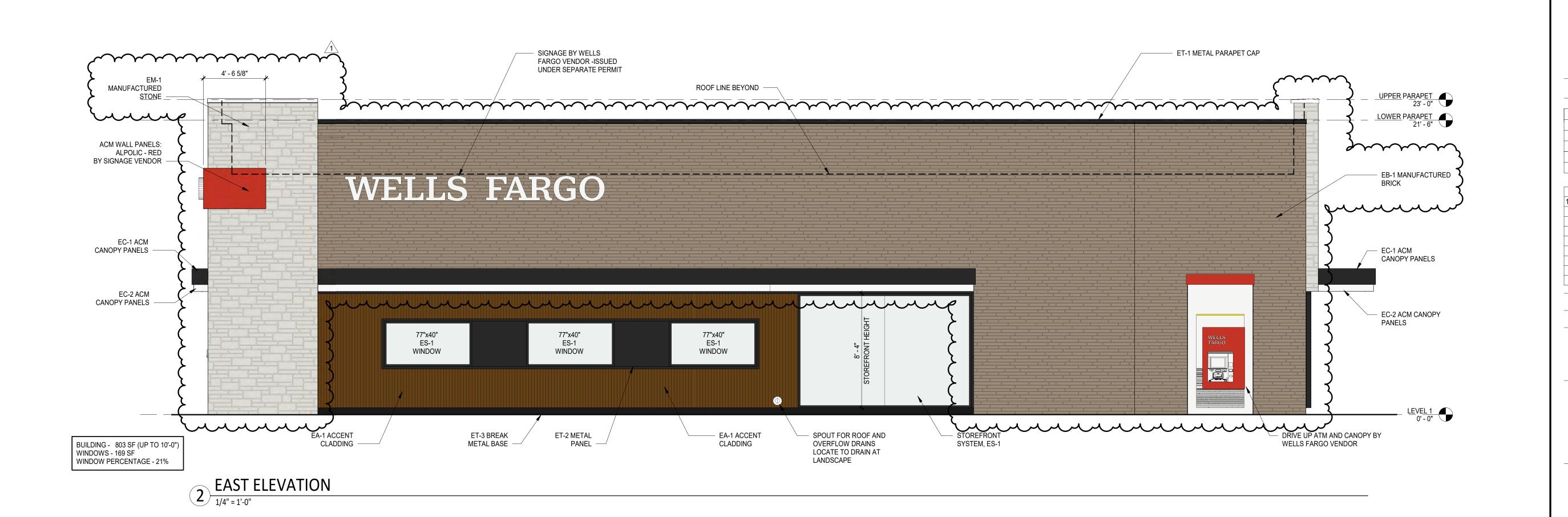
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SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A2.01

ARCHITECT PROJECT NUMBER 24-005



ARCHITECT

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WEST ELEVATION

1/4" = 1'-0"



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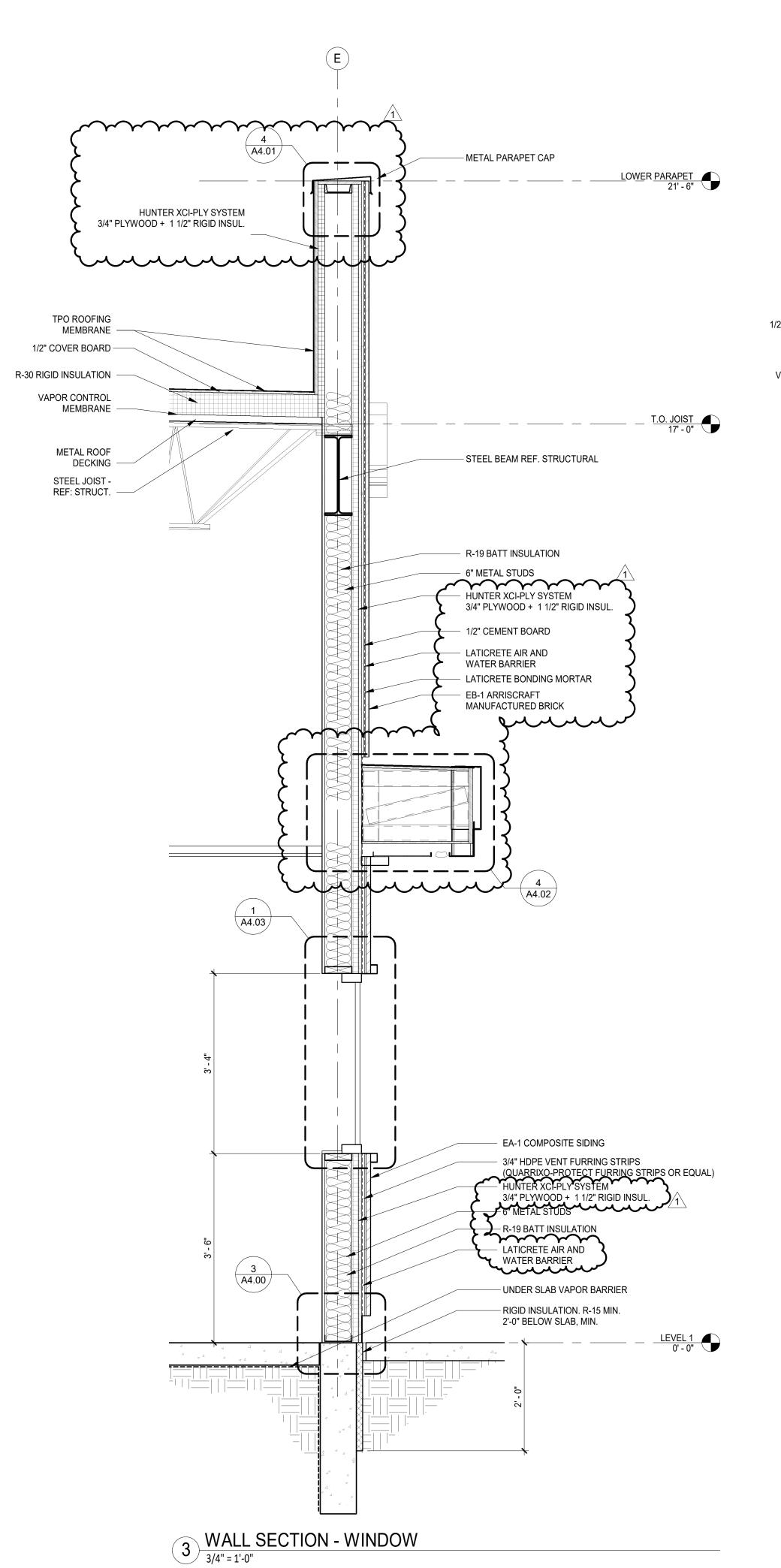
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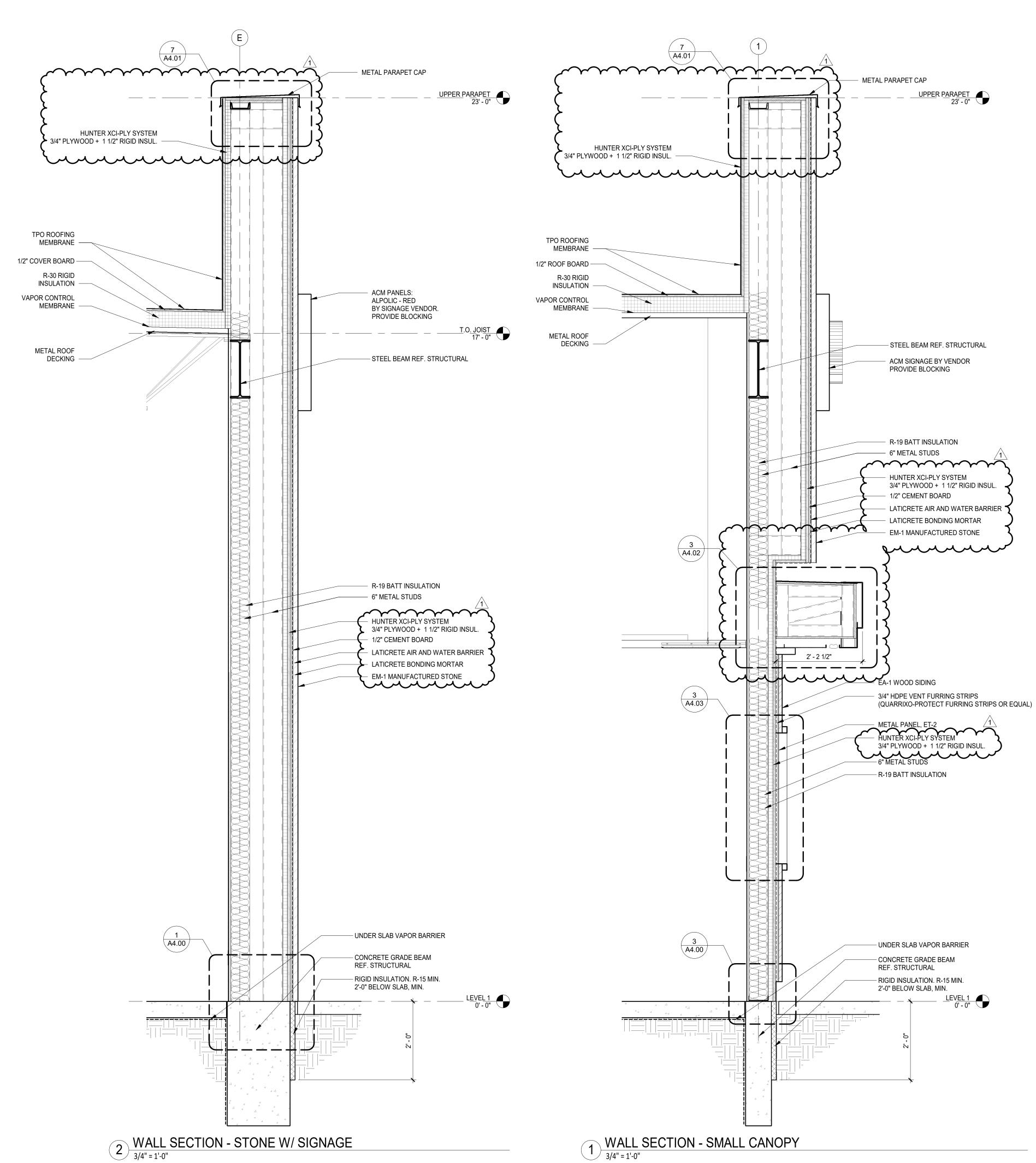
EXTERIOR WALL SECTIONS

SHEET NUMBER

A3.10

ARCHITECT PROJECT NUMBER 24-005









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BE# 112766

EXTERIOR WALL SECTIONS

SHEET NUMBER

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J. I I

WALL SECTION - SMALL CANOPY - REAR

3/4" = 1'-0"



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T.O. JOIST 17' - 0"



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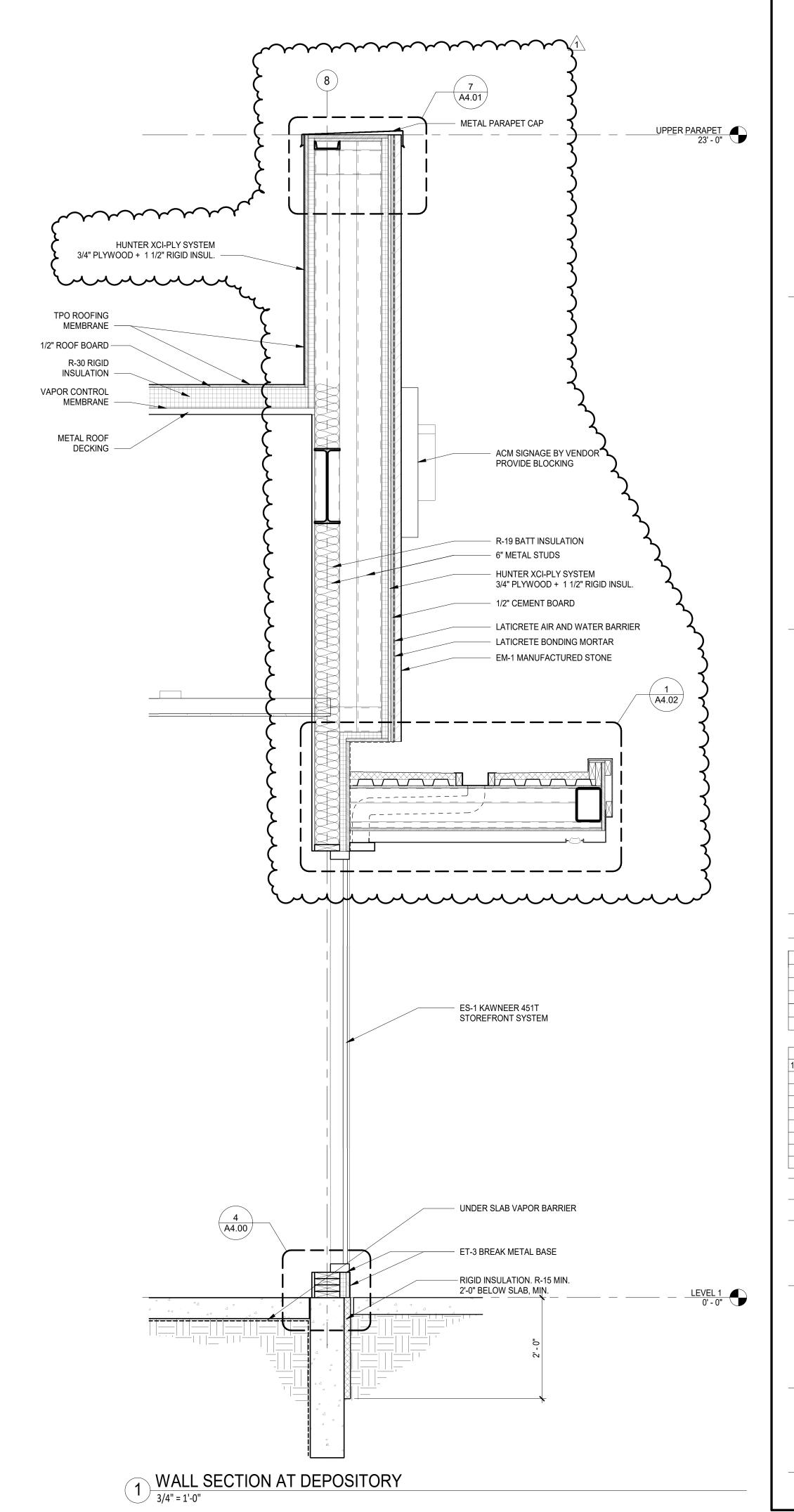
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SHEET TITLE

EXTERIOR WALL

SECTIONS

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SHEET TITLE

PROJ# 419105

EXTERIOR WALL SECTIONS

A3.13

ARCHITECT PROJECT NUMBER 24-005

LATICRETE AIR AND WATER BARRIER (FLUID APPLIED) 1/2" CEMENT BOARD - HUNTER XCI-PLY SYSTEM 3/4" PLYWOOD + 1 1/2" RIGID INSUL. 2" X 6" PRE-FINISH ET-1 ALUM. EXTRUSION (KNOTWOOD®: BASE & 2"X6" BATTEN OR EQUAL PRODUCT) ET- 2 BREAK METAL 20GA END CAP SET IN SEALANT FLEXIBLE FLASHING SEALANT CORNER BEAD, TYP. 8 PLAN DETAIL- STONE AT STOREFRONT
3" = 1'-0" **HUNTER XCI-PLY SYSTEM** 3/4" PLYWOOD + 1 1/2" RIGID INSUL. LATICRETE AIR AND WATER BARRIER - 6" METAL STUD FRAMING EA-1 ACCENT CLADDING VERTICAL RAINSCREEN INSTALLATION WITH CLIP AT 16" 3/4" HDPE VENT FURRING STRIPS (QUARRIXO-PROTECT FURRING STRIPS 5/8" TYPE "X" OR EQUAL) GYP. BOARD FLEXIBLE FLASHING WALL BASE AS SCHEDULED -ET-3 BRAKE METAL 20GA PLATE -FASTEN AT PLYWOOD DO NOT ADHERE. FLOOR FINISH AS SCHEDULED -RIGID INSULATION, R-15 MIN.

REF: STRUCT FOR

GRADE BEAM -

3 DETAIL - WALL BASE - COMPOSITE PANEL

EM-1 ARRISCRAFT

HEM BOTTOM EDGE AND EXTEND

BELOW SEALANT

MANUFACTURED STONE

LATICRETE BONDING MORTAR

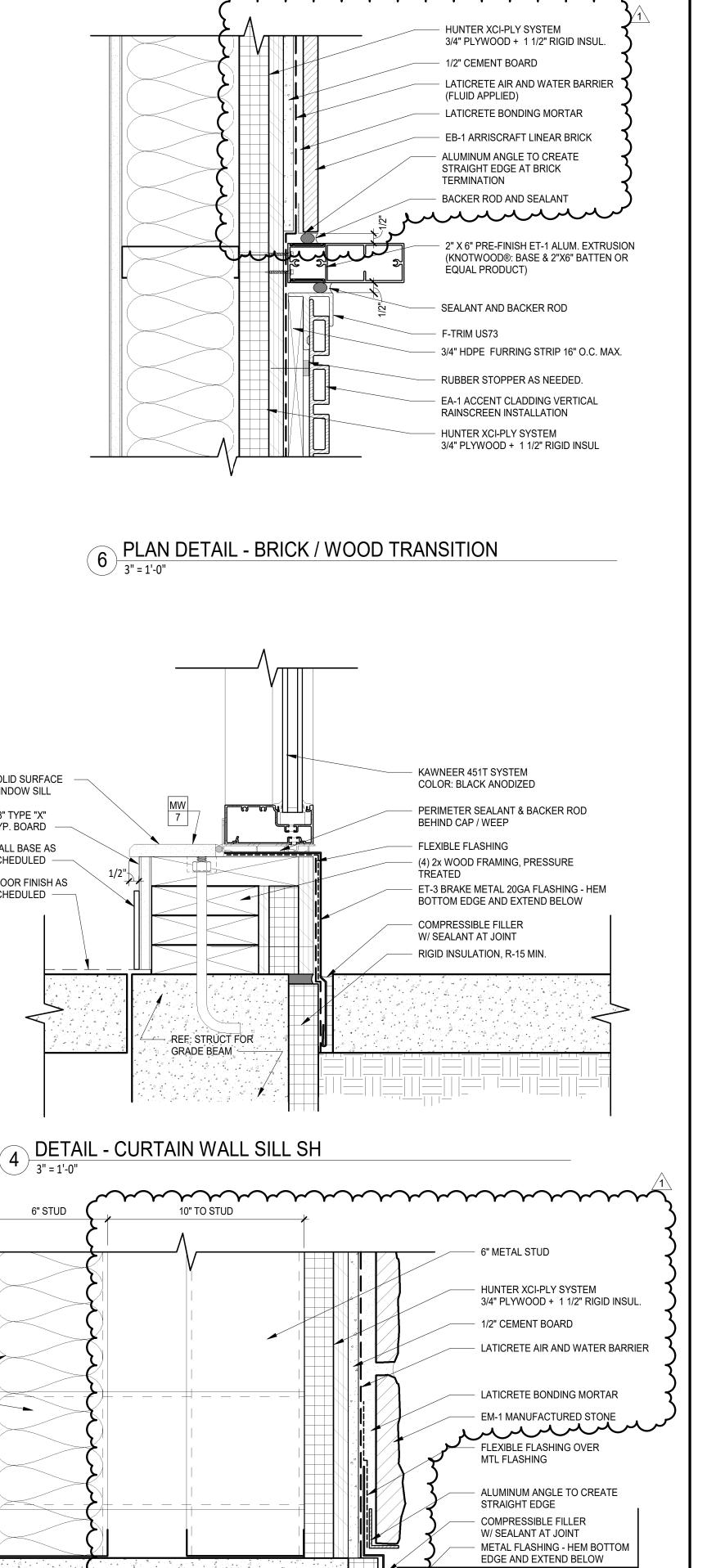
5/8" TYPE "X"

GYP. BOARD -

WALL BASE AS

SCHEDULED -

SCHEDULED -



WELLS FARGO

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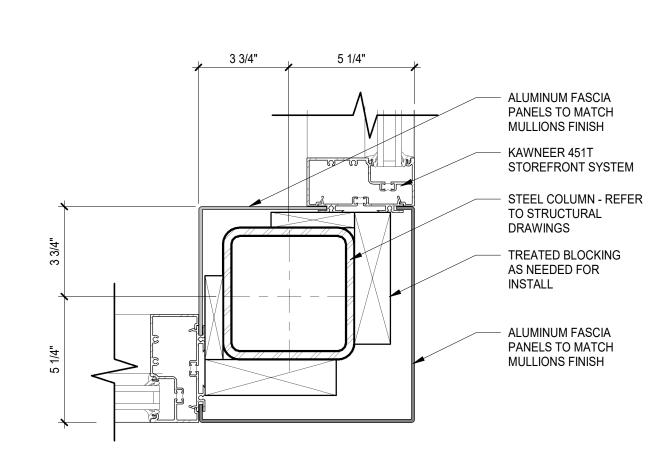
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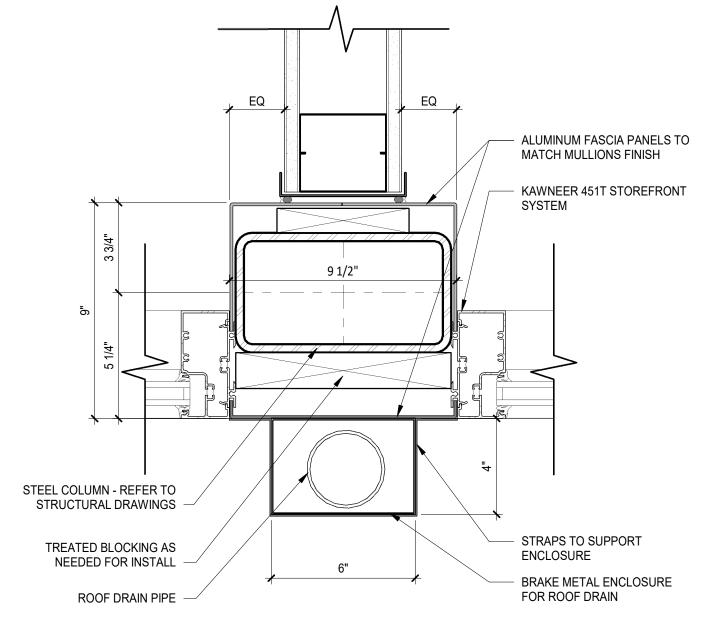
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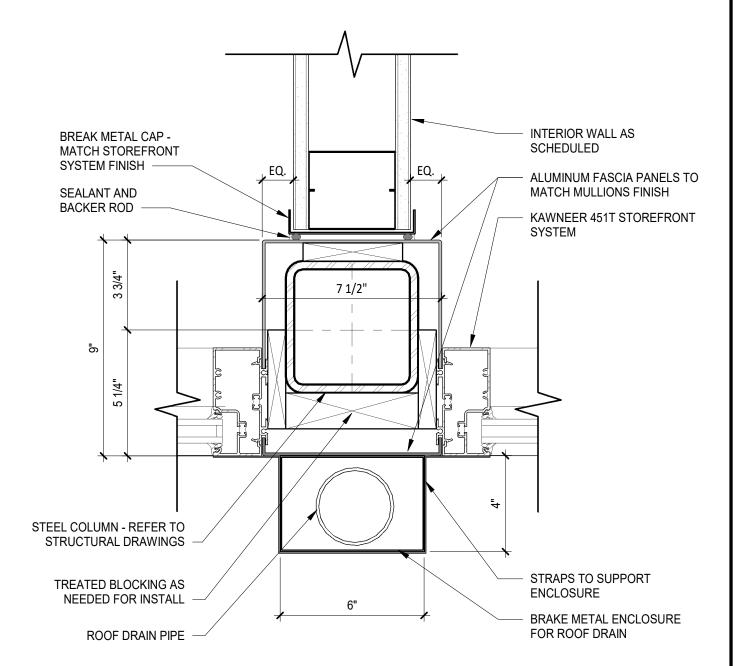
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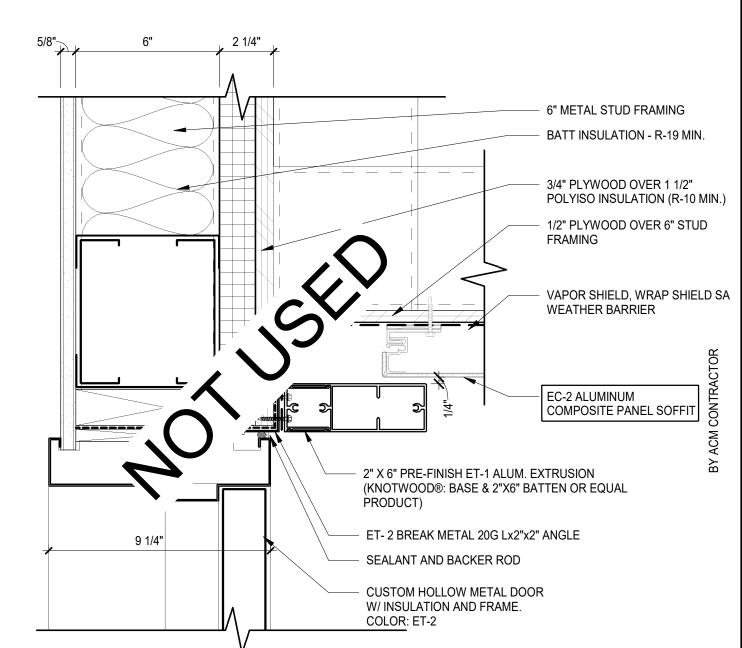
10 DETAIL - CORNER MULLION
3" = 1'-0"



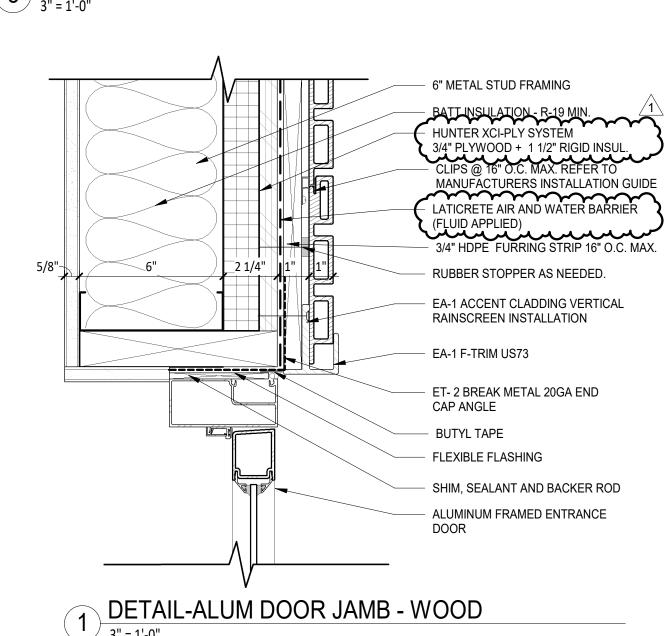
9 DETAIL - VERTICAL MULLION AT COLUMN
3" = 1'-0"

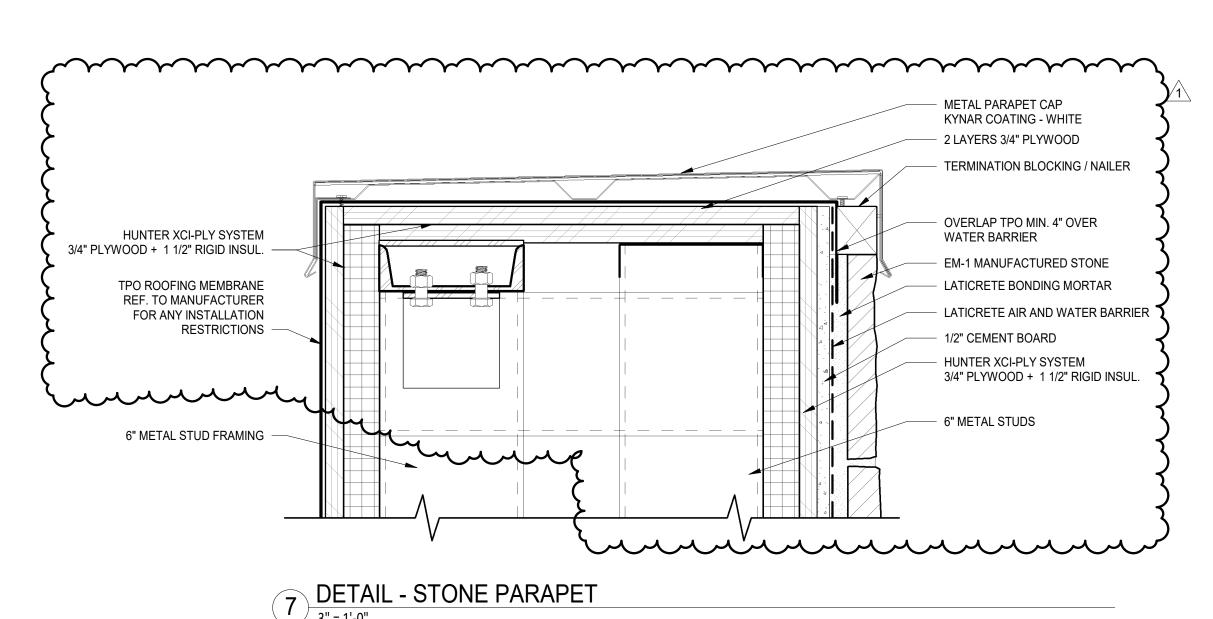


8 DETAIL - VERTICAL MULLION AT COLUMN
3" = 1'-0"



5 DETAIL - HM DOOR HEAD
3" = 1'-0"





ET-1 METAL 20GA COPING CONTINUOUS WATER **CUTOFF SEALANT BETWEEN** MEMBRANE AND WB HUNTER XCI-PLY SYSTEM 3/4" PLYWOOD + 1 1/2" RIGID INSUL. TPO ROOFING MEMBRANE REF TO MANUFACTURER FOR ANY INSTALLATION HUNTER XCI-PLY SYSTEM RESTRICTIONS 3/4" PLYWOOD + 1 1/2" RIGID INSUL. 1/2" CEMENT BOARD LATICRETE AIR AND WATER BARRIER (FLUID APPLIED) LATICRETE BONDING MORTAR EB-1 ARRISCRAFT MANUFACTURED BRICK munulmunum 4 DETAIL - PARAPET CAP - STONE
3" = 1'-0"

CUSTOM HOLLOW METAL DOOR (W/ INSULATED CORE) AND FRAME. COLOR: ET2 FLEXIBLE FLASHING SEALANT & BACKER ROD — F TRIM US73 - 6" METAL STUD FRAMING RUBBER STOPPER AS NEEDED. 3/4" HDPE FURRING STRIP 16" O.C. MAX. BATT INSULATION - R-19 MIN. VAPOR SHIELD, WRAP SHIELD SA WEATHER BARRIER 3/4" PLYWOOD OVER 1 1/2" POLYISO INSULATION (R-10 MIN.) **EA-1 ACCENT CLADDING VERTICAL** RAINSCREEN INSTALLATION WITH CLIP AT 16" O.C MAX. 3 DETAIL - HM DOOR JAMB - WOOD

6" METAL STUD FRAMING BATT INSULATION - R-19 MIN.

HUNTER XCI-PLY SYSTEM 3/4" PLYWOOD + 1 1/2" RIGID INSUL.

— CLIPS @ 16" O.C. MAX. REFER TO MANUFACTURERS INSTALLATION GUIDE LATICRETE AIR AND WATER BARRIER (FLUID APPLIED) — 3/4" HDPE FURRING STRIP 16" O.C. MAX. RUBBER STOPPER AS NEEDED. EA-1 ACCENT CLADDING VERTICAL RAINSCREEN INSTALLATION EA-1 F-TRIM US73 ET- 2 BREAK METAL 20GA END CAP ANGLE **BUTYL TAPE** FLEXIBLE FLASHING SHIM, SEALANT AND BACKER ROD ES-1 KAWNEER 451T STOREFRONT SYSTEM

2 DETAIL - STOREFRONT JAMB - COMPOSITE PANEL
3" = 1'-0"

WELLS

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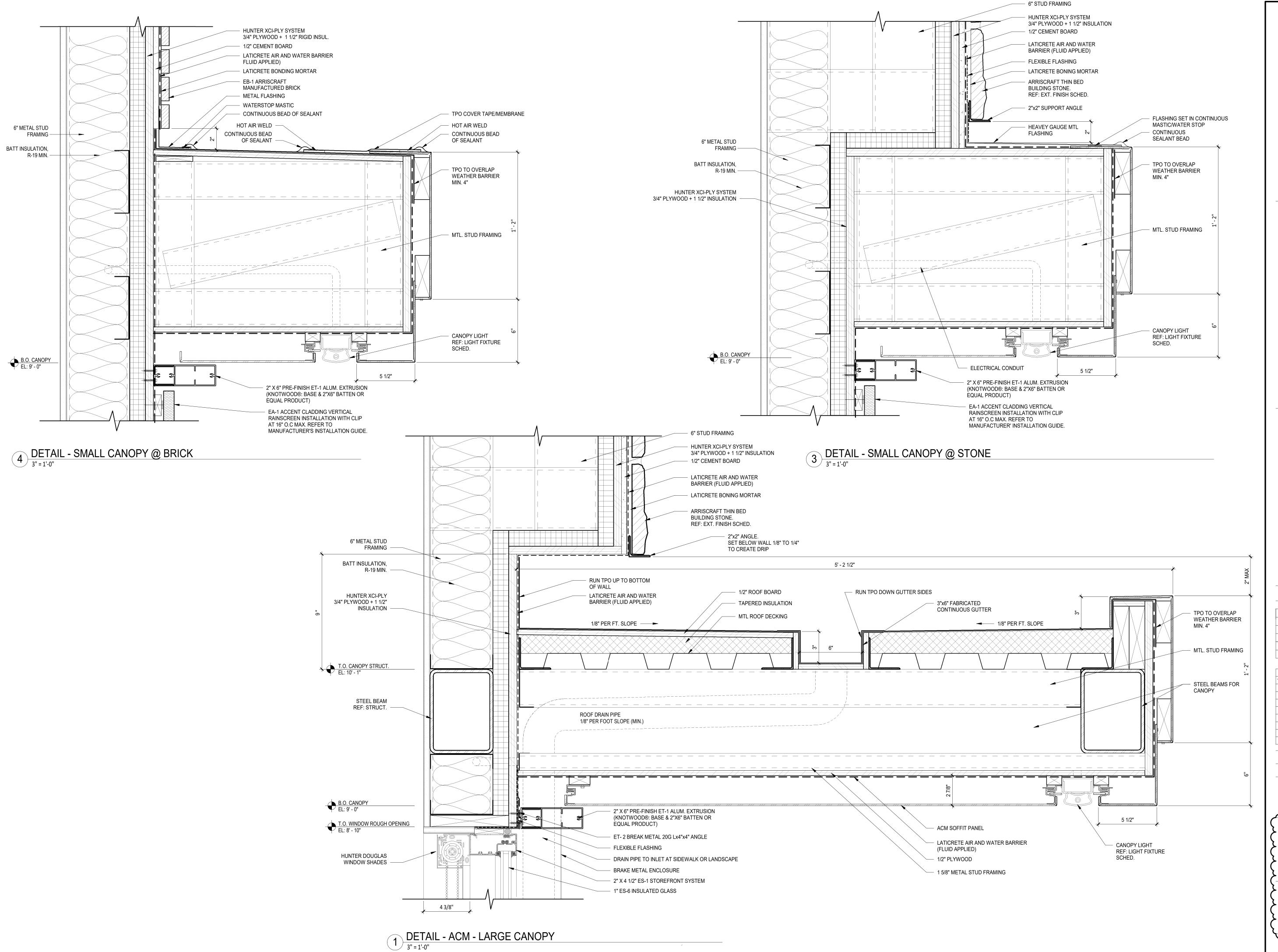
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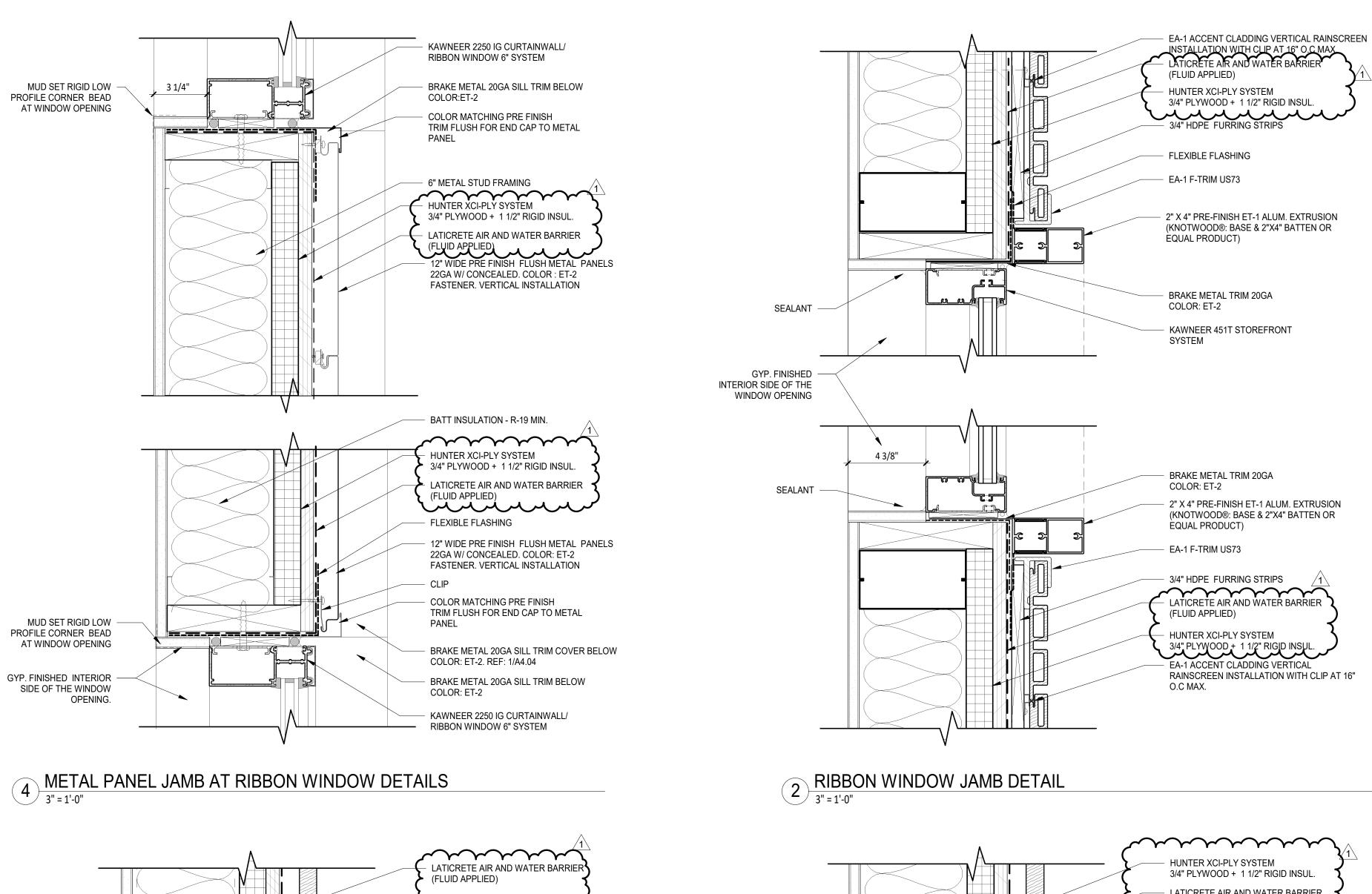


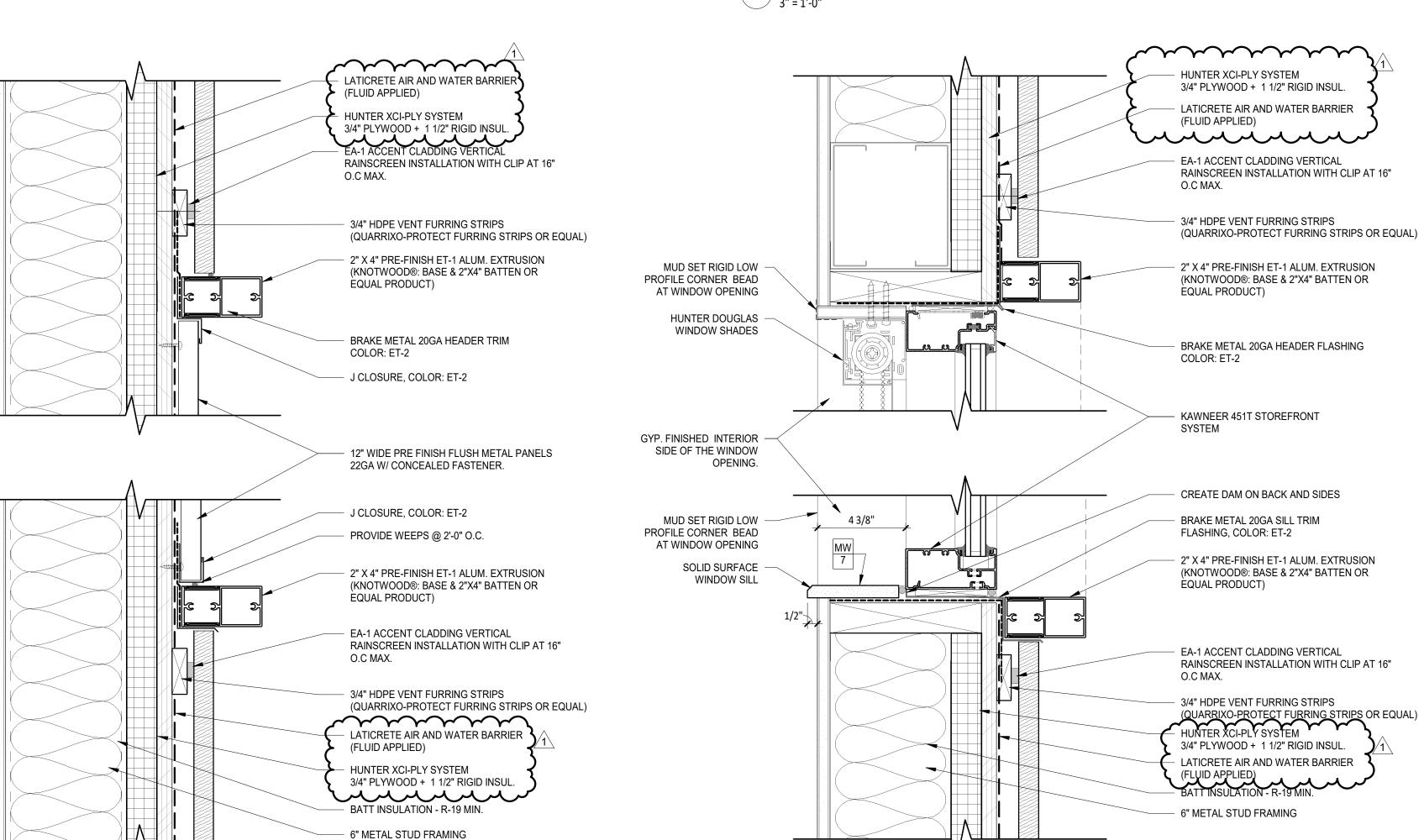
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RIBBON WINDOW HEADER & SILL DTL

METAL PANEL HEADER & SILL DETAIL

3" = 1'-0"



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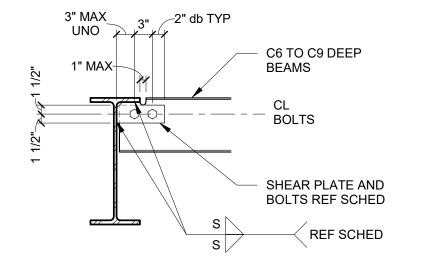
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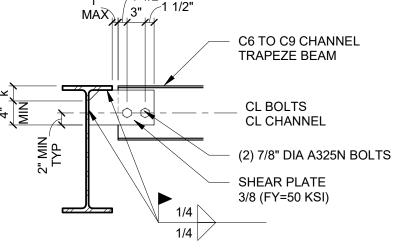
EXTERIOR DETAILS

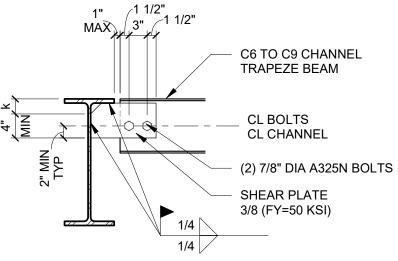
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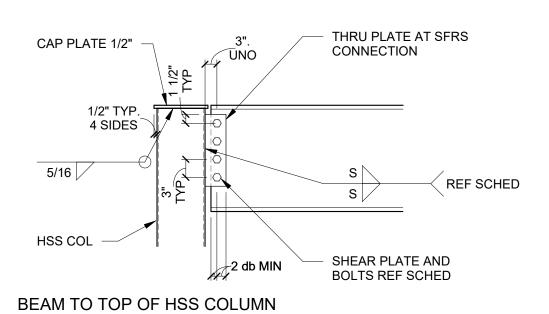


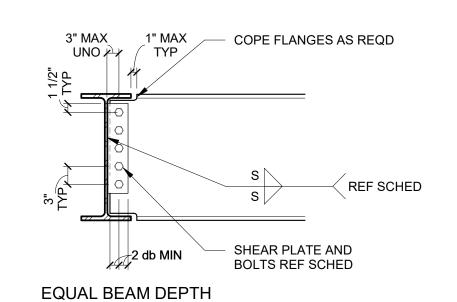
6" TO 9" DEEP BEAMS

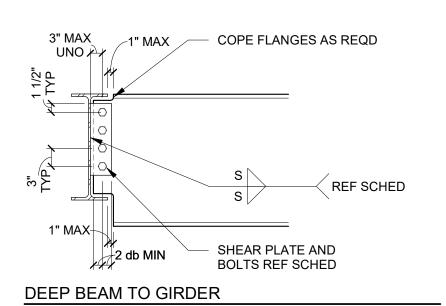




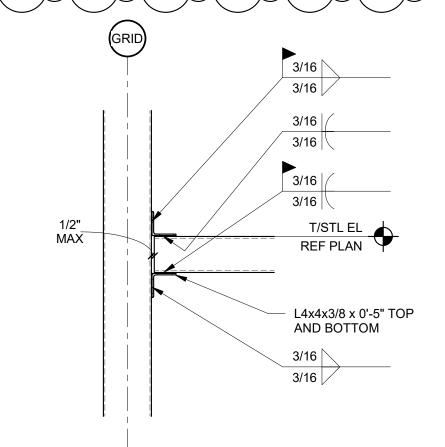
C6 TO C9 TRAPEZE BEAMS







	GR			
		1/4	4" SEAL PLATE	
		1/2" MAX	EAM REF PLAN T/STL EL REF PLAN	
O VERT TION S)			.X4X3/8X0'-6"	
	>	3/16	5 /	\prec



7 FRAMING DETAIL

BEAM REF PLAN

BEAM, REF PLAN

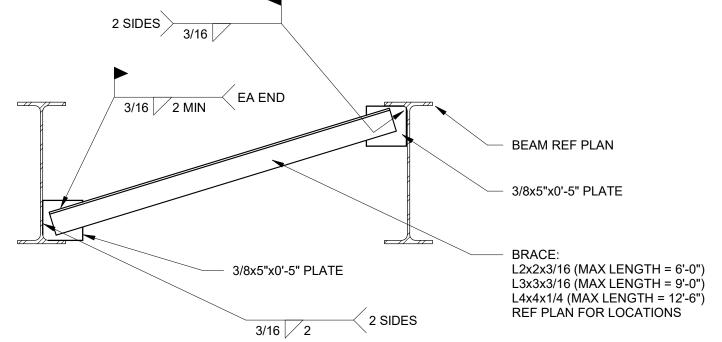
CJP TYP

6 FRAMING DETAIL

3/4" = 1' 0" 5 FRAMING DETAIL

3/4" = 1'-0"

BEAM REF PLAN



3 BOTTOM FLANGE BRACE DETAIL

	1/2" YP	3" MAX THRU PLATE AT SFRS UNO CONNECTION	
HSS COL	-2	0	
	TYP	S REF SCHE	D
		2 db MIN SHEAR PLATE AND BOLTS REF SCHED	

CIDAT	
CJP AT SKEWED PLATE	S REF SCHED TYP
	SHEAR PLATE TYP AT ALL BEAMS, REF
	PLAN

BEAM TO HSS COLUMN

TYP. SHEAR PLATE CONN AT HSS

PROVIDE ACCESS HOLES AT BEAM TOP FLANGE PER AWS D1.1.

SPLICE PLATE SCHEDULE, UNLESS OTHERWISE NOTED.

AND BOTTOM FLANGE, UNO

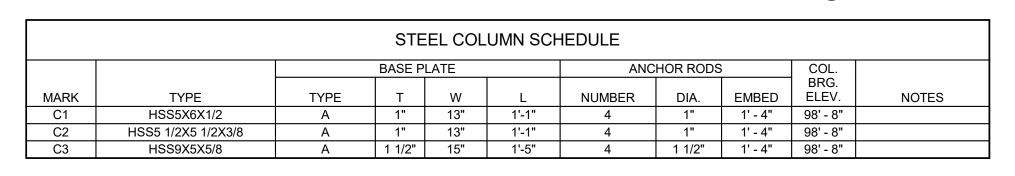
NOMINAL	BEAM ROW, 3/4" DIA					SHEAR PL	SHEAR PL WELD SIZE		WEB	MIN ASD VERT
DEPTH		THICKNESS	S	HORIZ PL THICKNESS	WELD SIZE S2	REACTION (KIPS)				
6" TO 9",C8,S8	2 HORIZ	1/2"	5/16	1/2"	1/4	5				
10" TO 12"	2	5/16"	1/4	1/2"	1/4	21				
14" TO 15"	3	5/16"	1/4	1/2"	1/4	32				
16"	4	5/16"	1/4	1/2"	1/4	42				
18"	4	5/16"	1/4	1/2"	1/4	42				
21"	5	5/16"	1/4	1/2"	1/4	53				
24"	6	5/16"	1/4	1/2"	1/4	64				
27"	7	3/8"	1/4	1/2"	5/16	74				
30"	8	3/8"	1/4	1/2"	5/16	85				
33"	9	3/8"	1/4	1/2"	5/16	95				
36"	10	3/8"	1/4	1/2"	5/16	106				
40"	11	3/8"	1/4	1/2"	5/16	117				
44" & DEEPER	12	3/8"	1/4	1/2"	5/16	127				

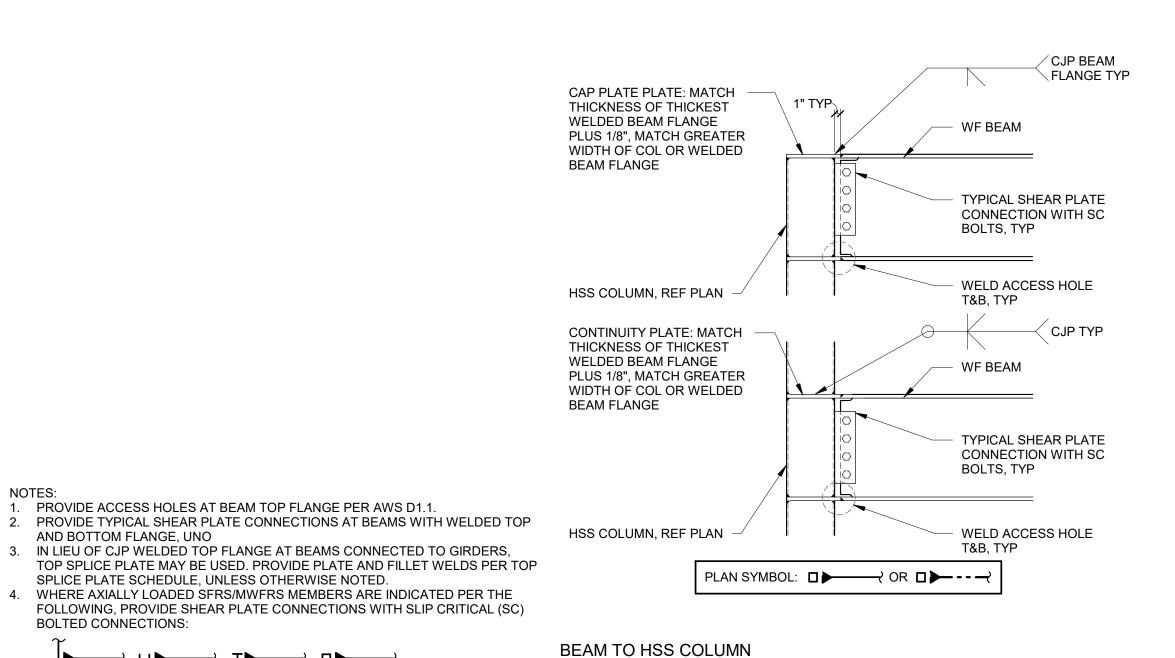
1. WHERE MEMBERS ARE INDICTED PER THE FOLLOWING, PROVIDE SHEAR PLATE CONNECTIONS AT BEAM ENDS PER THE ABOVE SCHEDULE, UNLESS NOTED OTHERWISE:

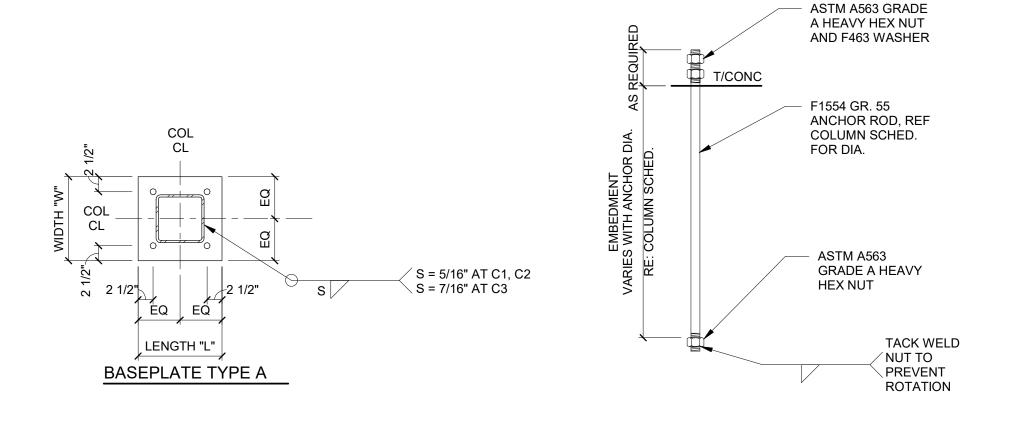
 \longrightarrow H \longrightarrow I \longrightarrow 0 \longrightarrow

- HORIZONTAL SHORT SLOTTED HOLES ARE PERMITTED UNLESS SLIP CRITICAL (SC) BOLTS ARE REQUIRED.
- SCHEDULE APPLIES TO CHANNEL SECTIONS OF SAME NOMINAL DEPTHS. DEPTH OR SIZE REFERS TO EITHER THE SUPPORTED BEAM OR SUPPORTING GIRDER, WHICHEVER IS SMALLEST.
- ALL SHEAR PLATES DESIGNED FOR ASTM A36. ASTM A572, GR 50 MAY BE USED AT CONTRACTOR'S OPTION.

4 TYPICAL STEEL BEAM CONNECTION SCHEDULE AND DETAILS 3/4" = 1'-0"







STRUCTURAL CONNECTIONS

BOTTOM FLANGE BRACE TO BEAM, DIRECTION OF

ARROW REFERS TO DOWNWARD SLOPE, REF 3/S0.50

■ STEEL COLUMN SCHEDULE AND DIAGRAMS

WELLS **FARGO**

GREELEY, CO

ARCHITECT S G D esign SGDesign, Inc.

3311 Elm Street, Suite 105 Dallas, TX 75226 469-865-1910

CONSULTANTS



wallace design collective, pc structural · civil · landscape · survey 9800 pyramid court, suite 350 englewood, colorado 80112 303.350.1690 - 800.364.5858

NOT FOR CONSTRUCTION

SET ISSUE

DATE

SET ISSUE FOR

	BID SET	04/25/2025
	REVISION	NS
REV	REASON FOR ISSUE	DATE
1	ADD # 1	05/23/25
REVI	EWED BY: ML	

BEM DRAWN BY:

> SHEET TITLE **TYPICAL STEEL**

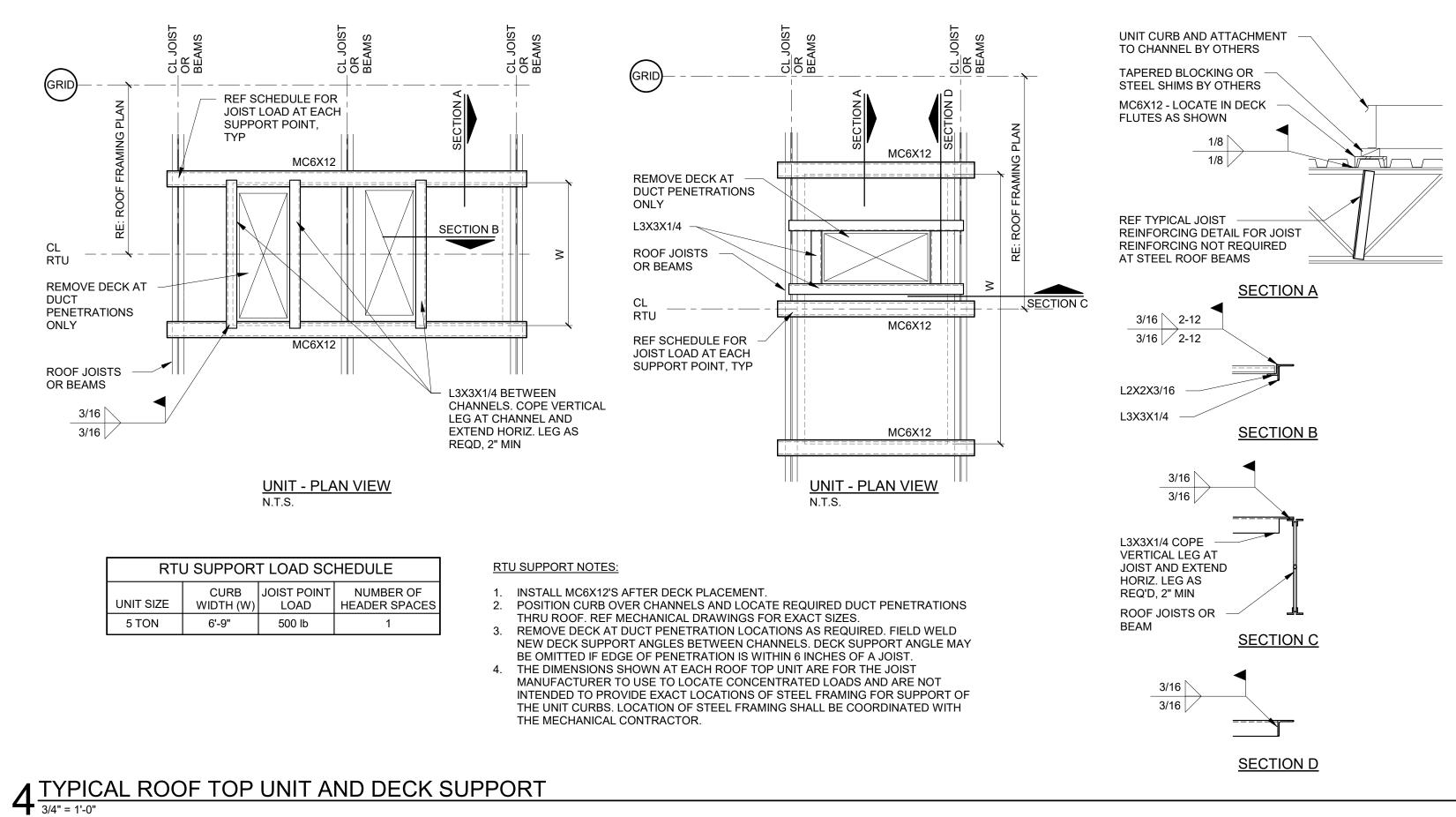
DETAILS

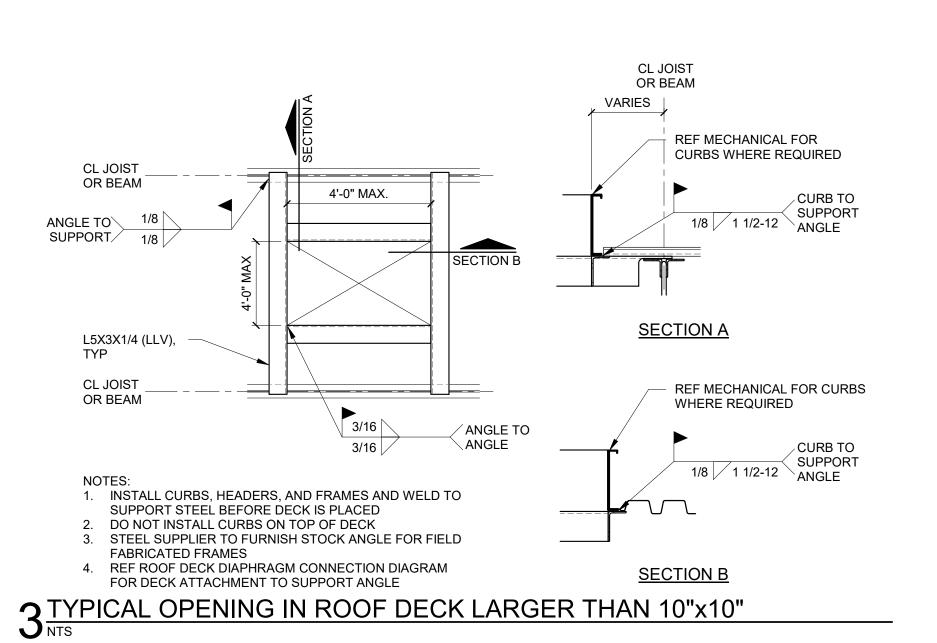
SHEET NUMBER **S0.50**

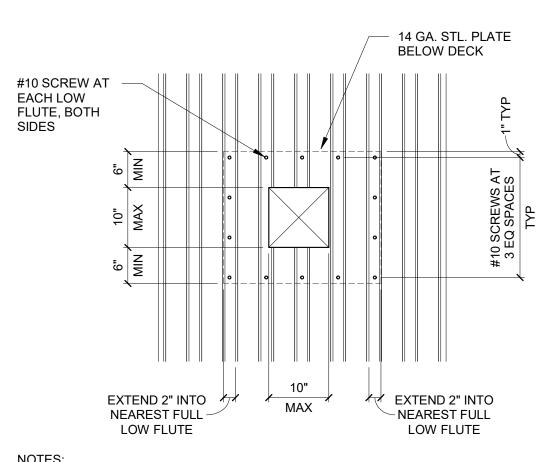
ARCHITECT PROJECT NUMBER 24-009

TYPICAL WELDED BEAM TOP AND BOTTOM FLANGE CONNECTIONS

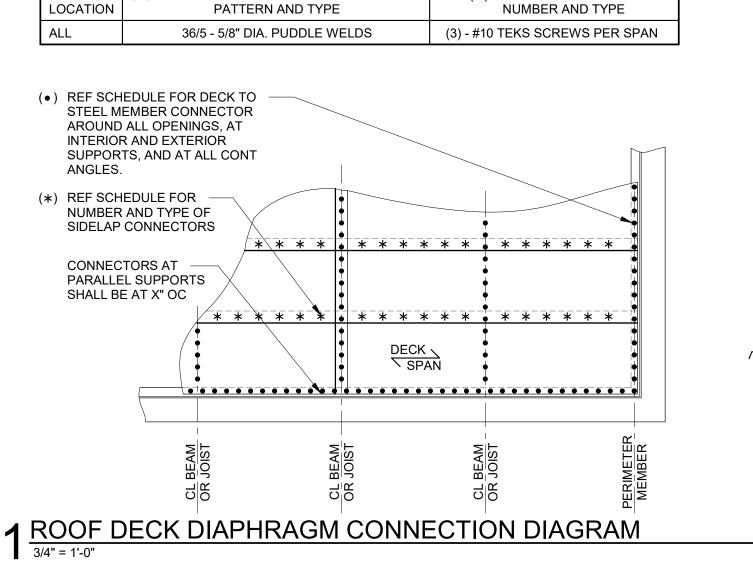








1. PLATE MAY BE LOCATED ABOVE DECK AT CONTRACTOR'S OPTION 2. PLATE IS NOT REQUIRED IF OPENING IS 6" OR LESS. IF TWO OR MORE OPENINGS THAT ARE 6" OR LESS ARE CUT IN THE SAME DECK FLUTE AND ARE LOCATED WITHIN THE SAME SPAN OF DECK BETWEEN SUPPORT POINTS THEN THE PLATE IS REQUIRED. TYPICAL OPENING IN DECK LESS THAN 10"x10"



DECK DIAPHRAGM CONNECTION SCHEDULE

(•) DECK TO STEEL MEMBER CONNECTOR

3' - 0" 1.5B CONNECTOR PATTERN DIAGRAM (36/7)

WELLS **FARGO**

GREELEY, CO



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REVI	EWED BY: ML	

SHEET TITLE TYPICAL STEEL DECK

SHEET NUMBER

ARCHITECT PROJECT NUMBER 24-009

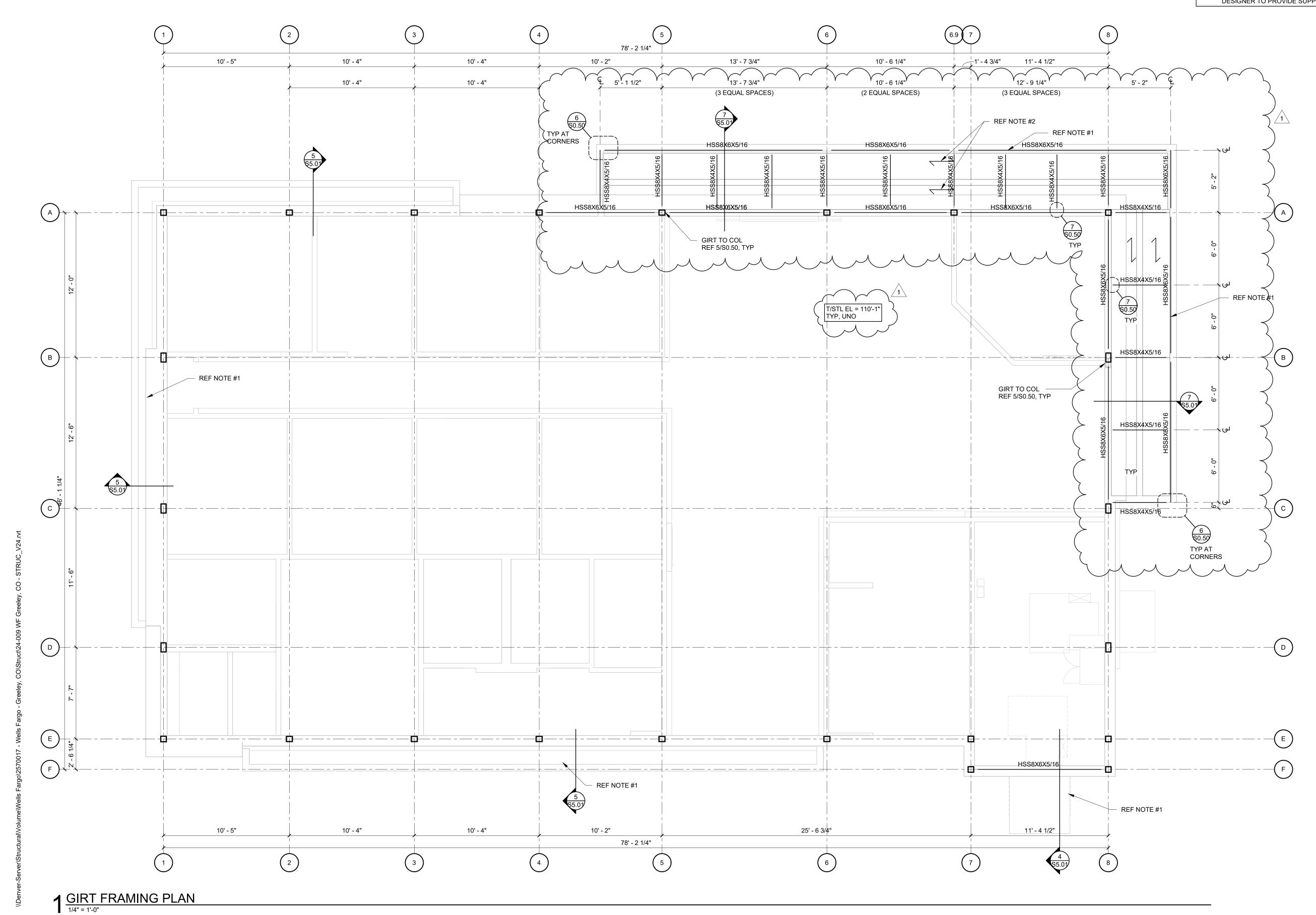
(*) SIDELAP CONNECTOR

GENERAL SHEET NOTES

- A. STRUCTURAL EL DATUM 100'-0" = ARCHITECTURAL EL DATUM 0'-0"
- TOP OF STEEL ELEVATIONS (T/STL EL) ARE INDICATED ON PLANS.
- C. REF GENERAL NOTES FOR TYPICAL FRAMING NOTES AND DESIGN CRITERIA.
- REFERENCE FOUNDATION PLAN AND COLUMN SCHEDULE FOR COLUMN SIZES.
- E. REF SHEET S0.50, S0.51, AND S0.52 FOR TYPICAL STEEL FRAMING SCHEDULES AND DETAILS.

FLOOR FRAMING PLAN NOTES

ARCHITECTURAL CANOPY BY OTHERS. REF DEFERRED STRUCTURAL SUBMITTAL REQUIREMENTS ON SHEET S0.00. COLD-FORMED METAL FRAMING DELEGATED DESIGNER TO PROVIDE SUPPORT AS REQUIRED FOR CANOPY.





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CONSTRUCTION

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	DATE	
	BID SET	04/25/2025
	REVISIONS	3
REV	REASON FOR ISSUE	DATE
	ADD # 1	05/23/25

REVIEWED BY: ML

DRAWN BY: BEM

GIRT FRAMING PLAN

SHEET NUMBER

ARCHITECT PROJECT NUMBER

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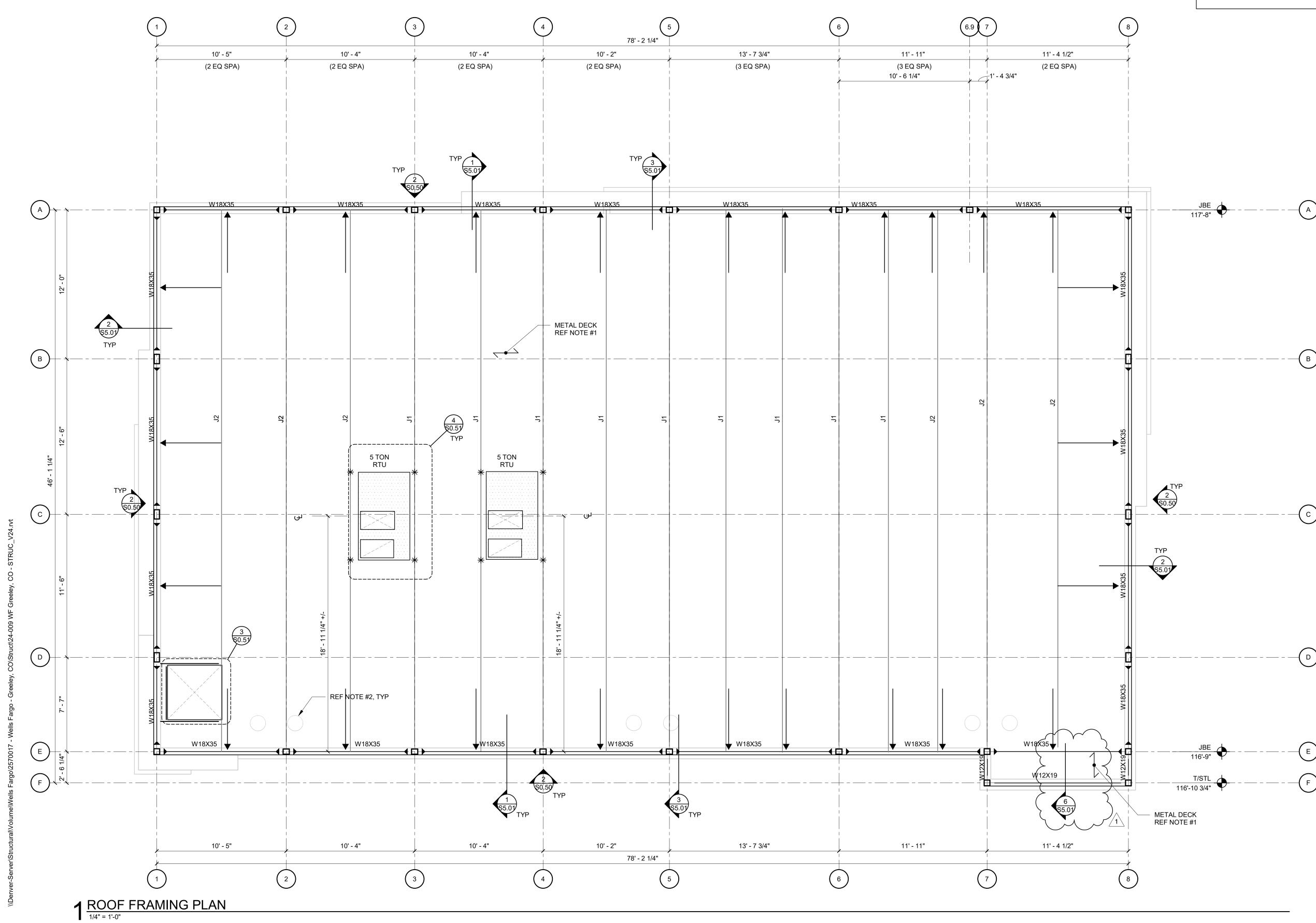
GENERAL SHEET NOTES

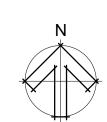
- A. STRUCTURAL EL DATUM 100'-0" = ARCHITECTURAL EL DATUM 0'-0"
 - TOP OF STEEL ELEVATIONS (T/STL EL) ARE INDICATED ON PLANS.
- C. REF GENERAL NOTES FOR TYPICAL FRAMING NOTES AND DESIGN CRITERIA.D. REFERENCE FOUNDATION PLAN AND COLUMN SCHEDULE FOR COLUMN SIZES.
- E. REF SHEET S0.50, S0.51, AND S0.52 FOR TYPICAL STEEL FRAMING SCHEDULES AND
- DETAILS.

 E PEEERENCE ARCHITECTURAL AND MED DRAWINGS FOR SIZE AND LOCATION OF DECK
- F. REFERENCE ARCHITECTURAL AND MEP DRAWINGS FOR SIZE AND LOCATION OF DECK PENETRATIONS. REF TYPICAL OPENING IN DECK DETAILS FOR REQUIRED SUPPORT FRAMING.
- VERIFY AND COORDINATE ROOF TOP EQUIPMENT WITH MEP DRAWINGS FOR EXACT SIZE AND LOCATION. CONTACT ARCHITECT AND EOR IF DISCREPANCIES OCCUR BETWEEN ARCHITECTURAL AND MEP DRAWINGS AND INFORMATION SHOWN ON STRUCTURAL PLANS.

ROOF FRAMING PLAN NOTES

- 1 1/2" x 22 GA TYPE B GALVANIZED STEEL ROOF DECK. REF ROOF DECK DIAPHRAGM CONNECTION DIAGRAM
- REF 3/S0.51 FOR ROOF DRAIN SUPPORT FRAMING. REF ARCHITECTURAL AND MEP DRAWINGS FOR ROOF DRAIN LOCATIONS.







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REVI	EWED BY: ML	

ROOF FRAMING PLAN

SHEET NUMBER

DRAWN BY:

S1.03

ARCHITECT PROJECT NUMBER 24-009

2 JOIST TO EXTERIOR STEEL BEAM - BYPASS FRAMING KICKER

3 STEEL JOIST TO EXTERIOR STEEL COLUMN
3/4" = 1'-0"

WELLS FARGO

GREELEY, CO



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FRAMING DETAILS

SHEET NUMBER

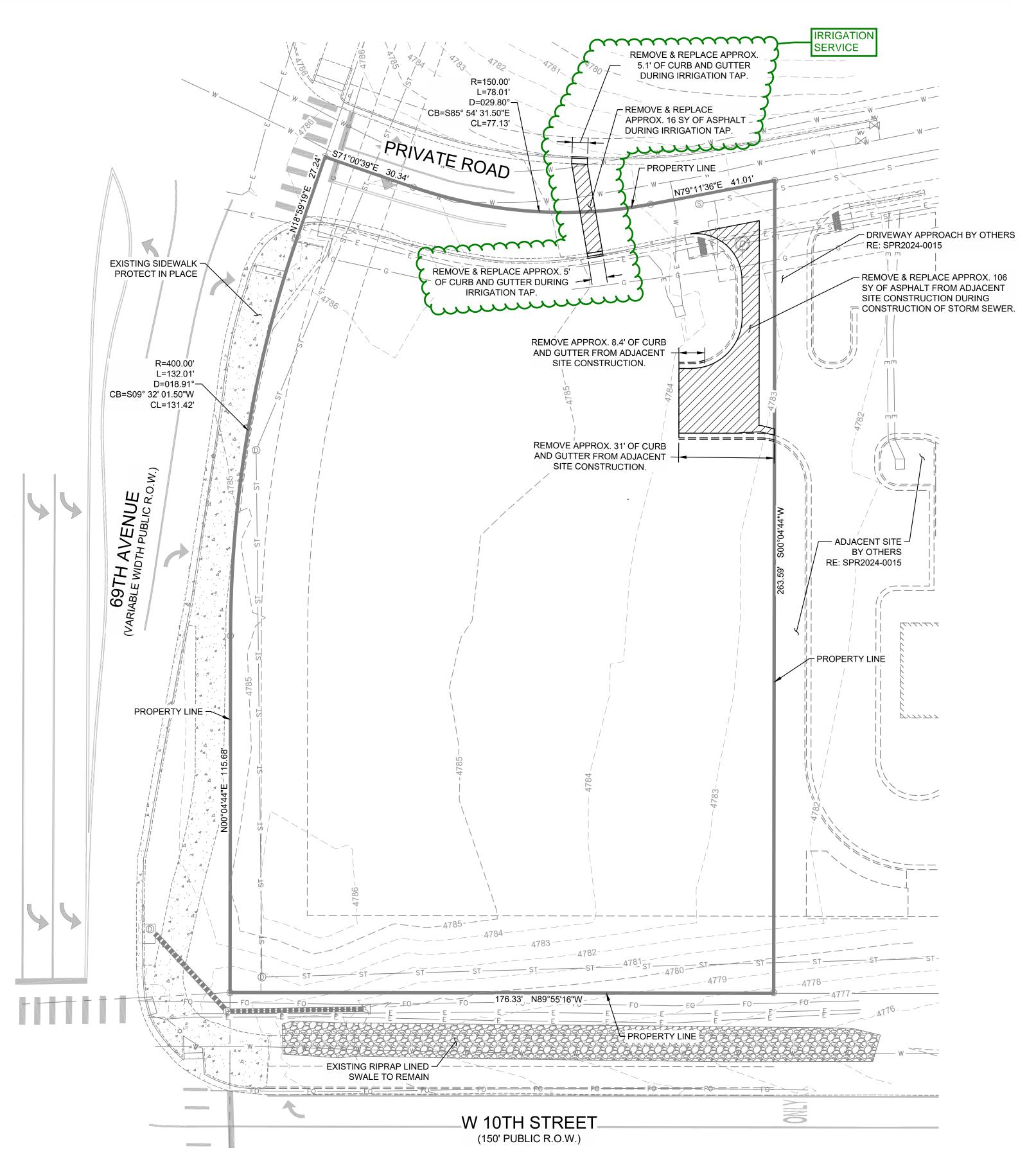
ARCHITECT PROJECT NUMBER 24-009

1 STEEL JOIST TO EXTERIOR STEEL BEAM

PROJECT NUMBER: SPR2025-0009

GENERAL DEMOLITION NOTES:

- ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
- CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
- CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
- WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
- CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
- CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
- 10. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.
- 11. PRIOR TO UTILITY DEMOLITION COORDINATE WITH AUTHORITY HAVING JURISDICTION.
- 12. UTILITIES BEING REMOVED OR RELOCATED SHALL BE ISOLATED AND SERVICE DISCONNECTED PRIOR TO ANY DEMOLITION.
- 13. NO UTILITY INTERRUPTIONS WILL BE ALLOWED WITHOUT CONSENT OF THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT A MINIMUM OF FOUR WORKING DAYS PRIOR TO THE REQUESTED SHUT DOWN.





NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



EROSION CONTROL LEGEND

LOD, LIMITS OF DISTURBANCE

PROP MINOR CONTOUR

PROP MAJOR CONTOUR

EX MINOR CONTOUR

EX MAJOR CONTOUR

CWA CONCRETE WASHOUT AREA

(DTC) DEBRIS TRASH CONTROL

(PS) PERMANENT SEEDING

FLOW DIRECTION ARROW

TOTAL DISTURBED AREA:

0.90 ACRES

(CF) CONSTRUCTION FENCE

PROJECT NUMBER: SPR2025-0009

CITY OF GREELEY GENERAL EROSION CONTROL NOTES:

- 1. CONTRACTOR SHALL INSTALL ALL INITIAL SEDIMENT AND EROSION CONTROL DEVICES IN ACCORDANCE WITH THE DETAILS PROVIDED IN THE ESCP THAT HAVE BEEN EXCERPTED FROM EITHER 1. CHAPTER 7, CONSTRUCTION BMPS, FROM VOLUME 3 OF THE MILE HIGH FLOOD DISTRICT (MHFD) URBAN STORM DRAINAGE CRITERIA MANUAL (USDCM) OR 2. CDOT EROSION CONTROL AND STORMWATER QUALITY GUIDE AND STANDARD PLAN M-208-1 PRIOR TO ANY LAND DISTURBING CLEARING, OR GRADING ACTIVITIES. THESE INITIAL BMPS MAY INCLUDE, BUT ARE NO LIMITED TO, SILT FENCE, SEDIMENT CONTROL LOGS, INLET PROTECTION, VEHICLE TRACKING CONTROL, CONCRETE WASHOUT AREA, AND SEDIMENT BASINS, AMONG MANY OTHERS.
- THE CONSTRUCTION OF UNDERGROUND UTILITIES IS CONSIDERED A LAND DISTURBING ACTIVITY.
- CONTRACTOR SHALL LIMIT TOPSOIL STRIPPING TO THE IMMEDIATE WORK AREA
- ALL MATERIALS MUST BE STORED AND DISPOSED OF IN ACCORDANCE WITH VOLUME 3 OF THE USDCM.
- WHEN POSSIBLE, ALL EXCAVATED MATERIAL SHALL BE PLACED SO THAT ANY SEDIMENT WILL ERODE BACK INTO THE TRENCH OR OTHER EXCAVATION FROM WHICH IT CAME. IF THIS IS NOT POSSIBLE DUE TO GRADE, CONTAINMENT MUST BE PROVIDED. STOCKPILES SHALL NOT HAVE SIDE SLOPES STEEPER THAN 3H:1V.
- BMPS MUST BE EMPLOYED FOR ALL STOCKPILES AND IN ALL AREAS WHERE LAND DISTURBANCE HAS OCCURRED, IN ACCORDANCE WITH VOLUME 3 OF THE USDCM. IMMEDIATELY DISCONTINUE ALL LAND DISTURBING ACTIVITIES WHEN FUGITIVE DUST IMPACTS ADJACENT PROPERTIES.
- ALL DISTURBED AREAS AND SOIL STOCKPILES THAT REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED IN ACCORDANCE WITH SECTION 12 OF THE SDDC. STABILIZATION IS REQUIRED ANY TIME CONSTRUCTION CEASES ON ANY PART OF A SITE FOR MORE THAN 14 DAYS. PERMANENT OR TEMPORARY STABILIZATION IS ALSO REQUIRED WITHIN 14 DAYS AFTER FINAL GRADE IS ACHIEVED.
- ALL STORM INLETS WITHIN THE LIMITS OF DISTURBANCE AND AT LEAST THE FIRST TWO INLETS DOWNSTREAM FROM ANY LAND DISTURBING ACTIVITY MUST RECEIVE INLET PROTECTION IN ACCORDANCE WITH VOLUME 3 OF THE USDCM. HAY BALES ARE NOT ACCEPTABLE FOR INLET OR CULVERT PROTECTION.

THE CONTRACTOR SHALL INSPECT ALL BMPS AT THE END OF EACH DAY OF WORK.

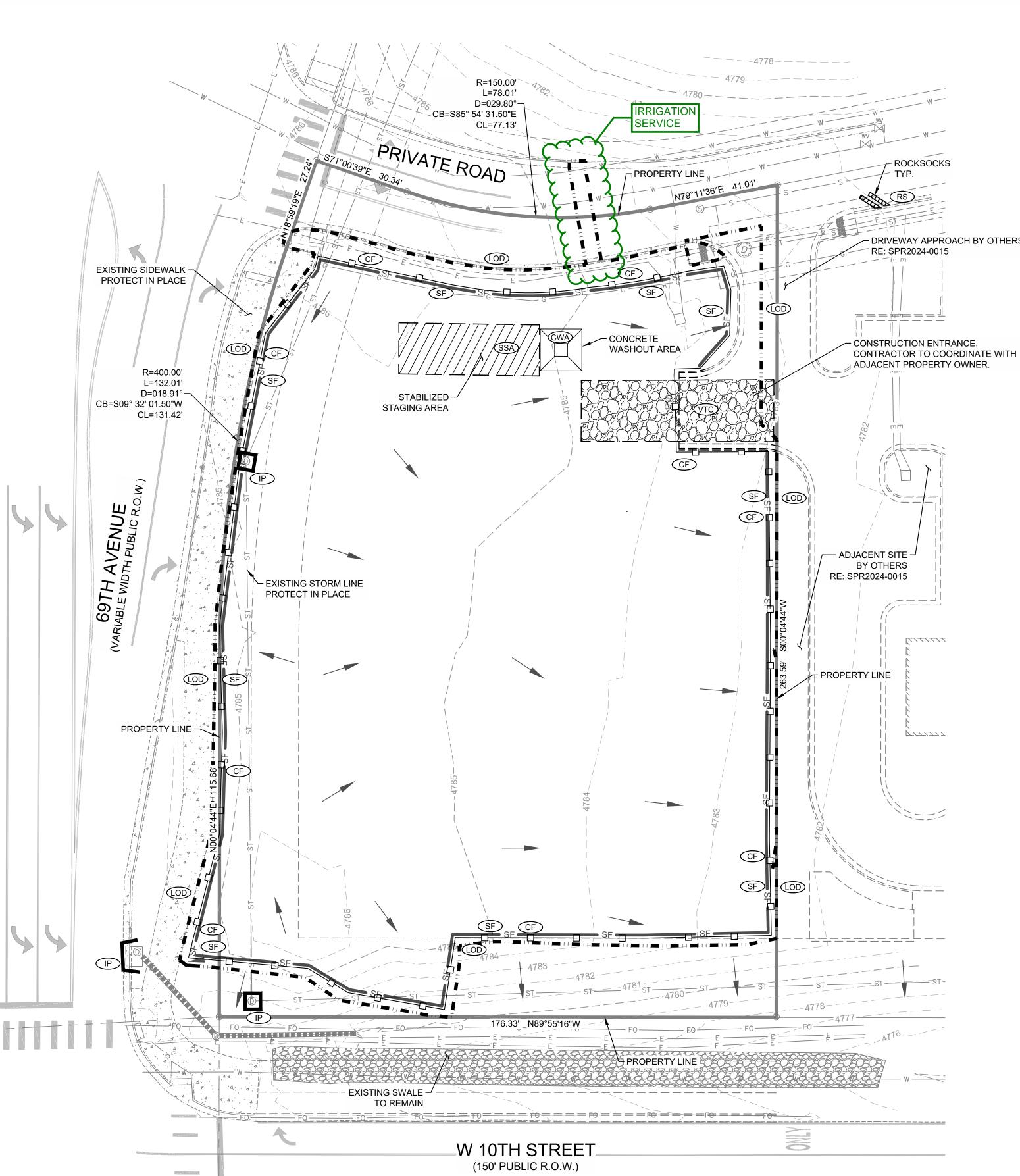
- NECESSARY MAINTENANCE AND REPAIRS SHALL BE MADE IMMEDIATELY.
- 10. THE CITY INSPECTOR MAY PROVIDE A WRITTEN NOTICE TO THE CONTRACTOR TO
- 1. ALL PUBLIC RIGHT-OF-WAY SHALL BE SWEPT CLEAN OF ALL DIRT, MUD, AND DEBRIS AT THE END OF EACH DAY OF WORK AND AFTER STORM EVENTS.
- 12. TEMPORARY EROSION & SEDIMENT CONTROL BMPS SHALL BE REMOVED ONLY AT
- 13. SEDIMENT TRAPS AND BASINS MAY BE REMOVED ONCE THEIR TRIBUTARY AREA IS STABILIZED. IF A SEDIMENT BASIN IS TO BE USED AS A PERMANENT FACILITY, FULL DESIGN CAPACITY MUST BE RESTORED AFTER FINAL STABILIZATION MEASURES ARE IMPLEMENTED AND BEFORE ANY CONCRETE WORK IN THE BASIN BEGINS. THE CONTRACTOR MUST PROPERLY DISPOSE OF ALL SEDIMENT.
- 14. THE PERFORMANCE SECURITY WILL ONLY BE RELEASED ONCE THE STORMWATER DIVISION DETERMINES ALL WORK HAS BEEN SUCCESSFULLY COMPLETED AND FINAL STABILIZATION HAS BEEN ACHIEVED. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO ENSURE THE ONGOING AND PERPETUAL MAINTENANCE OF ALL FINAL STABILIZATION MEASURES ONCE WORK IS COMPLETE.
- 15. THE PROPERTY OWNER/OPERATOR IS LIABLE FOR ANY VIOLATIONS RESULTING FROM THE ACTIONS TAKEN BY ANY SITE CONTRACTORS, SUBCONTRACTORS, MAINTENANCE

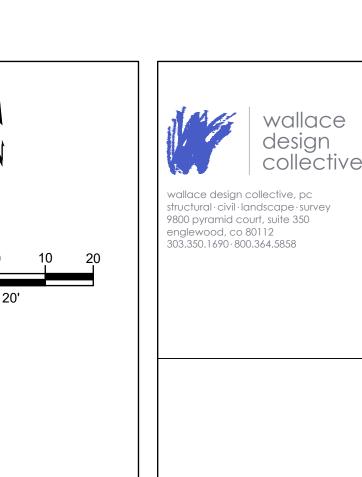
A COLORADO STORMWATER DISCHARGE PERMIT (CDPS/COR400000) AND A CITY OF GREELEY LAND GRADING PERMIT WILL BE REQUIRED PRIOR TO CONSTRUCTION

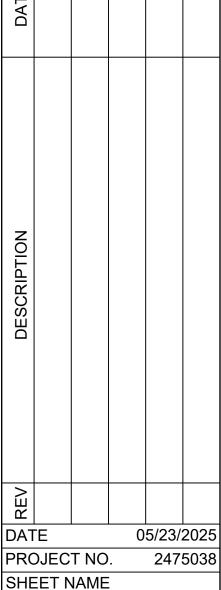
Know what's below.

CAUTION NOTICE TO CONTRACTOR

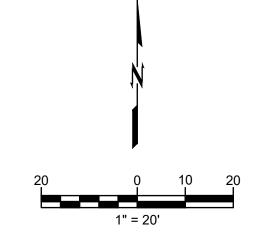
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



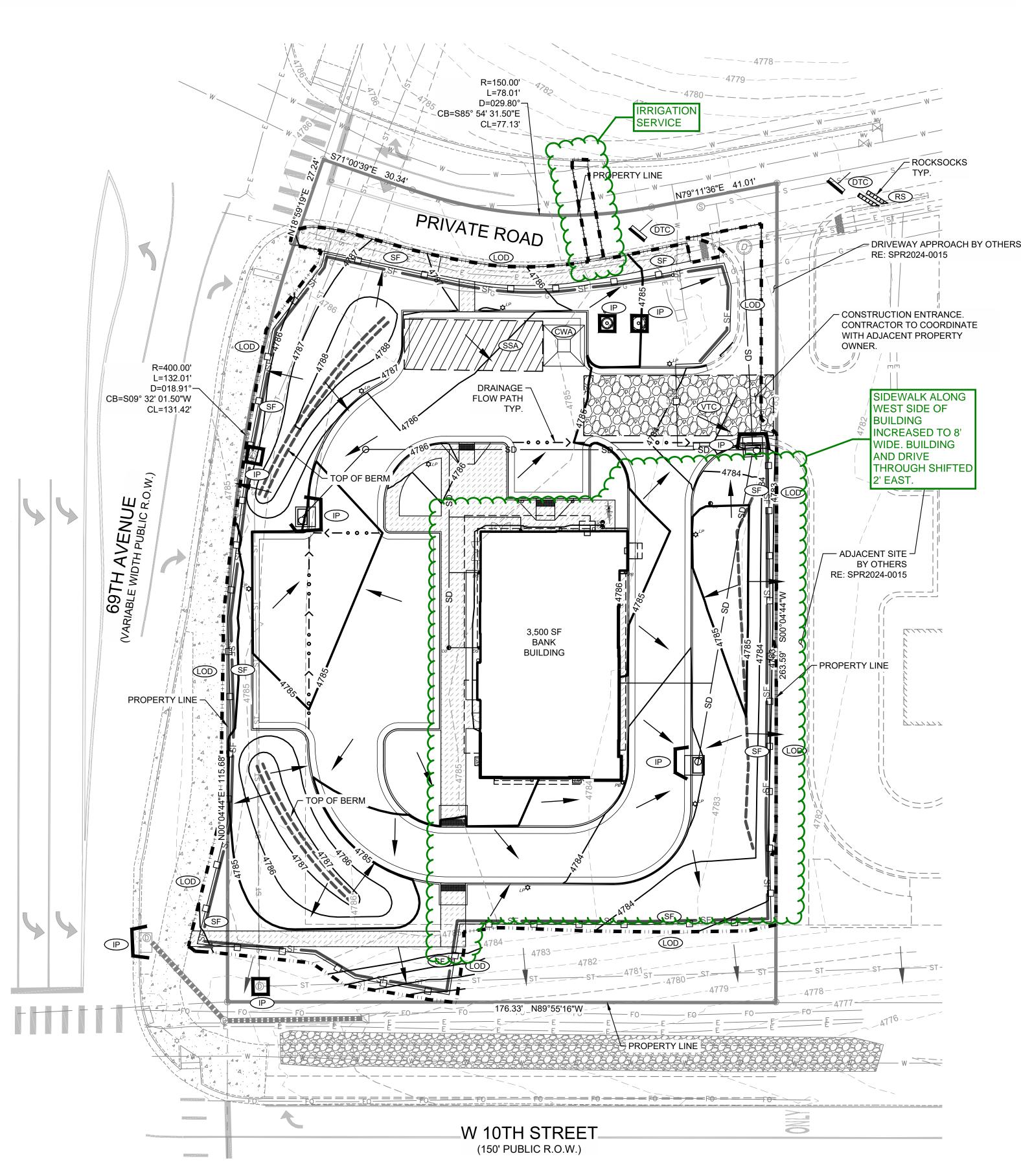




SHEET NAME **INITIAL EROSION** CONTROL PLAN SHEET NO.



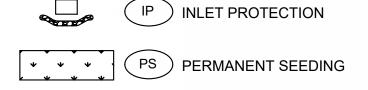
PROJECT NUMBER: SPR2025-0009





	LOD, LIMITS OF DISTURBANCE
4786 ———	PROP MINOR CONTOUR
4785 ———	PROP MAJOR CONTOUR
4786	EX MINOR CONTOUR
	EX MAJOR CONTOUR
CF	CONSTRUCTION FENCE
CWA)	CONCRETE WASHOUT AREA

DTC DEBRIS TRASH CONTROL



SCL ROCK SOCKS

SSA STABILIZED STAGING AREA

VTC VEHICLE TRACKING CONTROL

FLOW DIRECTION ARROW

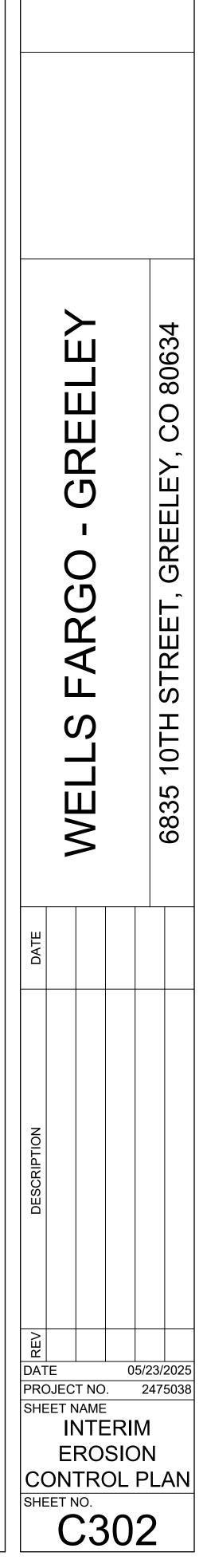
TOTAL DISTURBED AREA:

0.90 ACRES

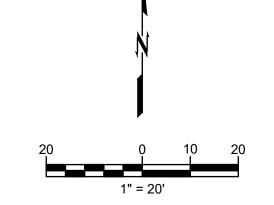
Know what's below.
Call before you dig.

CAUTION NOTICE TO CONTRACTOR

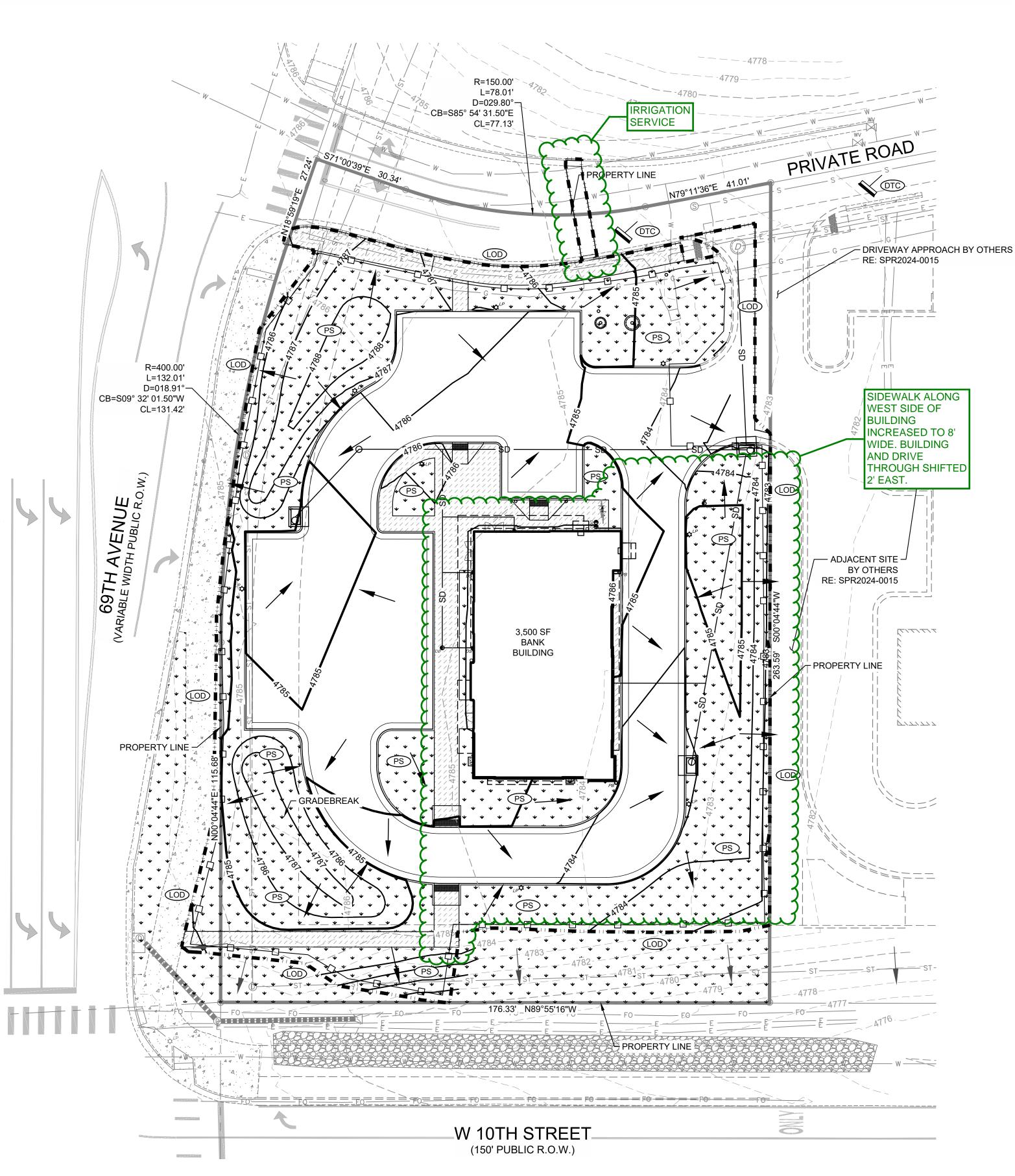
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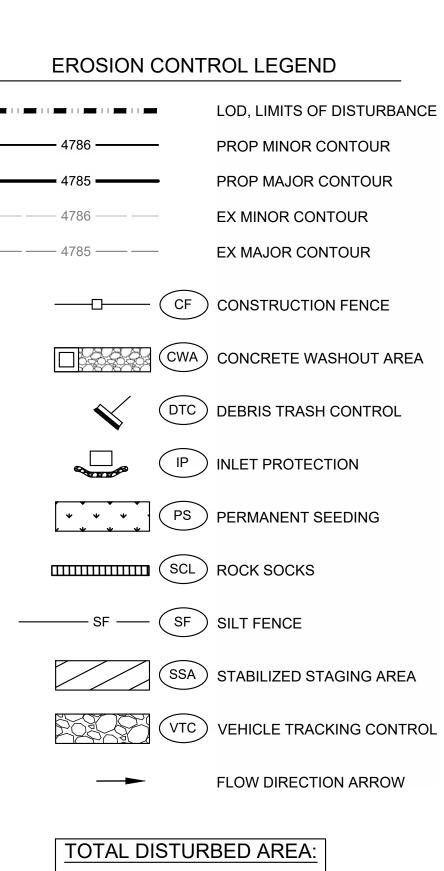


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PROJECT NUMBER: SPR2025-0009





0.90 ACRES

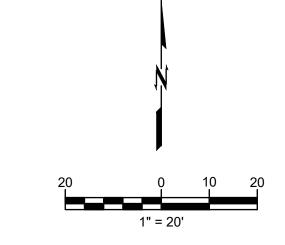


NOTICE TO CONTRACTOR

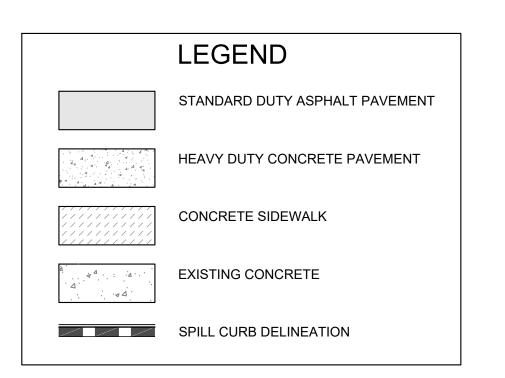
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ructural·civil·landscape·survey 9800 pyramid court, suite 350 englewood, co 80112 303.350.1690 · 800.364.5858 05/23/2025 PROJECT NO. 2475038 SHEET NAME FINAL EROSION CONTROL PLAN

SHEET NO.



PROJECT NUMBER: SPR2025-0009



PAVEMENT SECTIONS

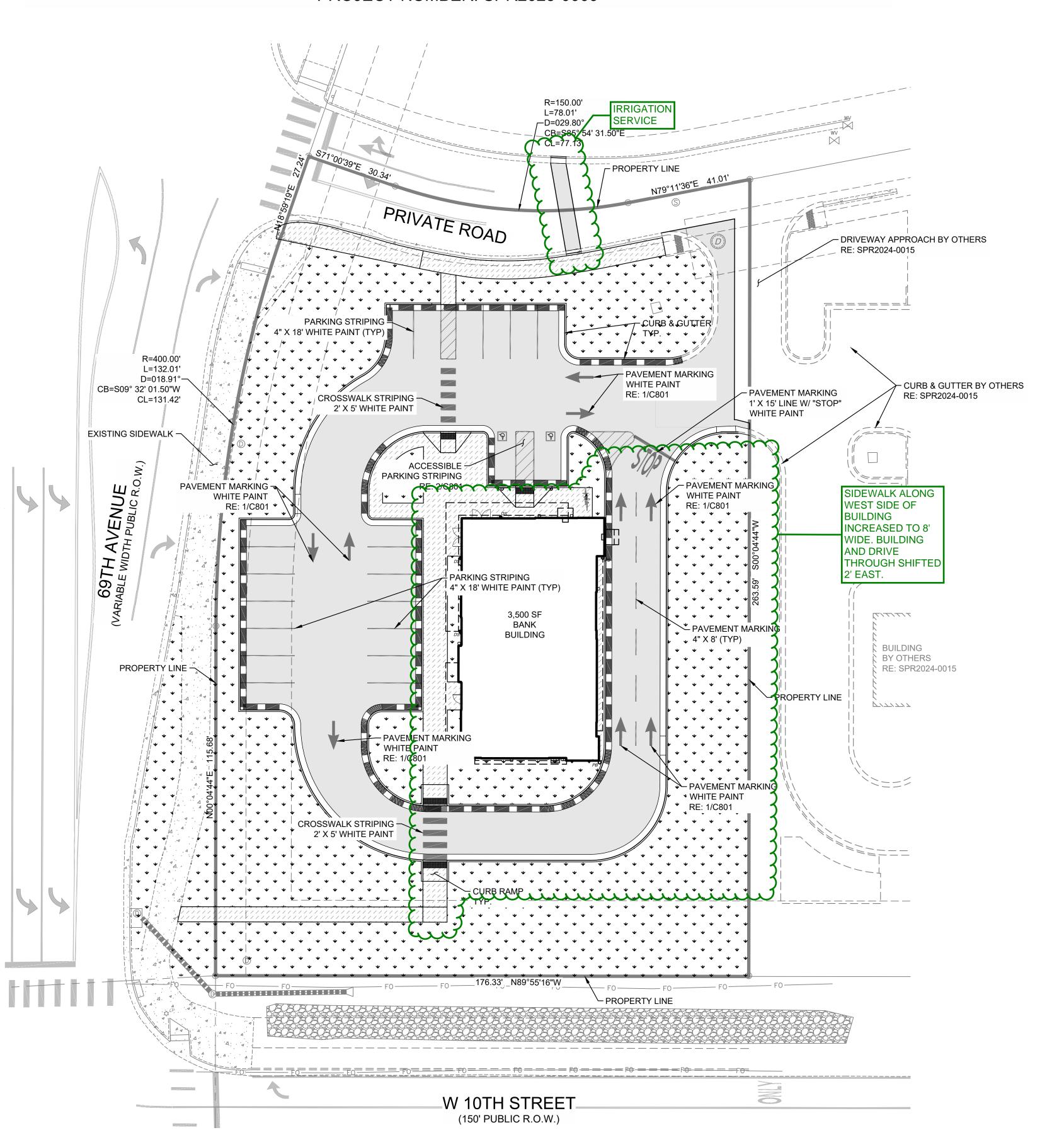
		Recommended Pavement Thicknesses (Inches)				
Traffic Area	Alternative	Asphaltic Concrete Surface	Portland Cement Concrete	Aggregate Base Course	Total	
Automobile Parking (NAPA Class I	А	4		6	10	
and ACI Category A)	В	-	5	4 1	9	
Main Traffic Corridors	А	6	-	6	12	
(NAPA Class II and ACI Category A)	В		6	4 1	10	
1. Although r				inch thick aggregat) pavements to he		

PAVEMENT SECTIONS FROM THE GEOTECHNICAL ENGINEERING REPORT FOR WELLS FARGO - GREELEY, BY TERRACON, DATED FEBRUARY 6, 2025



CAUTION NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



englewood, co 80112

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DATE 05/22/2025
PROJECT NO. 2475038
SHEET NAME

PAVING PLAN
SHEET NO.

C400

GENERAL GRADING NOTES:

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN

ALL BENCHMARKS, CONTROL POINTS, PROPERTY MARKERS, AND RIGHT-OF-WAY MONUMENTS DISTURBED OR DESTROYED SHALL BE RESET UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF COLORADO. ALL

THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.

TOPSOIL SHALL BE STRIPPED TO A DEPTH WHERE SOIL IS FREE OF ROOTS AND

REFERENCE GEOTECHNICAL ENGINEERING REPORT BY TERRACON DATED FEB. 6,

UNDERCUTTING OF SOFT SPOTS AND PLACEMENT OF EARTHWORK IS GOVERNED

PERFORMED BY A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THAT THE SOFT

IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, AS DETERMINED BY THE

GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL FURNISH SUITABLE BORROW

STRIPPING, PROOFROLLING, SUBGRADE SCARIFICATION, COMPACTION, AND FILL

ACCORDING TO THE GEOTECHNICAL REPORT. EMBANKMENT BENEATH BUILDING

PADS OR FOR PAVING SUBGRADE SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT

(8) INCHES AND COMPACTED TO A MINIMUM OF 98% AND 95% STANDARD PROCTOR

SPECIFIED THEREIN, CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN

EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF

FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.

10. PAVING CONTRACTOR IS RESPONSIBLE TO REVIEW ALL FIELD ESTABLISHED GRADES

. CONTRACTOR SHALL COORDINATE AND PROVIDE ALL STAKING NECESSARY TO

OR NOT SHOWN ON THE CIVIL ENGINEER'S PLANS.

APPLICABLE ACCESSIBLE DESIGN GUIDELINES.

POSITIVE SITE DRAINAGE.

GRADES ON ALL SIDES.

WATER SHALL BE TRAPPED.

COMPLETION OF THE PROJECT.

EXISTING STRUCTURE AS NECESSARY

ENSURE CONNECTION AT STRUCTURE IS WATER TIGHT.

INSTALLATIONS.

DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK

PRIOR TO PLACEMENT OF MATERIALS SO AS TO PROVIDE POSITIVE DRAINAGE IN ALL

INSTALL CONDUITS SUFFICIENT FOR UTILITY AND IRRIGATION SERVICES WHETHER

12. GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR

13. CONTRACTOR IS RESPONSIBLE TO MEET AND MATCH NEW PAVEMENT WITH EXISTING

ADJACENT PAVEMENT AREAS. THE TRANSITION BETWEEN THIS SITE AND ADJACENT

SITES MUST BE SMOOTH AND MONOLITHIC. ALL GRADING MUST MEET AND MATCH

ACCESSIBLE ROUTES AND SIDEWALKS ARE NOT TO EXCEED 5% RUNNING SLOPE

TO EXCEED 2% SLOPE IN ANY DIRECTION. ALL RAMPS SHALL COMPLY WITH THE

15. ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.

16. LANDSCAPE ISLANDS TO BE FILLED WITH SOIL SUITABLE FOR VEGETATION. THE

(EXCEPT AT RAMPS) AND 2% CROSS. ACCESSIBLE PARKING AND ACCESS AISLES NOT

CONTRACTOR WILL ENSURE THAT NO PONDING WILL OCCUR AT LANDSCAPE ISLANDS.

ALL SURFACE WATER MUST DRAIN AROUND THE ISLAND WITH POSITIVE SLOPE. NO

CONTRACTOR SHALL MEET AND MATCH TOP OF JUNCTION BOXES/MANHOLES OR

UTILITIES NOT IN PAVED AREAS, INCLUDING BUT NOT LIMITED TO JUNCTION

BOX/MANHOLE LIDS, WATER METER LIDS, AND SEWER CLEANOUTS, ARE TO BE

ADJUSTED BY THE UTILITY CONTRACTOR TO CONFORM TO LANDSCAPING SOD

18. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS FOR THE EXACT

DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND DOWNSPOUTS.

EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS AT THE

20. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, 17

MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND

23. UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL AND SHALL BE PERMANENTLY STABILIZED WITH SEED OR

24. REMOVE ALL TREES (INCLUDING ROOTBALLS), GRASS, WEEDS, ROOTS, AND OTHER

25. EXISTING TREES WHERE INDICATED SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND ALL

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION

AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY

COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY

LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION

COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR

TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY

SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE

21. ALL STORM PIPE ENTERING CONCRETE STRUCTURES SHALL BE GROUTED TO

22. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL

BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.

DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.

GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES.

CAUTION

NOTICE TO CONTRACTOR

LOCATIONS AND DIMENSIONS OF ENTRY, EXIT PORCHES, PRECISE BUILDING

19. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED.

CLEANOUTS WITH FINISHED PAVING GRADES. FINAL GRADES OF ABOVE SURFACE

PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT

DENSITY, RESPECTIVELY, AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE

CONSTRUCTION IN THE BUILDING AND PAVING AREAS SHALL BE PERFORMED

FIRST BY THE GEOTECHNICAL REPORT. OBSERVATION AND TESTING SHALL BE

SPOTS ARE PROPERLY OVEREXCAVATED AND REPLACED OR STABILIZED.

WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR

ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.

2025 FOR COMPLETE PAVING AND SUBGRADE RECOMMENDATIONS. CIVIL ENGINEER

INSTALLED, INSPECTED, AND APPROVED BY LOCAL AUTHORITIES.

SURVEYING COSTS SHALL BE THE CONTRACTOR'S

Know what's **below**.

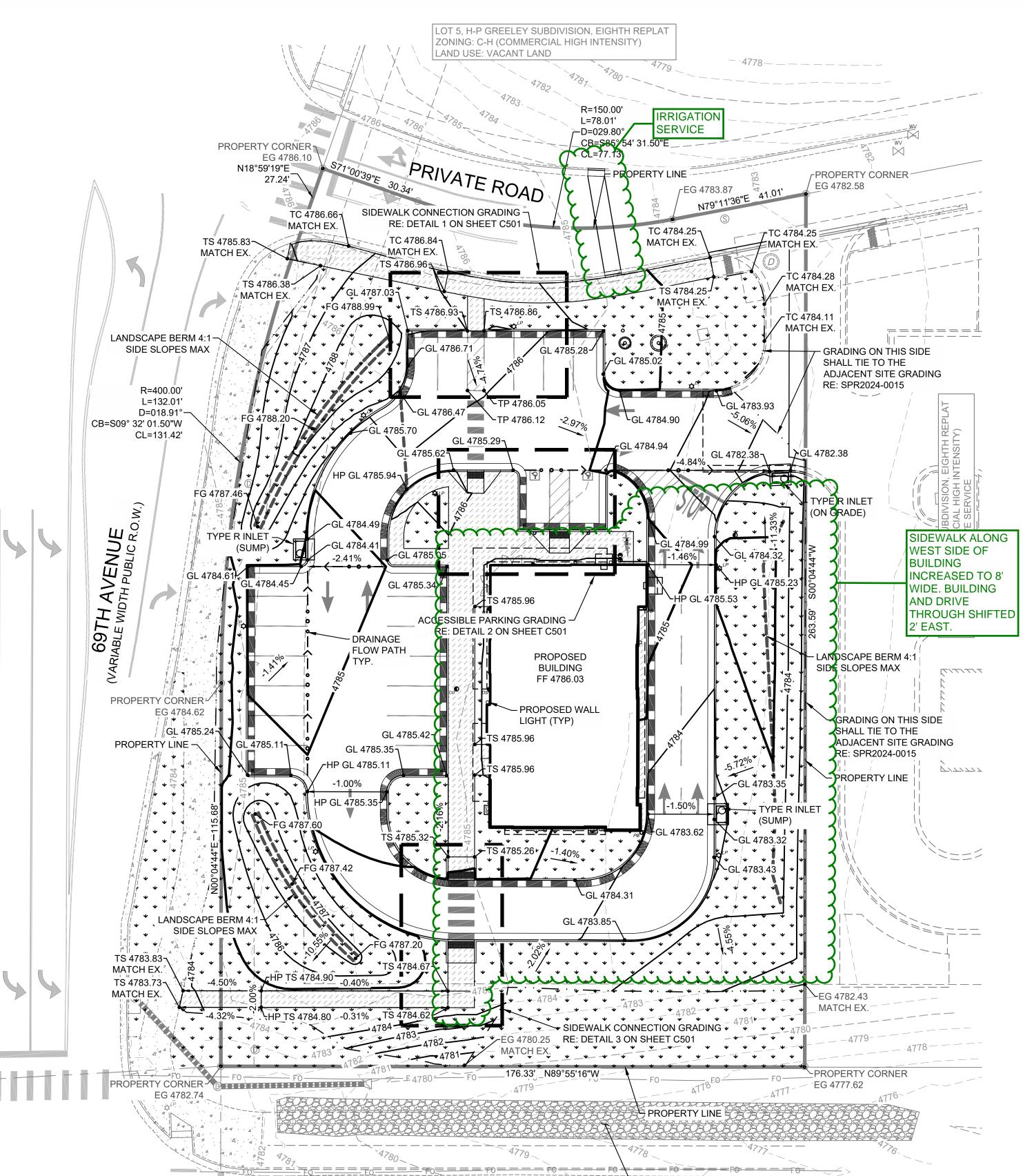
Call before you dig.

WELLS FARGO - GREELEY CIVIL CONSTRUCTION DOCUMENTS

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT, SITUATED IN THE SOUTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO 1.02 ACRES

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PROJECT NUMBER: SPR2025-0009



W 10TH STREET

(150' PUBLIC R.O.W.)

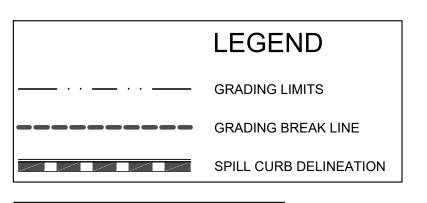
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- EXISTING RIPRAP CHANNEL

TO REMAIN UNDISTURBED

UNANTICIPATED SOIL CONDITIONS

- IF UNSUITABLE BEARING MATERIALS ARE ENCOUNTERED AT THE SPECIFIED SUBGRADE DEPTHS, THE CONTRACTOR SHALL NOTIFY THE OWNER. SOIL SUBGRADES WHICH ARE UNSTABLE DUE TO INADEQUATE CONSTRUCTION DEWATERING OR EXCESSIVE SUBGRADE DISTURBANCE ARE NOT DEEMED UNSUITABLE SOILS.
- FILL SOIL THAT IS NOT WITHIN +/- 2% OPTIMUM MOISTURE FOR COMPACTION OF THE PARTICULAR MATERIAL IN PLACE AS DETERMINED BY THE OWNER'S REPRESENTATIVE AND IS DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION OPERATIONS SO THAT PROPER COMPACTION CANNOT BE REACHED SHALL NOT BE CONSTRUED AS UNSUITABLE BEARING MATERIAL.
- 3. THE CONTRACTOR SHALL FOLLOW A CONSTRUCTION PROCEDURE WHICH PERMITS VISUAL IDENTIFICATION OF FIRM NATURAL GROUND.
- SURFACE RUNOFF: SURFACE WATER ON AND AROUND THE SITE SHALL BE COLLECTED INTO LOCAL SUMPS BY MEANS OF TRENCHES, PIPES, ETC., AND PUMPED INTO THE STORM WATER SYSTEM. USE APPROPRIATE FILTRATION OR SEDIMENTATION TO PREVENT PUMPING OF SUSPENDED SOLIDS INTO THE STORM SEWER. A PERMIT MUST BE OBTAINED FOR SUCH PUMPING.
- 5. DEWATERING OF TRENCHES AND EXCAVATIONS: TRENCHES AND EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER AT ALL TIMES. PUMPING IS TO BEGIN AS SOON AS WATER BEGINS TO ACCUMULATE AND IS TO CONTINUE UNTIL WATER IS REMOVED.



TOTAL DISTURBED AREA:

0.90 ACRES

ABBREVIATIONS

- EG EXISTING GRADE
- FF FINISHED FLOOR FG FINISHED GRADE
- FL FLOWLINE
 GL GUTTER LINE
 HP HIGH POINT
- LP LOW POINT TBK TOP OF BANK
- TC TOP OF CURB
 TG TOP OF GRATE
- TOE TOE OF BANK
 TP TOP OF PAVEMENT
- TR TOP OF RIM
- TS TOP OF SIDEWALK
 TW TOP OF WALL

NOTE.

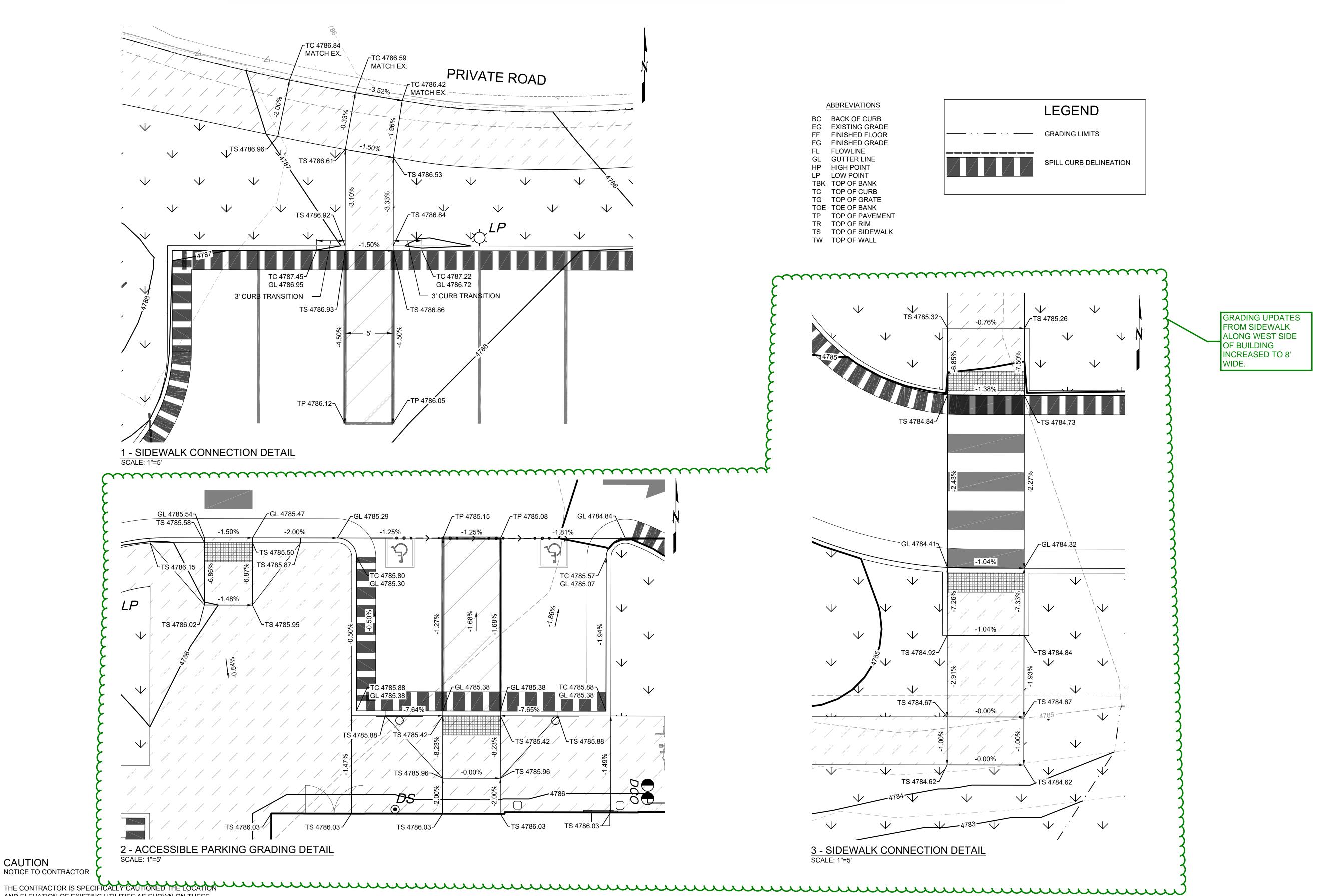
A COLORADO STORMWATER DISCHARGE PERMIT (CDPS/COR400000) AND A CITY OF GREELEY LAND GRADING PERMIT WILL BE REQUIRED PRIOR TO CONSTRUCTION



WELLS FARGO - GREELEY CIVIL CONSTRUCTION DOCUMENTS

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT, SITUATED IN THE SOUTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO 1.02 ACRES

PROJECT NUMBER: SPR2025-0009



Know what's below. Call before you dig.

CAUTION NOTICE TO CONTRACTOR

AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

tructural · civil · landscape · survey 9800 pyramid court, suite 350 englewood, co 80112 303.350.1690 · 800.364.5858

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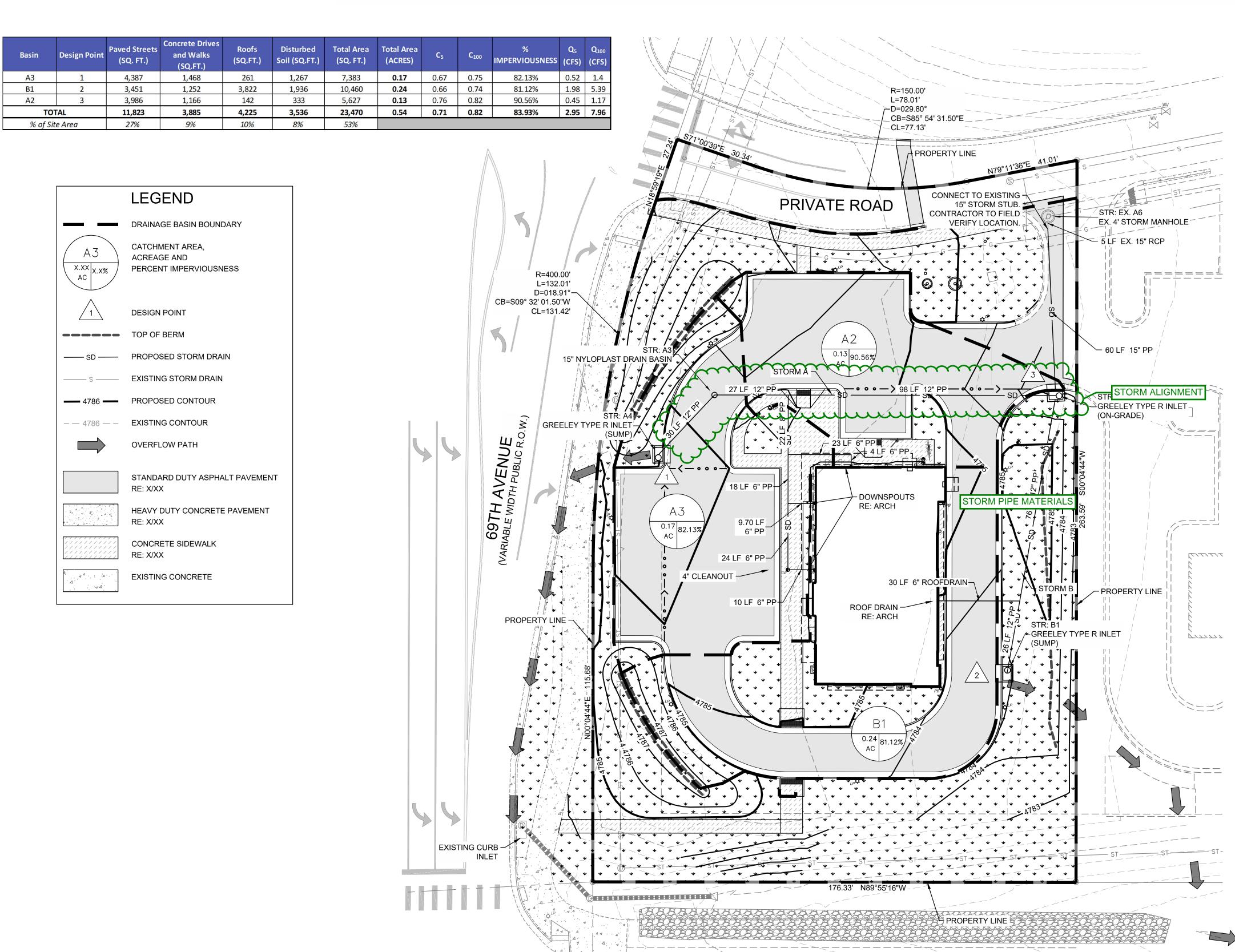
GRADING **DETAILS**

SHEET NO.

PROJECT NUMBER: SPR2025-0009

W 10TH STREET

(150' PUBLIC R.O.W.)



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NOTE

THIS STORM DRAINAGE PLAN SHOWS THE SUB-BASINS TRIBUTARY TO ONSITE STORM DRAINAGE APPLIETENANCES ONLY

GENERAL STORM SEWER NOTES

- ALL PIPING SHALL BE INSTALLED WITH A MINIMUM OF 30" OF COVER, UNLESS NOTED OTHERWISE. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. UTILITY TRENCH DETAIL RE: C800
- 2. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED WITH NON SHRINK GROUT TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- ALL STORM SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT GREELEY STANDARD CONSTRUCTION SPECIFICATIONS.
- . THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- THE CONTRACTOR SHALL NOTIFY THE GREELEY PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
- MANHOLES AND APPURTENANCE DETAILS SHALL BE APPROVED BY THE CITY ENGINEER BEFORE CONSTRUCTION IS STARTED.
- ALL STORM SEWER MAIN PIPE SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE), ADS N-12, OR EQUIVALENT, CORRUGATED, SMOOTH INTERIOR PLASTIC PIPE.
- ALL STORM SEWER PIPE AND FITTINGS TO INTERIOR AREA INLETS SHALL BE
- POLYVINYL CHLORIDE (PVC), SDR 35, SOLID WALL PLASTIC PIPE.

 10. IF REINFORCED CONCRETE PIPE (RCP) IS USED, IT SHALL CONFORM TO ASTM C-76 CLASS III, WALL "B", UNLESS OTHERWISE NOTED. OMNI-FLEX JOINTS SHALL BE
- REQUIRED ON ALL REINFORCED CONCRETE PIPE.
- 11. STORM SEWER BEDDING, BACKFILL, AND COMPACTION SHALL BE IN ACCORDANCE WITH GREELEY STANDARD DRAWINGS.
- 2. ALL STORM SEWER LINES NOT UNDER PAVING SHALL BE LAID IN TYPE A AGGREGATE BEDDING TO A MINIMUM DEPTH OF 12 INCHES ABOVE THE TOP OF PIPE. THE TRENCH MAY BE BACKFILLED WITH COMPACTED SOIL UPON APPROVAL BY THE INSPECTOR.
- 3. STORM SEWER LINES LOCATED UNDER PAVED STREETS SHALL BE LAID IN TYPE A AGGREGATE BEDDING AND THE TRENCH COMPLETELY FILLED TO SUBGRADE WITH TYPE A AGGREGATE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- 14. PIPE BACKFILL SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES, AND COMPACTED BY VIBRATORY PLATE OR OTHER METHOD APPROVED BY THE ENGINEER
- 5. PAVING SUBGRADE SHALL BE RESTORED TO PROPER GRADE (+ OR 0.1 FT) AND DENSITY AFTER PIPE IS BACKFILLED.
- 3. ALL PRECAST MANHOLES SHALL HAVE ADJUSTABLE TOP RIMS PROVIDING SIX (6) INCHES, PLUS OR MINUS, FOR ADJUSTMENT TO FINAL GRADES. ELEVATIONS SHOWN ON PLANS MAY BE ADJUSTED WHILE THE WORK IS IN PROGRESS TO CONFORM TO FINAL IN-PLACE PAVING AND LANDSCAPE GRADES.
- 17. THE UTILITY CONTRACTOR ASSUMES THE RISK OF ORDERING PRECAST CONCRETE COMPONENTS PRIOR TO FIELD STAKING AND REVIEW OF FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
- 8. VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS THE WORK IS COMPLETED.

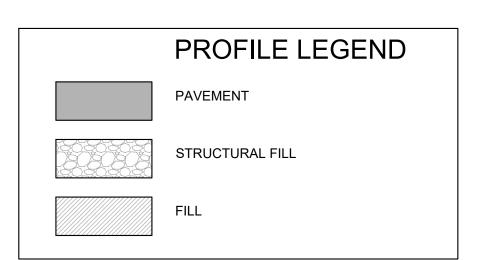


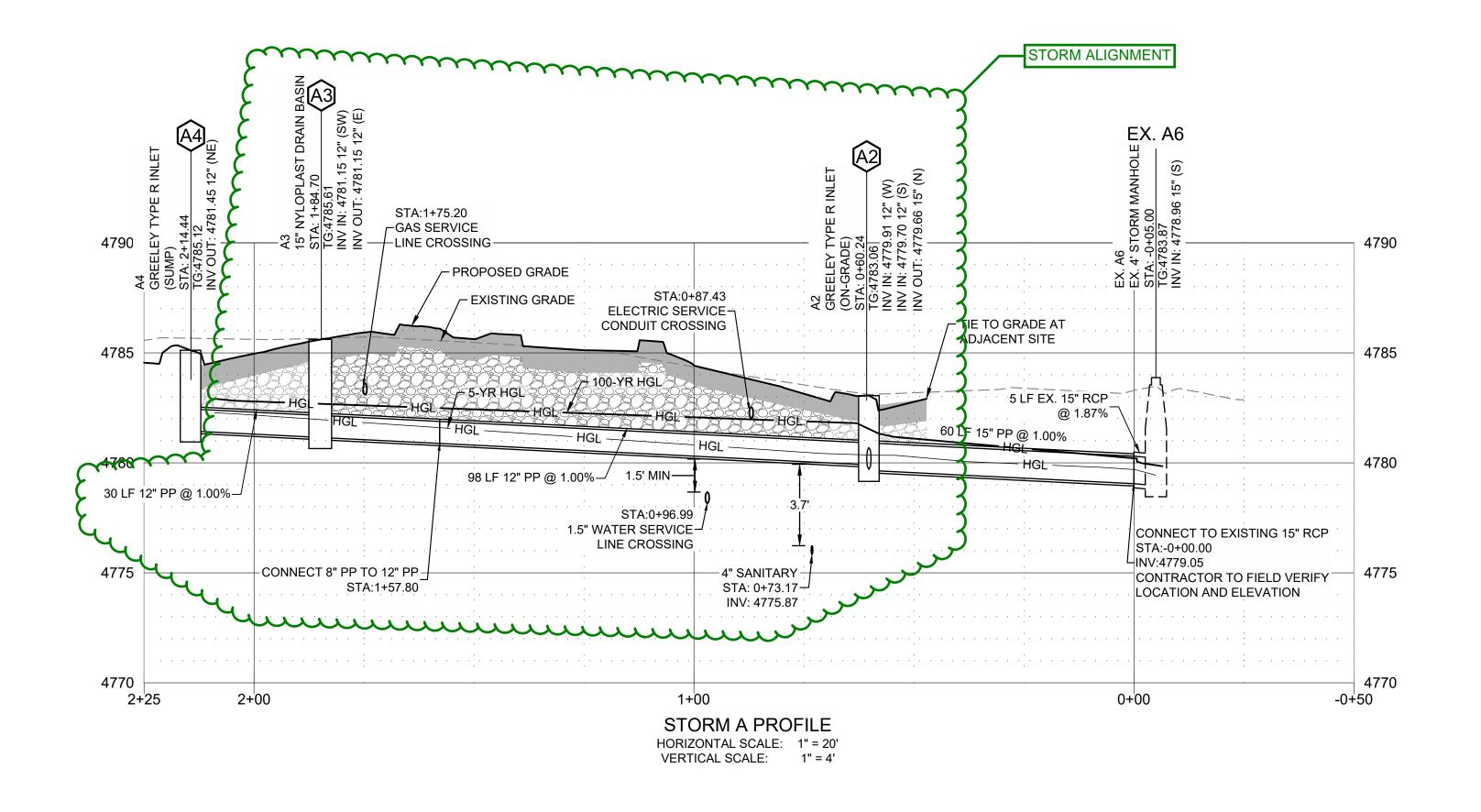
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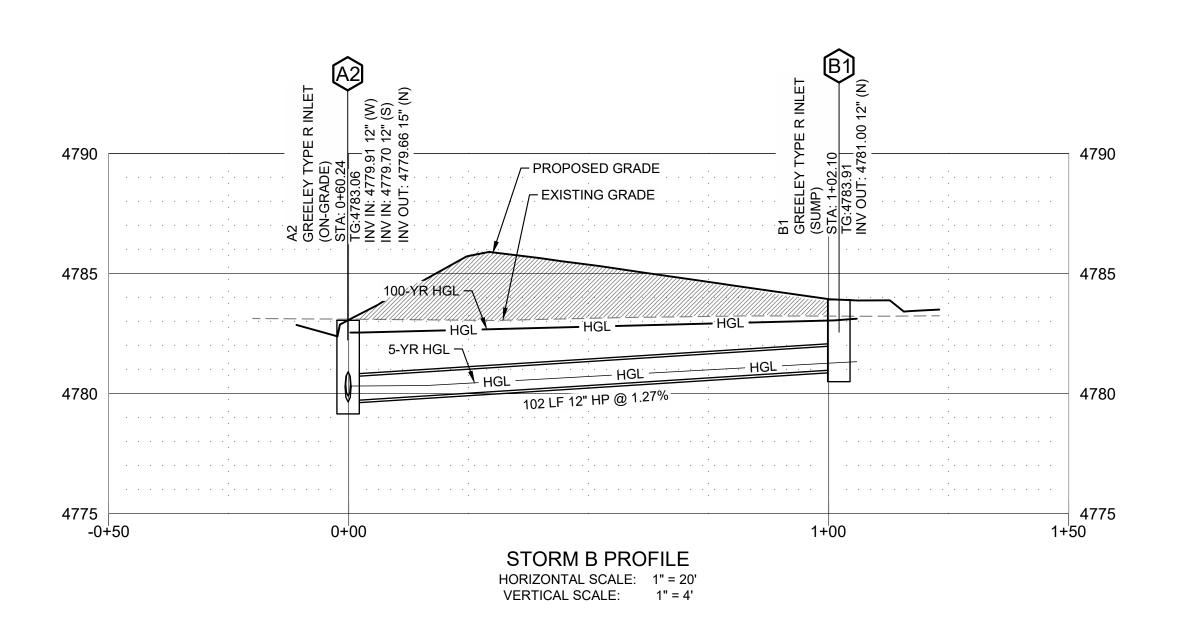


PROJECT NUMBER: SPR2025-0009





STORM PIPE MATERIALS



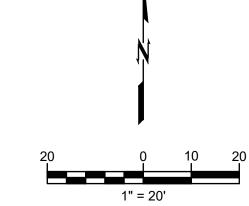


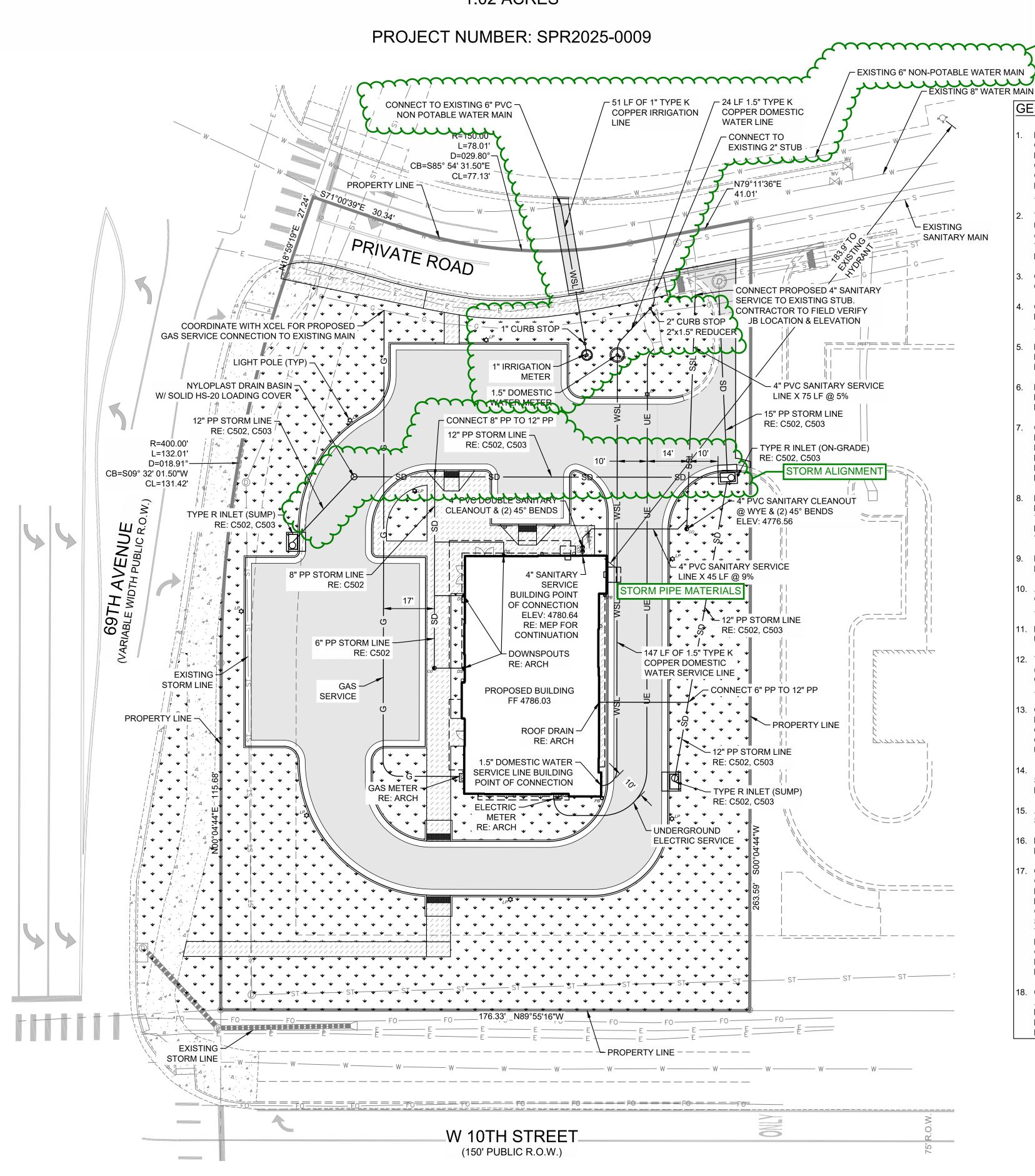
CAUTION NOTICE TO CONTRACTOR

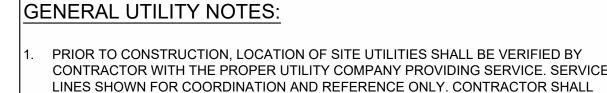
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STORM PROFILES
SHEET NO.

C503







RRIGATION AND

AND SPECIFICATIONS.

DOMESTIC SERVICES

THIS PLAN DEPICTS THE INTENT OF PRIVATE AND FRANCHISE UTILITY ROUTINGS AS UNDERSTOOD DURING DESIGN PHASES OF THE PROJECT. IT IS THE OWNER/DEVELOPER'S RESPONSIBILITY TO NEGOTIATE ALL CONTRACTS FOR SERVICE WITH EACH INDIVIDUAL UTILITY COMPANY AND TO PROVIDE THE ENGINEER WITH ANY DOCUMENTS THAT MAY AFFECT THE LAYOUT.

COORDINATE WITH ALL SERVICE PROVIDERS (TELECOMMUNICATIONS, ELECTRIC

GAS, ETC.) PRIOR TO INSTALLING SERVICE LINES OR APPURTENANCES. CONTRACTO

IS TO COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENT

- . CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS BEFORE CONNECTING TO ANY EXISTING LINE IN ACCORDANCE WITH LOCAL REQUIREMENTS
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- 5. NOT ALL EXISTING UNDERGROUND UTILITIES MAY BE SHOWN ON THIS PLAN. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY ARE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO CONSTRUCTION.
- RESTRAINED JOINTS SHALL BE PROVIDED ON 4" AND LARGER WATER LINES AT ALL BENDS TEES AND FIRE HYDRANTS FOR A MINIMUM 2 JOINTS BOTH SIDES OF FITTING PER AWWA MINIMUM STANDARDS.
- 7. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. TERMINATE SERVICE PIPING 5' FROM BUILDING WALL UNTIL BUILDING PIPING SYSTEMS ARE INSTALLED. TERMINATE PIPING WITH VALVE AND CAP PLUG OR FLANGE AS REQUIRED FOR PIPING MATERIAL. MAKE CONNECTIONS TO BUILDING PIPING SYSTEMS WHEN THOSE SYSTEMS ARE INSTALLED.
- REFER TO PLUMBING AND/OR FIRE PROTECTION SHEETS FOR FIRE LINE LEAD-IN LOCATION AND DETAIL. CONTRACTOR SHALL UTILIZE AWWA AND FACTORY MUTUAL TEST AND CERTIFICATIONS FOR ALL UNDERGROUND FIRE PROTECTION LINES AS A MINIMUM. LOCAL OR STATE AUTHORITIES MAY REQUIRE MORE STRINGENT TESTING WHICH SHALL BE PROVIDED BY THE GC IF REQUIRED.
- 9. FIRE LINE BACKFLOW PREVENTER (DOUBLE CHECK ASSEMBLY) SHALL BE LOCATED INSIDE THE BUILDING.
- 0. ALL PIPING SHALL BE INSTALLED WITH A MINIMUM OF 30" OF COVER, UNLESS NOTED OTHERWISE. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. UTILITY TRENCH DETAIL RE: C800.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR CONTINUATION OF UTILITIES AT BUILDING.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL CONDUITS (INCLUDING IRRIGATION SLEEVES) PRIOR TO PAVING WHETHER OR NOT SHOWN ON CIVIL PLANS. THE CONTRACTOR SHALL INSTALL ALL CONDUITS WITH A PULL STRING. ALL CONDUIT SHALL BE SCH. 40 PVC, UNLESS NOTED OTHERWISE.
- 3. CONSTRUCT CLAY TRENCH PLUG THAT EXTENDS AT LEAST 5 FEET OUT FROM THE FACE OF THE BUILDING EXTERIOR. THE PLUG MATERIAL SHALL CONSIST OF CLAY COMPACTED AT A WATER CONTENT AT OR ABOVE THE SOIL'S OPTIMUM WATER CONTENT. THE CLAY FILL SHALL BE PLACED TO COMPLETELY SURROUND THE UTILITY LINE AND BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR DENSITY
- 14. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- 15. ALL STORM PIPE ENTERING CONCRETE STRUCTURES SHALL BE GROUTED WITH NON SHRINK GROUT TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- 16. PROVIDE SLEEVE WITH LINK-SEAL (OR APPROVED EQUAL) AT GRADE BEAM PENETRATION LOCATIONS (RE: STRUCTURAL FOR DETAIL).
- 7. CONTRACTOR SHALL REFER TO ELECTRICAL SITE PLAN OR PHOTOMETRIC PLAN (BY OTHERS) FOR ALL SITE LIGHTING CONSTRUCTION DETAILS, REQUIREMENTS, AND FINAL POLE LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ALL NECESSARY ADJUSTMENTS TO POLE LOCATIONS AS NECESSARY TO AVOID OBSTRUCTIONS (I.E.. UNDERGROUND UTILITIES, SIDEWALKS, ETC...). CONTRACTOR SHALL POT HOLE EACH LOCATION WHERE A NEW LIGHT POLE IS TO BE PLACED PRIOR TO CONSTRUCTION TO VERIFY THERE ARE NO CONFLICTS WITH EXISTING UTILITIES. IF DAMAGES OCCUR TO EXISTING UTILITIES THEY WILL REPLACE OR REPAIR AT THEIR OWN EXPENSE. POLE LOCATIONS MAY NOT BE ADJUSTED WITHOUT PRIOR APPROVAL FROM THE ENGINEERS SINCE A CHANGE IN LOCATION CAN IMPACT THE INTENDED PHOTOMETRIC DESIGN.
- 18. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF ANY PROPOSED SIGN(S) AND INSTALLATION OF ANY SECURITY CAMERAS WITH OWNER'S CONSTRUCTION MANAGER. COORDINATE WITH ELECTRICAL SITE PLAN TO PROVIDE ALL CONDUIT NEEDED FOR DATA AND/OR POWER TO SITE SIGN(S), SECURITY CAMERAS, AND LIGHT POLES.



CAUTION NOTICE TO CONTRACTOR

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MASTER

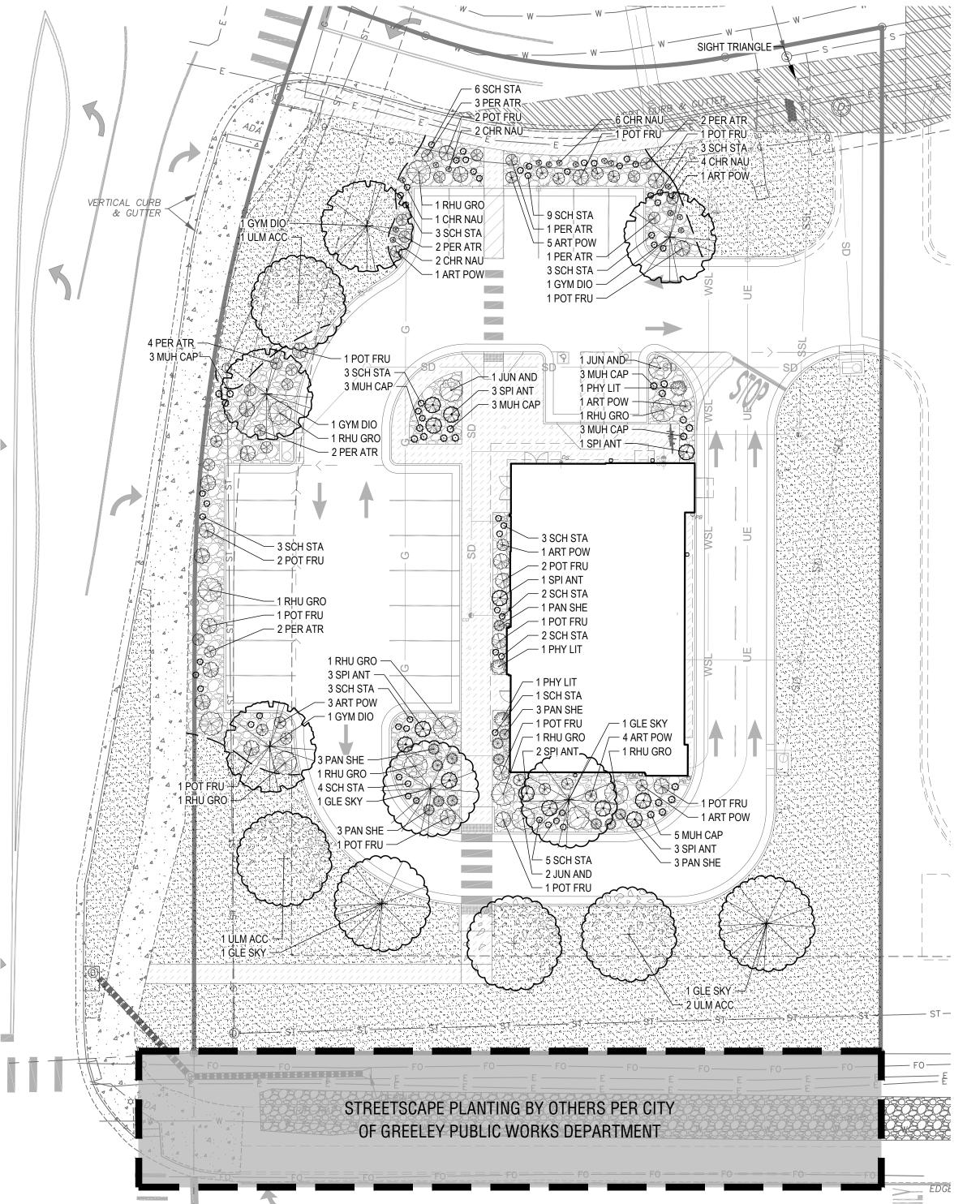
UTILITY PLAN

SHEET NO.

WELLS FARGO - GREELEY SITE PLAN

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT, SITUATED IN THE SOUTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO 1.02 ACRES

PROJECT NUMBER: SPR2025-0009



	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	WATER USE	MATURE HEIGHT	MATURE WIDTH
TREES									
INLLO	GLE SKY	4	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE'	2.5" CAL.	B&B		LOW	40 - 65FT. HT.	25 - 40FT. W.
_	GYM DIO	4	SKYLINE HONEY LOCUST GYMNOCLADUS DIOICA	2" CAL.	B&B		LOW - MEDIUM	40 - FFT. HT.	40 - 65FT. W.
}	ULM ACC	4	KENTUCKY COFFEETREE ULMUS X `MORTON` ACCOLADE™ ELM	2.5" CAL.	B&B		MEDIUM	40 - 65FT. HT.	25 - 40FT. W.
SHRUBS									
	CHR NAU	15	CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS DWARF BLUE RABBITBRUSH	#5	CONTAINER		VERY LOW - LOW	18 - 36IN. HT.	1 - 3FT. W.
	JUN AND	4	JUNIPERUS HORIZONTALIS `ANDORRA`	#5	CONTAINER	2`-6" O.C.	MEDIUM	6 - 18IN. HT.	3 - 6FT. W.
	PHY LIT	3	ANDORRA JUNIPER PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM	#5	CONTAINER	4'-0" O.C.	LOW - MEDIUM	3 - 6FT. HT.	3 - 6FT. W.
	POT FRU	22	LITTLE DEVIL DWARF NINEBARK POTENTILLA FRUTICOSA 'GOLDFINGER'	#5	CONTAINER	5`-0" O.C.	MEDIUM	18 - 36IN. HT.	3 - 6FT. W.
	RHU GRO	11	GOLDFINGER BUSH CINQUEFOIL RHUS AROMATICA 'GRO-LOW'	#5	CONTAINER	9'-0" O.C.	VERY LOW - MEDIUM	18 - 36IN. HT.	3 - 1FT. W.
	SPI ANT	13	GRO-LOW FRAGRANT SUMAC SPIRAEA X BUMALDA 'ANTHONY WATERER' ANTHONY WATERER SPIREA	#5	CONTAINER	5`-0" O.C.	LOW - MEDIUM	3 - 6FT. HT.	1 - 3FT. W.
GRASSES									
	MUH CAP	20	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	#1	CONTAINER	3`-0" O.C.	LOW	18 - 36IN. HT.	1 - 3FT. W.
	PAN SHE	13	PANICUM VIRGATUM 'SHENANDOAH'	#3	CONTAINER	3`-6" O.C.	LOW - MEDIUM	3 - 6FT. HT.	1 - 3FT. W.
کے	SCH STA	55	SHENANDOAH SWITCH GRASS SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' STANDING OVATION LITTLE BLUESTEM	#3	CONTAINER	3`-0" O.C.	LOW - MEDIUM	3 - 6FT. HT.	1 - 3FT. W.
PERENNIA	1 S								
LINEININI	ART POW	18	ARTEMISIA X 'POWIS CASTLE'	#5	CONTAINER	4'-0" O.C.	LOW	18 - 36IN. HT.	3 - 6FT. W.
	PER ATR	18	POWIS CASTLE ARTEMISIA PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' LITTLE SPIRE RUSSIAN SAGE	#5	CONTAINER	4'-0" O.C.	VERY LOW	18 - 36IN. HT.	1 - 3FT. W.
SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SIZE	CONTAINER	<u>SPACING</u>	WATER USE	MATURE HEIGHT	MATURE WIDTH
GROUND C	COVERS								
	STNE 01	4.104 SF	1 1/2" DECORATIVE ROCK						
	TURF	16,134 SF	BUFFALO GRASS SEED				LOW - MEDIUM	< 6IN. HT.	
	10111	10,107 01	LEGACY BUFFALO GRASS				LOVY - IVILUIUIVI	VIIII. III.	

CITY OF GREELEY, CO - LANDSCAPE STANDARDS

SECTION 24-802-1 STREETSCAPE REQUIREMENTS REQUIRED: 1 SHADE TREES PER 35 LF OF LOT FRONTAGE W 10TH ST (U.S. HWY 34): 176 LF / 35 = 5

PROVIDED: TREES BY OTHERS SECTION 24-802-1 FRONTAGE AND FOUNDATION REQUIREMENTS

REQUIRED: 1 SHADE TREES PER 50 LF OF NON-RESIDENTIAL LOT FRONTAGE. IF BUILDINGS ARE SETBACK MORE THAN 10 FT. 1 FOR 1 EVERGREEN SUBSTITUTION UP TO 50% OF REQUIREMENT. 69TH AVE: 247 LF / 50 = 5 TREES

W 10TH ST (U.S. HWY 34): 176 LF / 50 = 4 TREES

*ALTERNATIVE COMPLIANCE: UTILITY CONFLICTS PRESENT ALONG 69TH AVE

REQUIRED: 4 SHRUBS PER 25 LF OF BUILDING FOUNDATION. 3 GRASSES OR LARGE PERENNIALS CAN BE SUBSTITUTED UP TO 50% OF THE REQUIREMENT. 252 LF / 25 LF x 4 SHRUBS = 40 SHRUBS

PROVIDED: 22 SHRUBS + 31 GRASSES + 7 LARGE PERENNIALS

SECTION 24-802-1 PARKING REQUIREMENTS

REQUIRED: 1 TREE PER 5 PARKING SPACES. 2 FOR 1 EVERGREEN AND ORNAMENTAL TREE SUBSTITUTION UP TO 50% OF THE REQUIREMENT. 22 SPACES / 5 = 5 SHADE TREES

PROVIDED: 5 SHADE TREES

40' NORTH

0' 10' 20'

REQUIRED: 8 SHRUBS PER 25 LF OF ANY EXTERIOR EDGE WITHIN 20 FT OF R.O.W. OR SIDEWALK.

3 ORNAMENTAL GRASSES CAN BE SUBSTITUTED FOR EACH SHRUB UP TO 50% OF THE REQUIREMENT

204 LF OF EXTERIOR EDGE / 25 = 8.16 x 8 SHRUBS = 65 SHRUBS PROVIDED: 42 SHRUBS + 57 GRASSES + 33 LARGE PERENNIALS

PLANTING NOTES

- 1. CONTRACTOR TO ASCERTAIN LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION AND BE RESPONSIBLE FOR DAMAGE RESULTING FROM PLANTING OPERATIONS. REPAIRS SHALL BE MADE AT NO COST TO THE OWNER
- 2. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN ON THE SURVEY. CONTACT THE LOCAL UTILITY LOCATION SERVICES PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
- 3. ALL AREAS NOTED AS "TURF" ON PLAN, AND ALL OTHER AREAS ON SITE WHICH ARE NOT OTHERWISE DESIGNATED AND ARE DAMAGED BY CONSTRUCTION, ARE TO BE PLANTED WITH SUNDANCER BUFFALO GRASS SEED. REFER SEEDING NOTES FOR MORE INFORMATION.
- 4. ALL PLANTING BEDS THAT ABUT LAWN AREAS TO BE BORDERED BY STEEL
- 5. FINISH GRADE FOR SHRUB, GROUND COVER, AND LAWN AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENT AND CURBS UNLESS OTHERWISE NOTED ON DRAWINGS.
- FIELD STAKE LOCATIONS OF PROPOSED TREES FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO DELIVERY OF TREES.
- 7. BY SUBMITTING A BID, THE CONTRACTOR ACKNOWLEDGES HAVING VISITED THE SITE AND BECOME FAMILIAR WITH THE CONDITIONS RELATED TO THE INSTALLATION OF SITE IMPROVEMENTS.

SEEDING NOTES

- SEEDING TO BE INSTALLED PER SUPPLIER'S RECOMMENDATIONS. 2. IDEAL PLANTING TIME IS JUNE 1 TO JULY 31 WHEN SOIL TEMPERATURES ARE 65
- DEGREES OR GREATER.
- 3. SEED AT A DEPTH OF 0.25-0.50 INCHES.
- 4. APPLY AT A RATE OF 3 LBS PER 1,000 SQUARE FEET OF AREA.
- 5. APPLY A CONTROLLED-RELEASE OR ORGANIC FERTILIZER AT PLANTING. APPLY AT A RATE OF 0.1-0.2 POUNDS OF NITROGEN PER 1,000 SQUARE FEET OF AREA DURING THE ESTABLISHMENT PERIOD. DO NOT FERTILIZE AFTER MID-AUGUST.
- 6. AFTER ESTABLISHMENT FERTILIZE ONCE OR TWICE IN JUNE OR JULY WHEN GRASS IS GROWING VIGOROUSLY. APPLY 1 POUND OF NITROGEN PER 1,000 SQUARE FEET.
- 7. MAINTENANCE SCHEDULE TO BE DETERMINED BY LANDSCAPE CONTRACTOR.
- 8. SUPPLIER'S RECOMMENDED MOWING FREQUENCY IS 6 TIMES PER YEAR OR LESS.

GENERAL NOTES

- 1. A LAWN WATERING VARIANCE IS REQUIRED FOR THE INSTALLATION, REPLACEMENT, PATCHING, OR RENOVATION OF ANY LAWN AREA 250 SQ.FT. OR MORE. PROOF OF COMPOST AND SEED OR SOD INSTALLED MUST BE SUBMITTED. APPLICATION INFORMATION AND SUBMISSION IS MANAGED BY GREELEY WATER CONSERVATION.
- 2. PER GREELEY MUNICIPAL CODE CHAPTER 8, SECTION 24-801(B) AND 24-804(E)(3) - LANDSCAPE STANDARDS, SOIL AMENDMENT VERIFICATION DOCUMENTATION AND RECEIPTS SHALL BE SUBMITTED TO THE WATER AND SEWER DEPARTMENT. WATER CONSERVATION PROGRAM PRIOR TO INSTALLATION OF PLANT MATERIAL, AND SHALL INCLUDE REVIEW OF ADHERENCE TO ALL CRITERIA AND PERFORMANCE STANDARDS. WRITTEN DOCUMENTATION REFLECTING APPROVED VOLUME, METHOD OF TILLING AND TYPE OF SOIL AMENDMENT IS REQUIRED.
- 3. THE OWNERS' ASSOCIATION, PROPERTY MANAGERS, PROPERTY OWNER, AND/OR TENANT SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS AND IRRIGATION SYSTEM IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PEST, WEEDS AND LITTER.
- 4. NO PLANT MATERIAL WITH MATURE GROWTH GREATER THAN THREE (3) FEET IN HEIGHT SHALL BE PLANTED WITHIN POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION OR STORM WATER EASEMENTS.
- 5. NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN TEN (10) FEET OF POTABLE AND NON-POTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, POTABLE WATER SANITY SEWER, NON-POTABLE IRRIGATION MAINS AND SERVICES, OR STORM WATER MAINS SERVICES, AND STRUCTURES.



1"=20'-0"

PLANTING PLAN

CAUTION NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

ructural · civil · landscape · survey 9800 pyramid court, suite 350 englewood, co 80112 303.350.1690 · 800.364.5858 5 683 DATE 05/23/2025 PROJECT NO. 2475038 SHEET NAME PLANTING PLAN

SHEET NO.

SHEET 6 OF 15