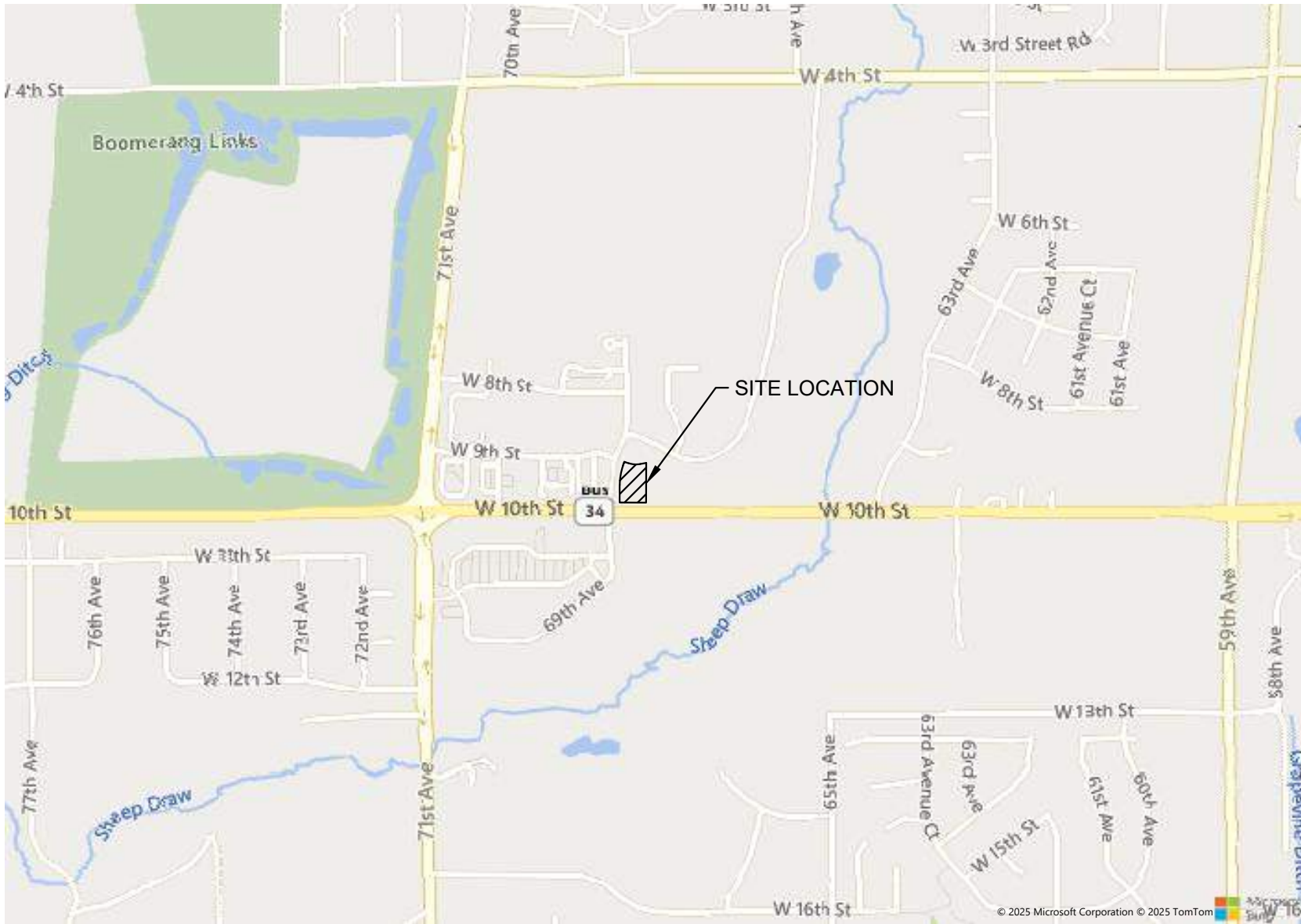


WELLS FARGO - GREELEY CIVIL CONSTRUCTION DOCUMENTS

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST ¼ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

PROJECT NUMBER: SPR2025-00009



SITE VICINITY MAP

SCALE: 1" = 1,000'

LEGEND

ABBREVIATIONS	LINETYPES	SYMBOLS
BC BACK OF CURB	_____	UTILITY POLE
BL BUILDING LINE	_____	LIGHT POLE
CL CENTERLINE	_____	GUY ANCHOR
EG EXISTING GRADE	_____	ELECTRIC BOX
FF FINISHED FLOOR	_____	ELECTRIC METER
FG FINISHED GRADE	_____	ELECTRIC TRANSFORMER
FL FLOWLINE	_____	A/C UNIT
GL GUTTER LINE	_____	ELECTRIC MANHOLE
HP HIGH POINT	_____	GAS METER
INV INVERT	_____	GAS VALVE
LF LINEAR FEET	_____	PROPERTY LINE
LP LOW POINT	_____	LOT LINE
RW RIGHT-OF-WAY	_____	BUILDING SETBACK
SF SQUARE FEET	_____	FIBER OPTIC
SY SQUARE YARDS	_____	OVERHEAD COMMUNICATION
TBK TOP OF BANK	_____	UNDERGROUND COMMUNICATION
TC TOP OF CURB	_____	OVERHEAD ELECTRIC
TG TOP OF GRATE	_____	UNDERGROUND ELECTRIC
TOE TOP OF BANK	_____	NATURAL GAS
TP TOP OF PAVEMENT	_____	SEWER FORCE MAIN
TR TOP OF RIM	_____	SANITARY SEWER MAIN
TS TOP OF SIDEWALK	_____	SANITARY SEWER SERVICE
TW TOP OF WALL	_____	DRAINAGE AREA, MAJOR
	_____	DRAINAGE AREA, MINOR
	_____	DRAINAGE FLOW PATH
	_____	STORM DRAINAGE PIPE
	_____	FIRE LINE
	_____	WATER LINE
	_____	WATER SERVICE LINE
	_____	IRRIGATION LINE

BASIS OF BEARINGS:

BASED ON MODIFIED COLORADO STATE PLANE NORTH COORDINATES, AND THE SOUTH LINE OF THE SW ¼ SECTION 4, MONUMENTED BY A FOUND 3.25" ALUMINUM CAP STAMPED "2007 LS 22098 KING SURVEYORS INC AT THE WEST END AND FOUND 3.25" CDOT ALUMINUM CAPS (1999) FOR REFERENCE MARKERS AT THE EAST END.

PROJECT BENCHMARK:

VERTICAL DATUM: NAVD 88. CITY BENCHMARK 12, AT NW END OF THE SHEEP DRAW BRIDGE ALONG 10TH ST, ELEVATION = 4755.34 FEET.

GENERAL NOTES:

- CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
- UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS, AND REGULATIONS OF THE CITY OF GREELEY, COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, AND STATE DEPARTMENT OF TRANSPORTATION, AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, TAP FEES, ETC.
- ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISHED PAVEMENT UNLESS OTHERWISE NOTED.
- RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ENGINEER BEFORE ANY UTILITY RELOCATION.
- NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.

EXCAVATION NOTIFICATION

- ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS).
- CONTRACTORS TO CALL 811 (OR VISIT CALL811.COM) TO REQUEST UTILITY LOCATES. ONCE COMPLETION OF MARKINGS HAS BEEN CONFIRMED BY THE CONTRACTOR, NO AUTOMATED OR MECHANICAL EQUIPMENT SHOULD BE USED WITHIN TWO FEET ON EITHER SIDE OF THE MARKINGS (OR ANOTHER MORE STRINGENT TOLERANCE AS DIRECTED), AND EXISTING FACILITIES MUST BE EXPOSED BY HAND.
- EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

UNANTICIPATED SOIL CONDITIONS

- IF UNSUITABLE BEARING MATERIALS ARE ENCOUNTERED AT THE SPECIFIED SUBGRADE DEPTHS, THE CONTRACTOR SHALL NOTIFY THE OWNER. SOIL SUBGRADES WHICH ARE UNSTABLE DUE TO INADEQUATE CONSTRUCTION DEWATERING OR EXCESSIVE SUBGRADE DISTURBANCE ARE NOT DEEMED UNSUITABLE SOILS.
- FILL SOIL THAT IS NOT WITHIN +/- 2% OPTIMUM MOISTURE FOR COMPACTION OF THE PARTICULAR MATERIAL IN PLACE AS DETERMINED BY THE OWNER'S REPRESENTATIVE AND IS DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION OPERATIONS SO THAT PROPER COMPACTION CANNOT BE REACHED SHALL NOT BE CONSTRUED AS UNSUITABLE BEARING MATERIAL.
- THE CONTRACTOR SHALL FOLLOW A CONSTRUCTION PROCEDURE WHICH PERMITS VISUAL IDENTIFICATION OF FIRM NATURAL GROUND.
- SURFACE RUNOFF: SURFACE WATER ON AND AROUND THE SITE SHALL BE COLLECTED INTO LOCAL SUMPS BY MEANS OF TRENCHES, PIPES, ETC., AND PUMPED INTO THE STORM WATER SYSTEM. USE APPROPRIATE FILTRATION OR SEDIMENTATION TO PREVENT PUMPING OF SUSPENDED SOLIDS INTO THE STORM SEWER. A PERMIT MUST BE OBTAINED FOR SUCH PUMPING.
- DEWATERING OF TRENCHES AND EXCAVATIONS: TRENCHES AND EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER AT ALL TIMES. PUMPING IS TO BEGIN AS SOON AS WATER BEGINS TO ACCUMULATE AND IS TO CONTINUE UNTIL WATER IS REMOVED.

SITE ACCESSIBILITY

- ALL FEATURES OF THIS PROJECT INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, CURB RAMPS, ACCESSIBLE PARKING, AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY CODES [AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES; THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) PUBLISHED IN THE FEDERAL REGISTER AUGUST 2023; INTERNATIONAL BUILDING CODE (IBC); ICC A117.1; ETC.]
- WHERE SPATIAL LIMITATIONS OR EXISTING FEATURES WITHIN THE LIMITS OF THE PROJECT PREVENT FULL COMPLIANCE WITH THESE GUIDELINES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF SUCH FEATURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ASPECT OF THE WORK WHICH IS NOT IN FULL COMPLIANCE WITH THESE GUIDELINES WITHOUT PRIOR, WRITTEN PERMISSION FROM THE ENGINEER. ANY WORK WHICH IS NOT PERFORMED WITHIN THESE GUIDELINES, FOR WHICH THE CONTRACTOR DOES NOT HAVE WRITTEN APPROVAL, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- GENERAL SLOPE GUIDANCE:
 - CROSS SLOPES SHALL NOT EXCEED 1:50 (2.0%). PREFERRED SLOPE IS 1.5%.
 - RUNNING SLOPES SHALL NOT EXCEED 5% EXCEPT AT RAMPS. PREFERRED MAXIMUM SLOPE IS 4.5%.
 - RAMP RUNNING SLOPES SHALL NOT EXCEED 1:12 (8.3%). PREFERRED MAXIMUM SLOPE IS 7.8%.
 - SLOPES AT LANDINGS, ACCESSIBLE PARKING STALLS, AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION. PREFERRED MAXIMUM SLOPE IS 1.5%.
 - EXCEPTIONS WITHIN THE PUBLIC RIGHT-OF-WAY: WHERE THE ESTABLISHED ADJACENT STREET GRADE EXCEEDS 5%, RUNNING SLOPES PARALLEL TO THE STREET SLOPES SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET. CURB RAMP RUNNING SLOPE CAN EXCEED 8.3% TO LIMIT THE RESULTING THE RAMP LENGTH TO 15 FEET.

GEOTECHNICAL

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON, DATED FEBRUARY 6, 2025.

SURVEY

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION ARE SHOWN PER THE FIELD SURVEY PERFORMED BY GILLIANS LAND CONSULTANTS, DATED 2-7-2025.



CAUTION
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

CONTACTS:

DEVELOPER
OGILVIE PARTNERS, LLC
ATTN: DUSTIN JONES
2601 BLAKE ST.
DENVER, CO 80205
303-550-8500

CIVIL ENGINEER
WALLACE DESIGN COLLECTIVE, PC
ATTN: AARON BARNHART, PE
9800 PYRAMID CT, SUITE 350
ENGLEWOOD, CO 80112
720.407.5288

ARCHITECT
SGDESIGN, INC.
ATTN: JOHN SCHLUETER
3311 ELM STREET, SUITE 105
DALLAS, TX 75226
469-865-1910

LANDSCAPE ARCHITECT
WALLACE DESIGN COLLECTIVE, PC
ATTN: TREVOR GRANT, PLA
9800 PYRAMID CT, SUITE 350
ENGLEWOOD, CO 80112
720.407.5283

SHEET INDEX

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C200	SURVEY
C300	DEMOLITION & INITIAL EROSION CONTROL PLAN
C301	INTERIM EROSION CONTROL PLAN
C302	FINAL EROSION CONTROL PLAN
C303	EROSION CONTROL DETAILS 1
C304	EROSION CONTROL DETAILS 2
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C500	GRADING PLAN
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C600	MASTER UTILITY PLAN
C800	DETAILS 1
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ENGINEER'S SIGNATURE BLOCK:

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE CITY OF GREELEY AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY; AND THAT I AM FULLY RESPONSIBLE FOR THE ACCURACY OF ALL DESIGN, REVISIONS, AND RECORD CONDITIONS THAT I HAVE NOTED ON THESE PLANS.

AARON M. BARNHART, P.E.
STATE OF COLORADO NO. 56279

DATE

CITY OF GREELEY SIGNATURE BLOCKS:

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS. THE CITY'S ACCEPTANCE ALLOWS FOR PLAN DISTRIBUTION AND PERMIT APPLICATION. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____
CITY ENGINEER

DATE

ACCEPTED BY: _____
WATER/SEWER DIRECTOR

DATE

ACCEPTED BY: _____
GREELEY FIRE CHIEF

DATE



wallace design collective, pc
structural-civil-landscape-survey
9800 pyramid court, suite 350
englewood, co 80112
303.350.1690-800.364.5858



WELLS FARGO - GREELEY

6835 10TH STREET, GREELEY, CO 80634

REV	DATE	DESCRIPTION

DATE 04/18/2025
PROJECT NO. 2475038
SHEET NAME

COVER SHEET

SHEET NO.
C100

WELLS FARGO - GREELEY CIVIL CONSTRUCTION DOCUMENTS

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST ¼ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

PROJECT NUMBER: SPR2025-00009

GREELEY GENERAL NOTES:

- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY, OR EASEMENT SHALL CONFORM TO THE CITY OF GREELEY CONSTRUCTION SPECIFICATIONS AND DESIGN STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT. A PERMIT FROM PUBLIC WORKS DEPARTMENT (970-350-9881) IS REQUIRED FOR ALL CONSTRUCTION IN PUBLIC RIGHT-OF-WAY OR EASEMENTS. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH CITY REPRESENTATIVES BEFORE A PERMIT WILL BE ISSUED. CALL UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 FOR UTILITY LOCATES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY CONSTRUCTION SERVICES (970-350-9358) AT LEAST 24 HOUR PRIOR TO REQUIRED INSPECTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/ DEVELOPER, AND THE CITY, OF ANY PROBLEMS IN CONFORMING TO THE ACCEPTED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE DEVELOPER DURING CONSTRUCTION ACTIVITIES TO RESOLVE CONSTRUCTION PROBLEMS DUE TO CHANGED CONDITIONS, OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROJECT. IF, IN THE OPINION OF THE CITY, THE MODIFICATIONS PROPOSED BY THE DEVELOPER, TO THE ACCEPTED PLANS, INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK, OR TO THE FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR RE-SUBMITTING THE REVISED PLANS TO THE CITY OF GREELEY FOR ACCEPTANCE PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE PROJECT. ANY IMPROVEMENTS NOT CONSTRUCTED IN ACCORDANCE WITH THE ACCEPTED PLANS, OR THE ACCEPTED REVISED PLANS, SHALL BE REMOVED AND RECONSTRUCTED ACCORDING TO THE APPROVED PLAN.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE CITY TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAG PERSONS, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND THE GREELEY SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL SURVEY MONUMENTS. ANY MONUMENT THAT MUST BE DESTROYED FOR CONSTRUCTION SHALL BE REPLACED. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A PROFESSIONAL LICENSED SURVEYOR (PLS) PRIOR TO DISTURBING ANY MONUMENTS.
- PRIOR TO FINAL PLACEMENT OF SURFACE PAVEMENT, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED AND SERVICE CONNECTIONS STUBBED OUT BEYOND CURB LINE, WHEN ALLOWED BY THE UTILITY. SERVICE FROM PUBLIC UTILITIES AND FROM SANITARY SEWERS SHALL BE MADE AVAILABLE FOR EACH LOT IN SUCH A MANNER THAT WILL NOT BE NECESSARY TO DISTURB THE STREET PAVEMENT, CURB, GUTTER, AND SIDEWALK WHEN CONNECTIONS ARE MADE.
- A GEOTECHNICAL REPORT HAS BEEN PREPARED BY TERRACON (PROJECT NO. 21245060, DATED FEBRUARY 6, 2025) FOR RIGHT-OF-WAY GRADING AND PAVING. REFER TO GEOTECHNICAL REPORT FOR ANY REQUIREMENTS EXCEEDING CITY STANDARDS. A FINAL PAVEMENT DESIGN REPORT IS ALSO REQUIRED. THE SOIL INVESTIGATION FOR THIS REPORT SHALL OCCUR AFTER UTILITY CONSTRUCTION AND GRADING FOR STREETS IS COMPLETED TO WITHIN 6" OF ANTICIPATED SUBGRADE. THE FINAL PAVEMENT DESIGN REPORT SHALL BE ACCEPTED BY THE CITY OF GREELEY PRIOR TO ANY NON-STRUCTURAL CONCRETE, PAVEMENT OR SUBGRADE INSTALLATION.

GREELEY GENERAL STORMWATER NOTES:

- ALL STORMWATER FACILITY CONSTRUCTION SHALL CONFORM TO THE MOST RECENT VERSION OF CITY OF GREELEY STANDARD DETAILS. CONSTRUCTION SPECIFICATIONS FOR STORMWATER FACILITIES NOT COVERED BY THE CITY'S STANDARD DETAILS SHALL BE THOSE IN THE MOST RECENT VERSION OF THE CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR THOSE PUBLISHED BY THE MILE HIGH FLOOD DISTRICT (MHFD). DETAILS NOT COVERED BY THE CITY'S STANDARD DETAILS SHALL BE THOSE IN THE CDOT MISCELLANEOUS STANDARD PLANS (M-STANDARDS) OR THOSE PUBLISHED BY THE MHFD OR AS APPROVED BY THE CITY OF GREELEY.
- CITY STANDARD DETAILS ARE NOT TO SCALE UNLESS A SCALE IS INDICATED.
- REMOVE ALL DEBRIS FROM TRENCHES, INCLUDING SODA CANS, RAGS, PIPE BANDING MATERIAL, ETC. BEFORE BACKFILLING.
- ALL REBAR USED FOR STORM DRAINAGE STRUCTURES SHALL BE EPOXY COATED. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS IN THE STATE STORMWATER PERMIT INCLUDING DAILY STREET AND WALKWAY SWEEPING AND DUST CONTROL, USING WATER AS A DUST PALLIATIVE WHERE REQUIRED. COSTS FOR THIS WORK ARE INCLUDED IN THE ACCEPTED TOTAL BID AND NO ADDITIONAL PAYMENT SHALL BE MADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AS-CONSTRUCTED RECORD DRAWINGS TO THE CITY OF GREELEY'S PUBLIC WORKS DEPARTMENT IN ACCORDANCE WITH THE CITY'S STORM DRAINAGE DESIGN CRITERIA.
- THE CONTRACTOR IS REQUIRED TO HAVE A CURRENT CITY OF GREELEY CONTRACTOR'S LICENSE TO PERFORM ANY WORK IN PUBLIC RIGHT-OF-WAY OR EASEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF ANY WORK.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR ALL CONSTRUCTION-RELATED CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE PERFORMANCE OF THE WORK AT ALL TIMES. ANY CITY INSPECTIONS COMPLETED DURING CONSTRUCTION ARE NOT INTENDED TO EVALUATE THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
- WORKING HOURS SHALL BE BETWEEN 7:00 AM AND 6:00 PM ON NORMAL CITY OF GREELEY BUSINESS DAYS UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE CITY.
- THE OWNER SHALL ENSURE THAT THE SIZE AND TYPE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK ARE LOCATED AND SHOWN ON THE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INCLUDING, BUT NOT LIMITED TO, ATMOS ENERGY, CENTURYLINK, XCEL ENERGY, COMCAST, AND THE GREELEY WATER AND SEWER DEPARTMENT, PRIOR TO COMMENCING CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES FIELD LOCATED.

GREELEY GENERAL WATER & SANITARY NOTES:

- ALL CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY SHALL CONFORM TO THE CITY OF GREELEY CONSTRUCTION SPECIFICATIONS AND DESIGN STANDARDS.
- ALL OVER LOT GRADING IN THE RIGHT-OF-WAY OR EASEMENT SHALL BE COMPLETED PRIOR TO INSTALLING POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION LINES.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CALL UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 OR DIAL 811 FOR UTILITY LOCATES 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- MAINTAIN A MINIMUM OF TEN (10) FEET HORIZONTAL CLEAR DISTANCE SEPARATION BETWEEN POTABLE WATER MAINS/SERVICES AND SANITARY SEWER OR NON-POTABLE IRRIGATION MAINS/SERVICES. POTABLE WATER MAINS/SERVICES ARE TO BE LOCATED 18-INCHES MINIMUM ABOVE THE SANITARY SEWER OR NON-POTABLE IRRIGATION MAINS/SERVICES. IF FIELD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS AND THE SANITARY SEWER OR NON-POTABLE MAINS/SERVICES CANNOT BE LOCATED BELOW THE WATER MAIN OR SERVICE, A CLEAR VERTICAL DISTANCE OF EIGHTEEN (18) INCHES BELOW CANNOT BE MAINTAINED, OR A MINIMUM TEN (10) FOOT HORIZONTAL SEPARATION CANNOT BE ACHIEVED, THE CITY SHALL BE CONTACTED IMMEDIATELY TO REVIEW THE SITUATION.
- IN ALL INSTANCES WHERE A WATER LINE LOWERING, POTABLE OR NON-POTABLE, IS REQUIRED DUE TO UNFORESEEN FIELD CONDITIONS, A DETAILED DRAWING SHALL BE PROVIDED TO THE CITY FOR ACCEPTANCE PRIOR TO PERFORMING THE WORK.
- WHERE POTABLE WATER, SANITARY SEWER, AND NON-POTABLE IRRIGATION LINES ARE LOCATED IN COMMON UTILITY EASEMENT AREAS, THERE SHALL BE NO OTHER UTILITIES LOCATED HORIZONTALLY WITHIN TEN (10) FEET OF EITHER LINE EXCEPT AT APPROVED CROSSINGS.
- CONTRACTOR SHALL NOTIFY THE CITY ONE (1) WEEK PRIOR TO COMMENCING WORK AFTER CITY ACCEPTED CONSTRUCTION DRAWINGS HAVE BEEN DISTRIBUTED AND A PRECONSTRUCTION MEETING HAS BEEN HELD WITH THE CITY.
- CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES TO BE CROSSED BY POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION LINES AT LEAST 24 HOURS PRIOR TO CROSSING TO ENSURE 18" MINIMUM CLEARANCE FOR OPEN CUT CROSSINGS AND 36" MINIMUM CLEARANCE FOR BORED CROSSINGS. HORIZONTAL AND VERTICAL LOCATION OF CROSSED EXISTING UTILITIES SHALL BE RECORDED ON THE AS-CONSTRUCTED RECORD DRAWINGS.
- SHOULD ANY VARIATIONS BEFORE OR DURING CONSTRUCTION TO THE POTABLE WATER DISTRIBUTION, SANITARY SEWER COLLECTION, OR NON-POTABLE IRRIGATION SYSTEM DESIGNS BE CONSIDERED, NOTICE MUST FIRST BE GIVEN TO THE CITY TO DETERMINE IF IT NEEDS ACCEPTANCE BY THE CITY. IF SO, A NEW PLAN SHALL BE DRAWN AND SUBMITTED TO THE CITY FOR ACCEPTANCE BY THE DESIGN ENGINEER 72 HOURS PRIOR TO CONSTRUCTION.
- FINAL CONSTRUCTION PLANS ARE VALID FOR CONSTRUCTION ONE (1) YEAR FROM THE DATE OF CITY SIGNATURE ACCEPTANCE.

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

ALTA/NSPS LAND TITLE SURVEY

SURVEY NOTE:
THIS SHEET IS FOR THE CONVENIENCE OF THE CONTRACTOR. IT IS INTENDED FOR GENERAL SURVEY INFORMATION ONLY. SURVEY INFORMATION WAS REPRODUCED BY ELECTRONIC TRANSFER FROM THE SURVEYOR. ORIGINAL SURVEY DRAWINGS AVAILABLE FROM THE SURVEYOR.
NOTE: SURVEY SCALED TO FIT PAGE.



CERTIFICATION

**ALL SEALS FOR
THIS PLAT ARE
APPLIED TO THE
COVER PAGE.**



JOB NO.: 25011
DRAWN: RH
CHECKED: GP
FIELD: VP
PLOT DATE: 2-7-2025
SCALE: 1"=20'
FILE: 25011

2 OF 3

CAUTION
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



PRELIMINARY
FOR REVIEW ONLY

NOT FOR
CONSTRUCTION

WELLS FARGO - GREELEY

6835 10TH STREET, GREELEY, CO 80634

[illegible]

DATE	04/18/2025
PROJECT NO.	2475038
SHEET NAME	

SURVEY
SHEET NO.
C200

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
3. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
4. WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
6. CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
7. TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER THE AUTHORITY HAVING JURISDICTION.
8. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
9. CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
10. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.
11. PRIOR TO UTILITY DEMOLITION COORDINATE WITH AUTHORITY HAVING JURISDICTION.
12. UTILITIES BEING REMOVED OR RELOCATED SHALL BE ISOLATED AND SERVICE DISCONNECTED PRIOR TO ANY DEMOLITION.
13. NO UTILITY INTERRUPTIONS WILL BE ALLOWED WITHOUT CONSENT OF THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT A MINIMUM OF FOUR WORKING DAYS PRIOR TO THE REQUESTED SHUT DOWN.



- | |
|------------------------------|
| TOTAL DISTURBED AREA: |
| 0.88 ACRES |



6835 10TH STREET, GREELEY, CO 80634

C300



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

A north arrow pointing upwards, labeled with a stylized 'N'. Below it is a graphic scale bar with markings at 20, 0, 10, and 20. The text $1'' = 20'$ is centered below the scale bar.

1. FINAL STABILIZATION SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLANS AND LOCAL AND STATE REQUIREMENTS.
2. UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL AND SHALL BE PERMANENTLY STABILIZED WITH SEED OR SOD.
3. CONTRACTOR SHALL MAINTAIN PERENNIAL VEGETATION UNTIL UNIFORM COVER IS ESTABLISHED. UNLESS OTHERWISE INDICATED IN THE CONTRACT DOCUMENTS, THIS SHALL INCLUDE A MINIMUM OF 70% COVERAGE AND NO BARE AREAS OF 10 SQUARE FEET OR MORE.



WELLS FARGO - GREELEY
6835 10TH STREET, GREELEY, CO 80634

DATE	REV	DESCRIPTION
DATE	04/18/2025	
PROJECT NO.	2475038	
SHEET NAME		
INTERIM EROSION CONTROL PLAN		
SHEET NO.		
C301		

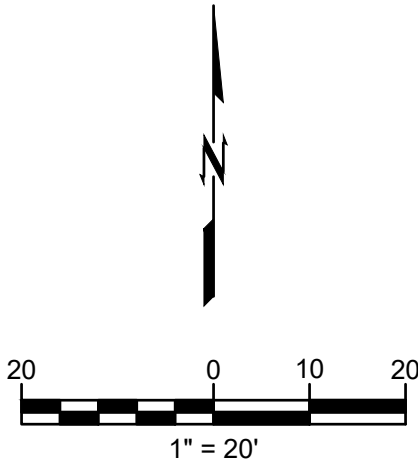


THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

WELLS FARGO - GREELEY CIVIL CONSTRUCTION DOCUMENTS

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

PROJECT NUMBER: SPR2025-00009



wallace
design
collective

wallace design collective, pc
structural-civil-landscape-survey
9800 pyramid court, suite 350
englewood, co 80112
303.350.1690-800.364.5858

PRELIMINARY
FOR REVIEW ONLY

NOT FOR
CONSTRUCTION

WELLS FARGO - GREELEY

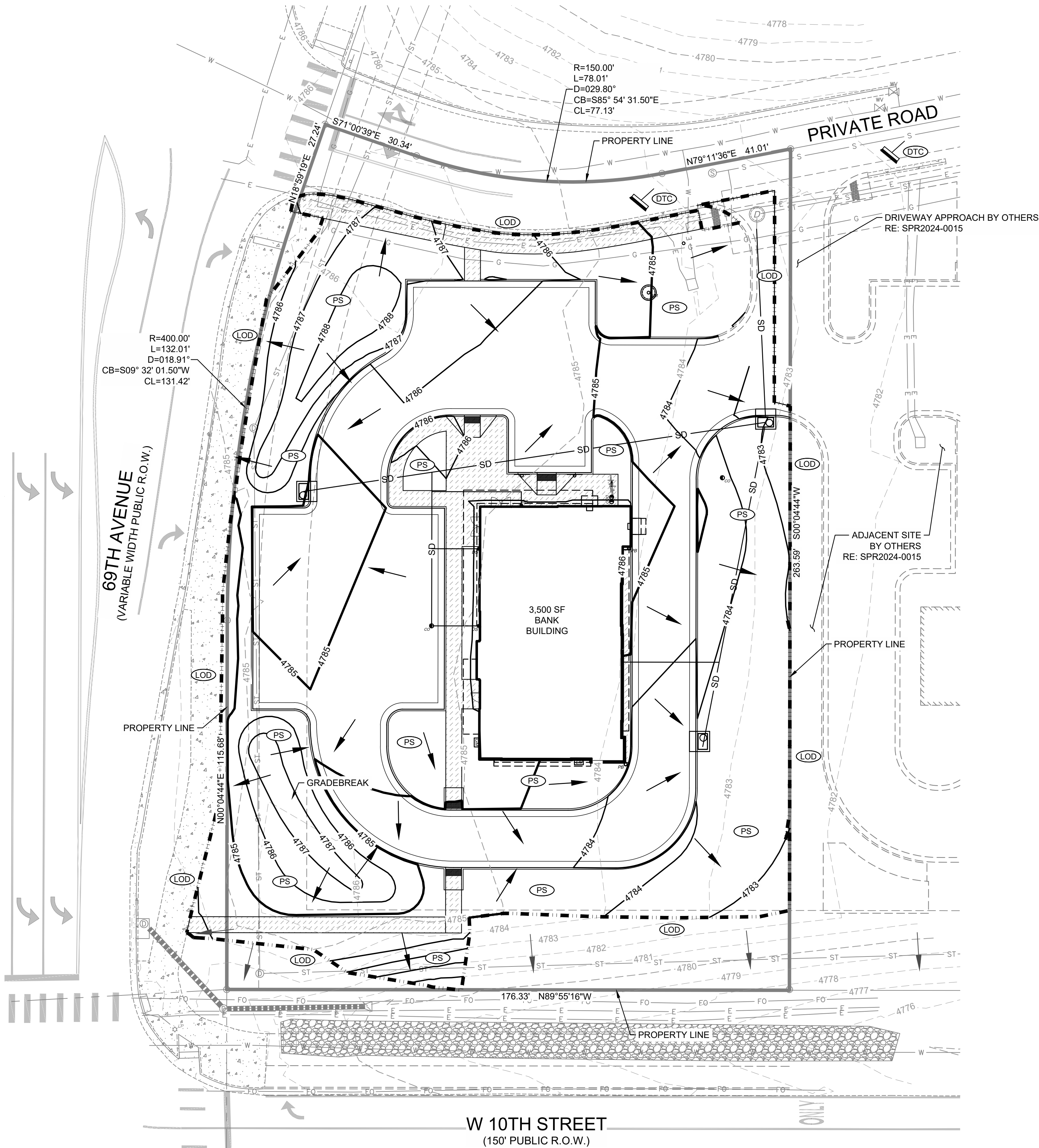
6835 10TH STREET, GREELEY, CO 80634

EROSION CONTROL LEGEND

- LOD, LIMITS OF DISTURBANCE
- 4786 — PROP MINOR CONTOUR
- 4785 — PROP MAJOR CONTOUR
- 4786 — EX MINOR CONTOUR
- 4785 — EX MAJOR CONTOUR
- CF — CONSTRUCTION FENCE
- CWA — CONCRETE WASHOUT AREA
- DTC — DEBRIS TRASH CONTROL
- IP — INLET PROTECTION
- PS — PERMANENT SEEDING
- SCL — ROCK SOCKS
- SF — SILT FENCE
- SSA — STABILIZED STAGING AREA
- VTC — VEHICLE TRACKING CONTROL
- FLOW DIRECTION ARROW

TOTAL DISTURBED AREA:

0.88 ACRES



CAUTION
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



Know what's below.
Call before you dig.

REV	DESCRIPTION	DATE

DATE 04/18/2025
PROJECT NO. 2475038
SHEET NAME

FINAL EROSION
CONTROL PLAN
SHEET NO.

C302

ORIG SIZE:24"X36"

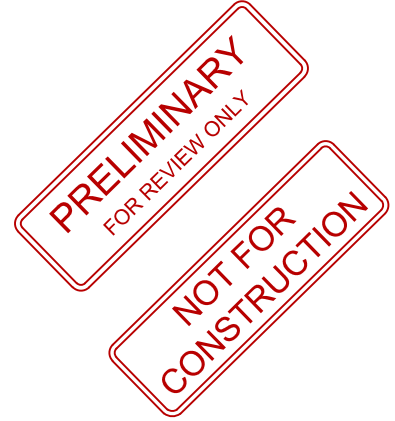
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WELLS FARGO - GREELEY CIVIL CONSTRUCTION DOCUMENTS

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST ¼ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

PROJECT NUMBER: SPR2025-00009



WELLS FARGO - GREELEY

6835 10TH STREET, GREELEY, CO 80634

DATE					
DESCRIPTION					
REV					

DATE 04/18/2025
PROJECT NO. 2475038
SHEET NAME
EROSION
CONTROL
DETAILS 1
SHEET NO.
C303

Temporary and Permanent Seeding (TS/PS) EC-2

Seeding dates for the highest success probability of perennial species along the Front Range are generally in the spring from April through early May and in the fall after the first of September until the ground freezes. If the area is irrigated, seeding may occur in summer months, as well. See Table TS/PS-3 for appropriate seeding dates.

Table TS/PS-1. Minimum Drill Seeding Rates for Various Temporary Annual Grasses

Species* (Common name)	Growth Season	Pounds of Pure Live Seed (PLS)/acre	Planting Depth (inches)
1. Oats	Cool	35 - 50	1 - 2
2. Spring wheat	Cool	25 - 35	1 - 2
3. Spring barley	Cool	25 - 35	1 - 2
4. Annual ryegrass	Cool	10 - 15	½
5. Millet	Warm	3 - 15	½ - ¾
6. Sudangrass	Warm	5-10	½ - ¾
7. Sorghum	Warm	5-10	½ - ¾
8. Winter wheat	Cool	20-35	1 - 2
9. Winter barley	Cool	20-35	1 - 2
10. Winter rye	Cool	20-35	1 - 2
11. Triticale	Cool	25-40	1 - 2

* Successful seeding of annual grass resulting in adequate plant growth will usually produce enough dead-plant residue to provide protection from wind and water erosion for an additional year. This assumes that the cover is not disturbed or mowed closer than 8 inches.

Hydraulic seeding may be substituted for drilling only where slopes are steeper than 3:1 or where access limitations exist. When hydraulic seeding is used, hydraulic mulching should be applied as a separate operation, when practical, to prevent the seeds from being encapsulated in the mulch.

See Table TS/PS-3 for seeding dates. Irrigation, if consistently applied, may extend the use of cool season species during the summer months.

Seeding rates should be doubled if seed is broadcast, or increased by 50 percent if done using a Brillion Drill or by hydraulic seeding.

EC-2 Temporary and Permanent Seeding (TS/PS)

Table TS/PS-2. Minimum Drill Seeding Rates for Perennial Grasses

Common ¹ Name	Botanical Name	Growth Season ²	Growth Form	Seeds/ Pound	Pounds of PLS/acre
Alkali Soil Seed Mix					
Alkali sacaton	<i>Sporobolus airoides</i>	Cool	Bunch	1,750,000	0.25
Basin wildrye	<i>Elymus cinereus</i>	Cool	Bunch	165,000	2.5
Sodar streambank wheatgrass	<i>Agropyron riparium 'Sodak'</i>	Cool	Sod	170,000	2.5
Jose tall wheatgrass	<i>Agropyron elongatum 'Jose'</i>	Cool	Bunch	79,000	7.0
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	5.5
Total					17.75
Fertile Loamy Soil Seed Mix					
Ephraim crested wheatgrass	<i>Agropyron cristatum 'Ephraim'</i>	Cool	Sod	175,000	2.0
Dural hard fescue	<i>Festuca ovina 'duriuscula'</i>	Cool	Bunch	565,000	1.0
Lincoln smooth brome	<i>Bromus inermis leys 'Lincoln'</i>	Cool	Sod	130,000	3.0
Sodar streambank wheatgrass	<i>Agropyron riparium 'Sodak'</i>	Cool	Sod	170,000	2.5
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	7.0
Total					15.5
High Water Table Soil Seed Mix					
Meadow foxtail	<i>Alopecurus pratensis</i>	Cool	Sod	900,000	0.5
Redtop	<i>Agrostis alba</i>	Warm	Open sod	5,000,000	0.25
Reed canarygrass	<i>Phalaris arundinacea</i>	Cool	Sod	68,000	0.5
Lincoln smooth brome	<i>Bromus inermis leys 'Lincoln'</i>	Cool	Sod	130,000	3.0
Pathfinder switchgrass	<i>Panicum virgatum 'Pathfinder'</i>	Warm	Sod	389,000	1.0
Alkar tall wheatgrass	<i>Agropyron elongatum 'Alkar'</i>	Cool	Bunch	79,000	5.5
Total					10.75
Transition Turf Seed Mix*					
Ruebens Canadian bluegrass	<i>Poa compressa 'Ruebens'</i>	Cool	Sod	2,500,000	0.5
Dural hard fescue	<i>Festuca ovina 'duriuscula'</i>	Cool	Bunch	565,000	1.0
Citation perennial ryegrass	<i>Lolium perenne 'Citation'</i>	Cool	Sod	247,000	3.0
Lincoln smooth brome	<i>Bromus inermis leys 'Lincoln'</i>	Cool	Sod	130,000	3.0
Total					7.5

TS/PS-4 Urban Drainage and Flood Control District
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Temporary and Permanent Seeding (TS/PS) EC-2

Table TS/PS-2. Minimum Drill Seeding Rates for Perennial Grasses (cont.)

Common Name	Botanical Name	Growth Season ²	Growth Form	Seeds/ Pound	Pounds of PLS/acre
Sandy Soil Seed Mix					
Blue grama	<i>Bouteloua gracilis</i>	Warm	Sod-forming bunchgrass	825,000	0.5
Camper little bluestem	<i>Schizachyrium scoparium 'Camper'</i>	Warm	Bunch	240,000	1.0
Prairie sandreed	<i>Calamovilfa longifolia</i>	Warm	Open sod	274,000	1.0
Sand dropseed	<i>Sporobolus cynosuroides</i>	Cool	Bunch	5,298,000	0.25
Vaughn sidecoats grama	<i>Bouteloua curtipendula 'Vaughn'</i>	Warm	Sod	191,000	2.0
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	5.5
Total					10.25
Heavy Clay, Rocky Foothill Seed Mix					
Ephraim crested wheatgrass ⁴	<i>Agropyron cristatum 'Ephraim'</i>	Cool	Sod	175,000	1.5
Oahe Intermediate wheatgrass	<i>Agropyron intermedium 'Oahe'</i>	Cool	Sod	115,000	5.5
Vaughn sidecoats grama ⁴	<i>Bouteloua curtipendula 'Vaughn'</i>	Warm	Sod	191,000	2.0
Lincoln smooth brome	<i>Bromus inermis leys 'Lincoln'</i>	Cool	Sod	130,000	3.0
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	5.5
Total					17.5

* All of the above seeding mixes and rates are based on drill seeding followed by crimped straw mulch. These rates should be doubled if seed is broadcast and should be increased by 50 percent if the seeding is done using a Brillion Drill or is applied through hydraulic seeding. Hydraulic seeding may be substituted for drilling only where slopes are steeper than 3:1. If hydraulic seeding is used, hydraulic mulching should be done as a separate operation.

See Table TS/PS-3 for seeding dates.

If site is to be irrigated, the transition turf seed rates should be doubled.

Crested wheatgrass should not be used on slopes steeper than 6H to 1V.

Can substitute 0.5 lbs PLS of blue grama for the 2.0 lbs PLS of Vaughn sidecoats grama.

June 2012 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

EC-2 Temporary and Permanent Seeding (TS/PS)

Table TS/PS-3. Seeding Dates for Annual and Perennial Grasses

Seeding Dates	Annual Grasses (Numbers in table reference species in Table TS/PS-1)		Perennial Grasses	
	Warm	Cool	Warm	Cool
January 1-March 15			✓	✓
March 16-April 30	4	1,2,3	✓	✓
May 1-May 15	4		✓	
May 16-June 30	4,5,6,7			
July 1-July 15	5,6,7			
July 16-August 31				
September 1-September 30		8,9,10,11		
October 1-December 31			✓	✓

Mulch

Cover seeded areas with mulch or an appropriate rolled erosion control product to promote establishment of vegetation. Anchor mulch by crimping, netting or use of a non-toxic tackifier. See the Mulching BMP Fact Sheet for additional guidance.

Maintenance and Removal

Monitor and observe seeded areas to identify areas of poor growth or areas that fail to germinate. Reseed and mulch these areas, as needed.

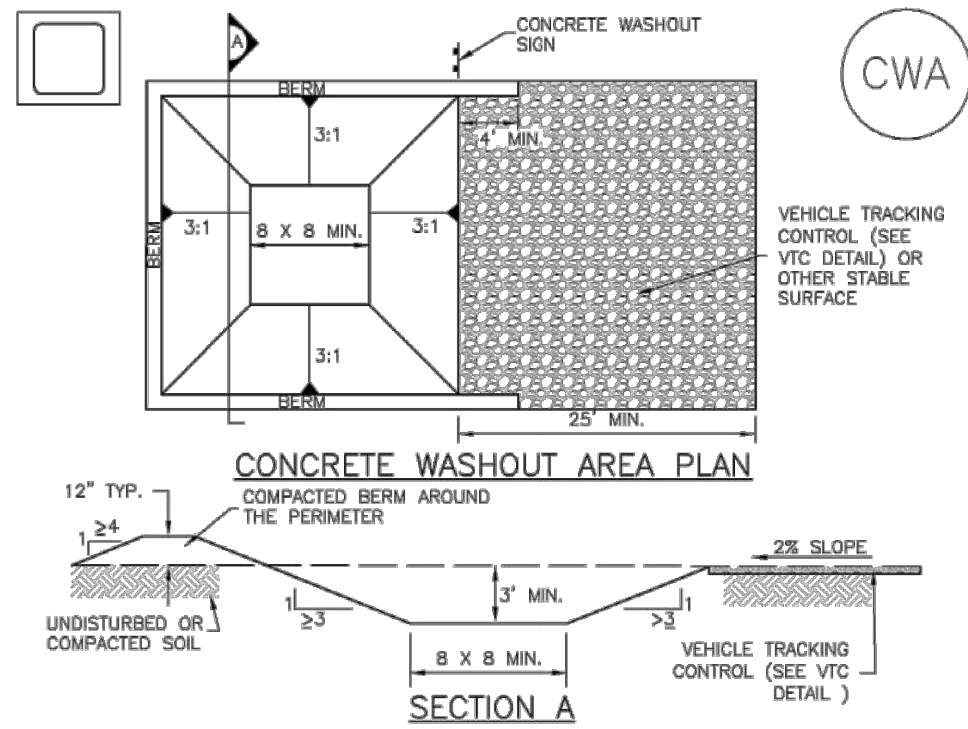
An area that has been permanently seeded should have a good stand of vegetation within one growing season if irrigated and within three growing seasons without irrigation in Colorado. Reseed portions of the site that fail to germinate or remain bare after the first growing season.

Seeded areas may require irrigation, particularly during extended dry periods. Targeted weed control may also be necessary.

Protect seeded areas from construction equipment and vehicle access.

TS/PS-6 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

Concrete Washout Area (CWA) MM-1



CWA-1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

- SEE PLAN VIEW FOR CWA INSTALLATION LOCATION.
- DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

CAUTION
NOTICE TO CONTRACTOR

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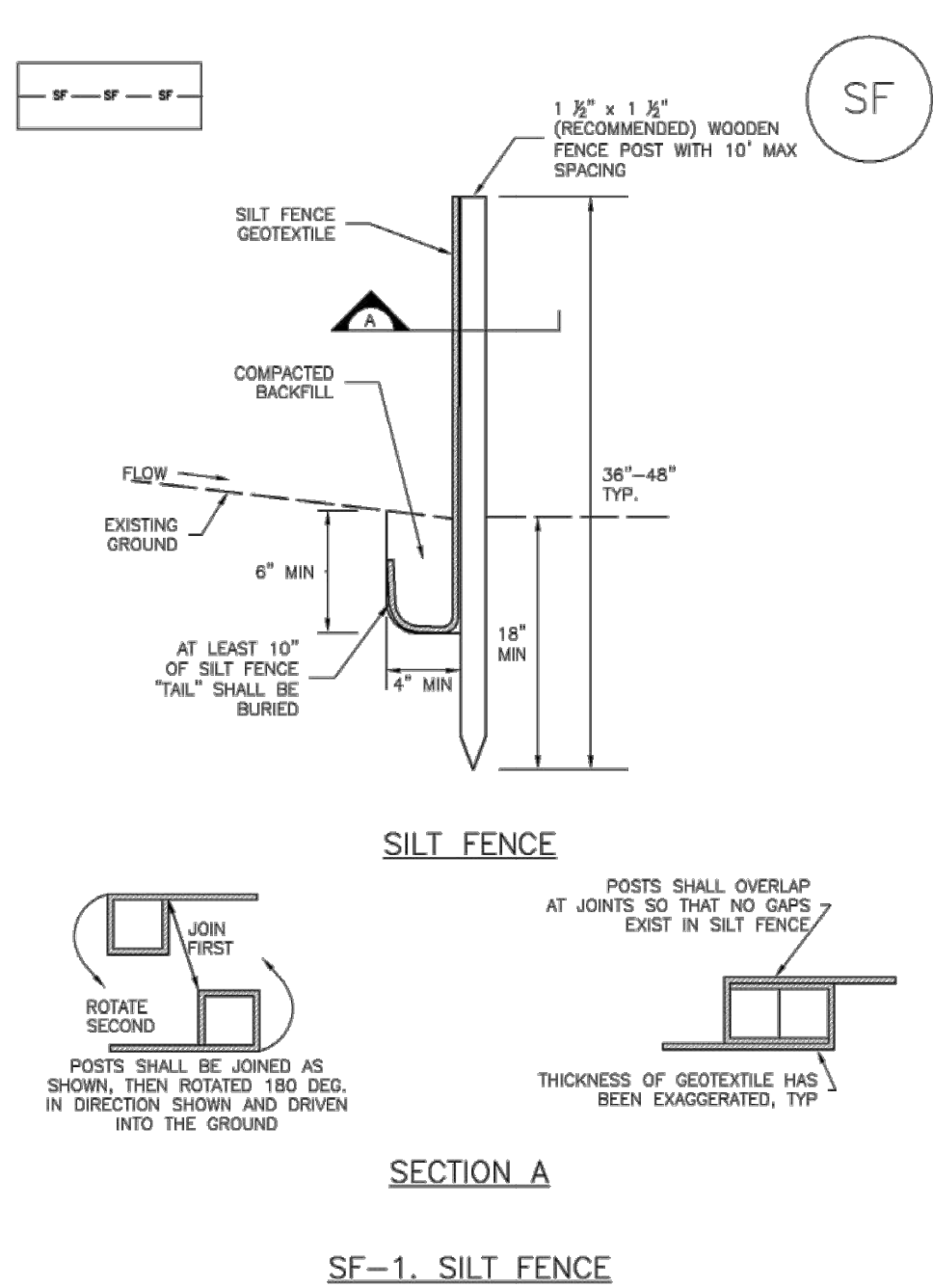
MM-1 Concrete Washout Area (CWA)

CWA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
 - CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
 - THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
 - WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UFGCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CWA-4 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

Silt Fence (SF) SC-1



SF-1. SILT FENCE

November 2010 Urban Drainage and Flood Control District
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SC-1 Silt Fence (SF)

SILT FENCE INSTALLATION NOTES

- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
- COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
- AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

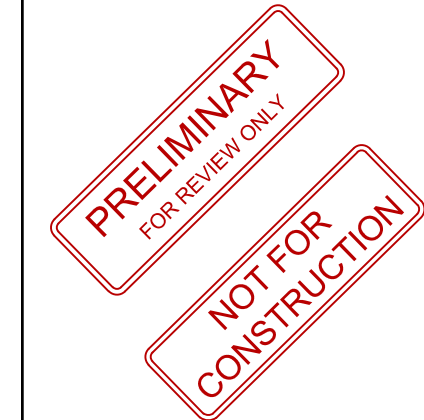
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
 - REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
 - SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
 - WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UFGCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SF-4 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3



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PROJECT NUMBER: SPR2025-00009



REV	DESCRIPTION	DATE

DATE	04/18/2025
PROJECT NO.	247503
SHEET NAME	EROSION CONTROL DETAILS 2
SHEET NO.	C304

November 2010 Urban Drainage and Flood Control District CF-3
Urban Storm Drainage Criteria Manual Volume 3



WELLS FARGO - GREELEY CIVIL CONSTRUCTION DOCUMENTS

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST ¼ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

PROJECT NUMBER: SPR2025-00009



WELLS FARGO - GREELEY

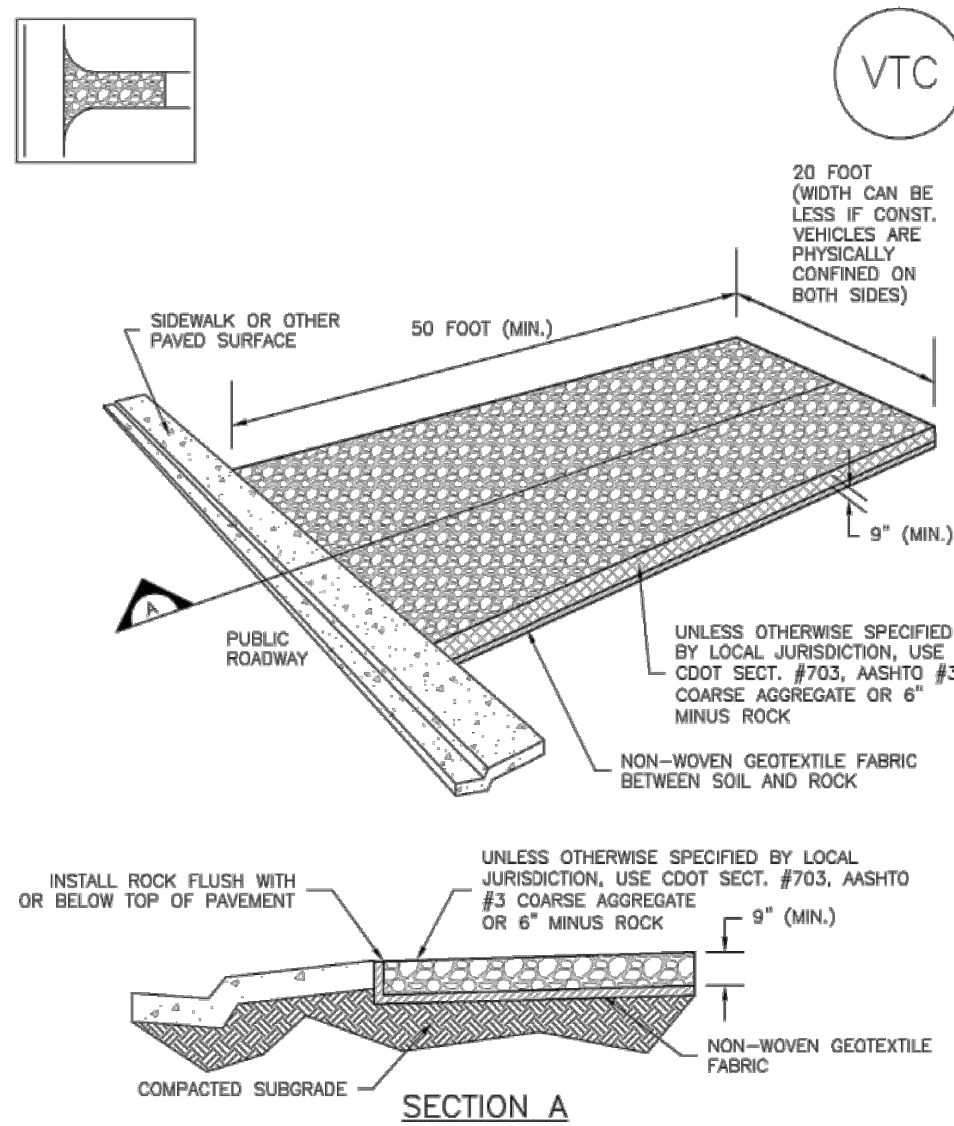
6835 10TH STREET, GREELEY, CO 80634

DATE					
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DESCRIPTION					
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REV					
DATE	04/18/2025				
PROJECT NO.	2475038				
SHEET NAME	EROSION CONTROL DETAILS 3				
SHEET NO.	C305				

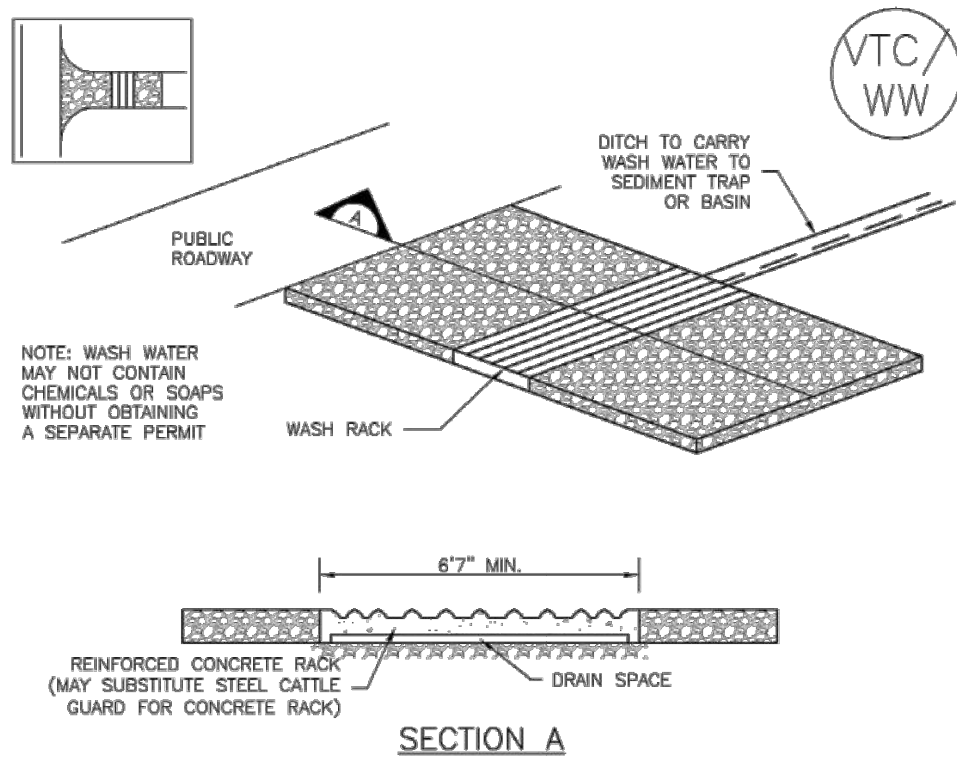
Vehicle Tracking Control (VTC) SM-4



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-3

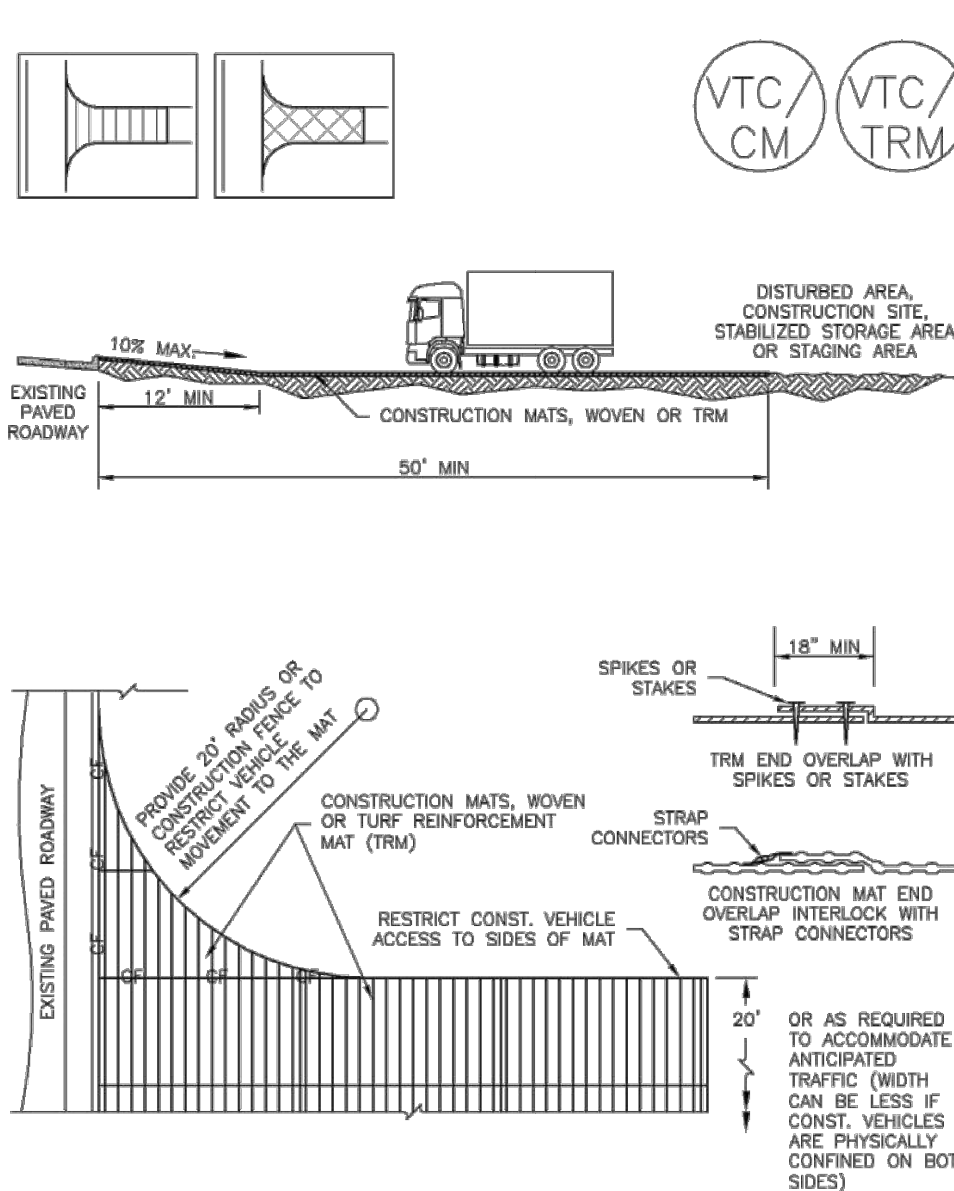
SM-4 Vehicle Tracking Control (VTC)



VTC-2. AGGREGATE VEHICLE TRACKING CONTROL WITH WASH RACK

VTC-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

Vehicle Tracking Control (VTC) SM-4



VTC-3. VEHICLE TRACKING CONTROL W/ CONSTRUCTION MAT OR TURF REINFORCEMENT MAT (TRM)

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-5

SM-4 Vehicle Tracking Control (VTC)

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

- SEE PLAN VIEW FOR
-LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S)
-TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
- CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

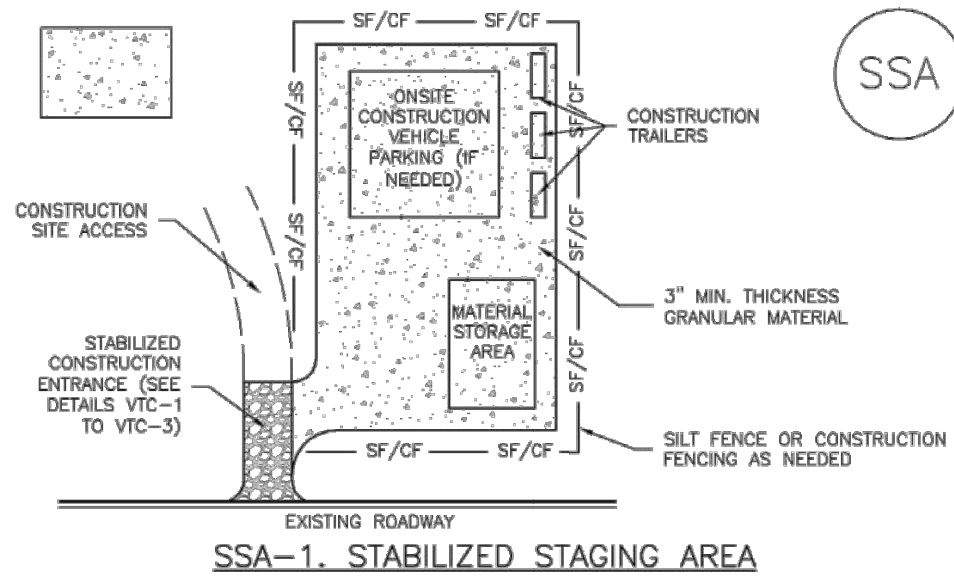
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UOPCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

VTC-6 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

Stabilized Staging Area (SSA) SM-6



SSA-1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

- SEE PLAN VIEW FOR
-LOCATION OF STAGING AREA(S)
-CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

STABILIZED STAGING AREA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

CAUTION
NOTICE TO CONTRACTOR

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

SSA-3 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

SM-6 Stabilized Staging Area (SSA)

STABILIZED STAGING AREA MAINTENANCE NOTES

- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.

- THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDING AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.

NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UOPCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

SSA-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

Paving and Grinding Operations (PGO) SM-12

Description

Manage runoff from paving and grinding operations to reduce pollutants entering storm drainage systems and natural drainageways.

Appropriate Uses

Use runoff management practices during all paving and grinding operations such as surfacing, resurfacing, and saw cutting.

Design and Installation

There are a variety of management strategies that can be used to manage runoff from paving and grinding operations:

- Establish inlet protection for all inlets that could potentially receive runoff.
- Schedule paving operations when dry weather is forecasted.
- Keep spill kits onsite for equipment spills and keep drip pans onsite for stored equipment.
- Install perimeter controls when asphalt material is used on embankments or shoulders near waterways, drainages, or inlets.
- Do not wash any paved surface into receiving storm drain inlets or natural drainageways. Instead, loose material should be swept or vacuumed following paving and grinding operations.
- Store materials away from drainages or waterways.
- Recycle asphalt and pavement material when feasible. Material that cannot be recycled must be disposed of in accordance with applicable regulations.

See BMP Fact Sheets for Inlet Protection, Silt Fence and other perimeter controls selected for use during paving and grinding operations.

Maintenance and Removal

Perform maintenance and removal of inlet protection and perimeter controls in accordance with their respective fact sheets.

Promptly respond to spills in accordance with the spill prevention and control plan.

Paving and Grinding Operations	
Functions	
Erosion Control	No
Sediment Control	No
Site/Material Management	Yes

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 PGO-1



Photograph PGO-1. Paving operations on a Colorado highway. Photo courtesy of CDOT.



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ORIG SIZE: 24"X36"

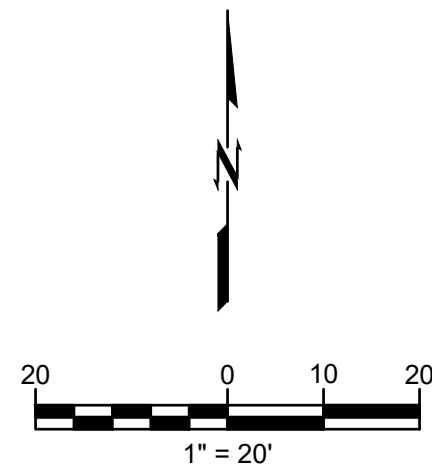
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\\DENVER-SERVER\Civil\Projects\2475038 Wells Fargo - Greeley\04 Production\01 Design Drawings\03 CDS\2475038 C305 DEMO.dwg

WELLS FARGO - GREELEY SITE PLAN

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

PROJECT NUMBER: SPR2025-00009



wallace
design
collective

wallace design collective, pc
structural-civil-landscape-survey
9800 pyramid court, suite 350
englewood, co 80112
303.350.1690-800.364.5858

PRELIMINARY
FOR REVIEW ONLY

NOT FOR
CONSTRUCTION

WELLS FARGO - GREELEY

6835 10TH STREET, GREELEY, CO 80634

REV	DESCRIPTION	DATE

REV	DESCRIPTION	DATE

DATE 04/18/2025
PROJECT NO. 2475038
SHEET NAME

SITE PLAN
EXHIBIT

SHEET NO.

SHEET 2 OF #

LEGEND

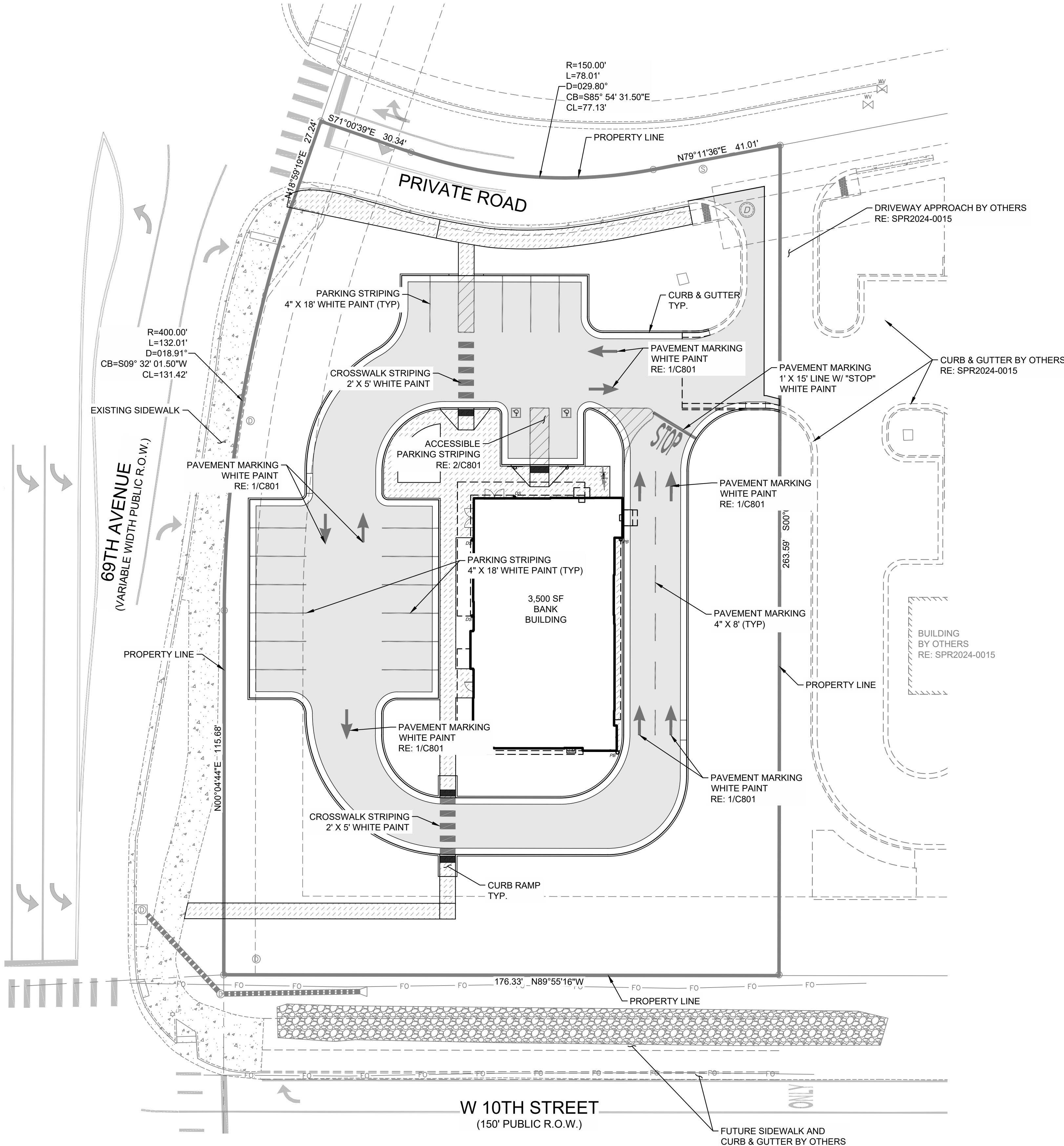
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	EXISTING CONCRETE

PAVEMENT SECTIONS

Traffic Area	Alternative	Recommended Pavement Thicknesses (Inches)			
		Asphaltic Concrete Surface	Portland Cement Concrete	Aggregate Base Course	Total
Automobile Parking (NAPA Class I and ACI Category A)	A	4	--	6	10
	B	--	5	4 ¹	9
Main Traffic Corridors (NAPA Class II and ACI Category A)	A	6	--	6	12
	B	--	6	4 ¹	10

1. Although not required for structural support, a minimum 4-inch thick aggregate base course layer is suggested for the portland cement concrete (PCC) pavements to help reduce the potential for slab curl, shrinkage cracking, and subgrade "pumping" through joints.

PAVEMENT SECTIONS FROM THE GEOTECHNICAL ENGINEERING REPORT
FOR WELLS FARGO - GREELEY, BY TERRACON, DATED FEBRUARY 6, 2025



CAUTION
NOTICE TO CONTRACTOR

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WELLS FARGO - GREELEY CIVIL CONSTRUCTION DOCUMENTS

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
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CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

PROJECT NUMBER: SPR2025-00009

GENERAL GRADING NOTES:

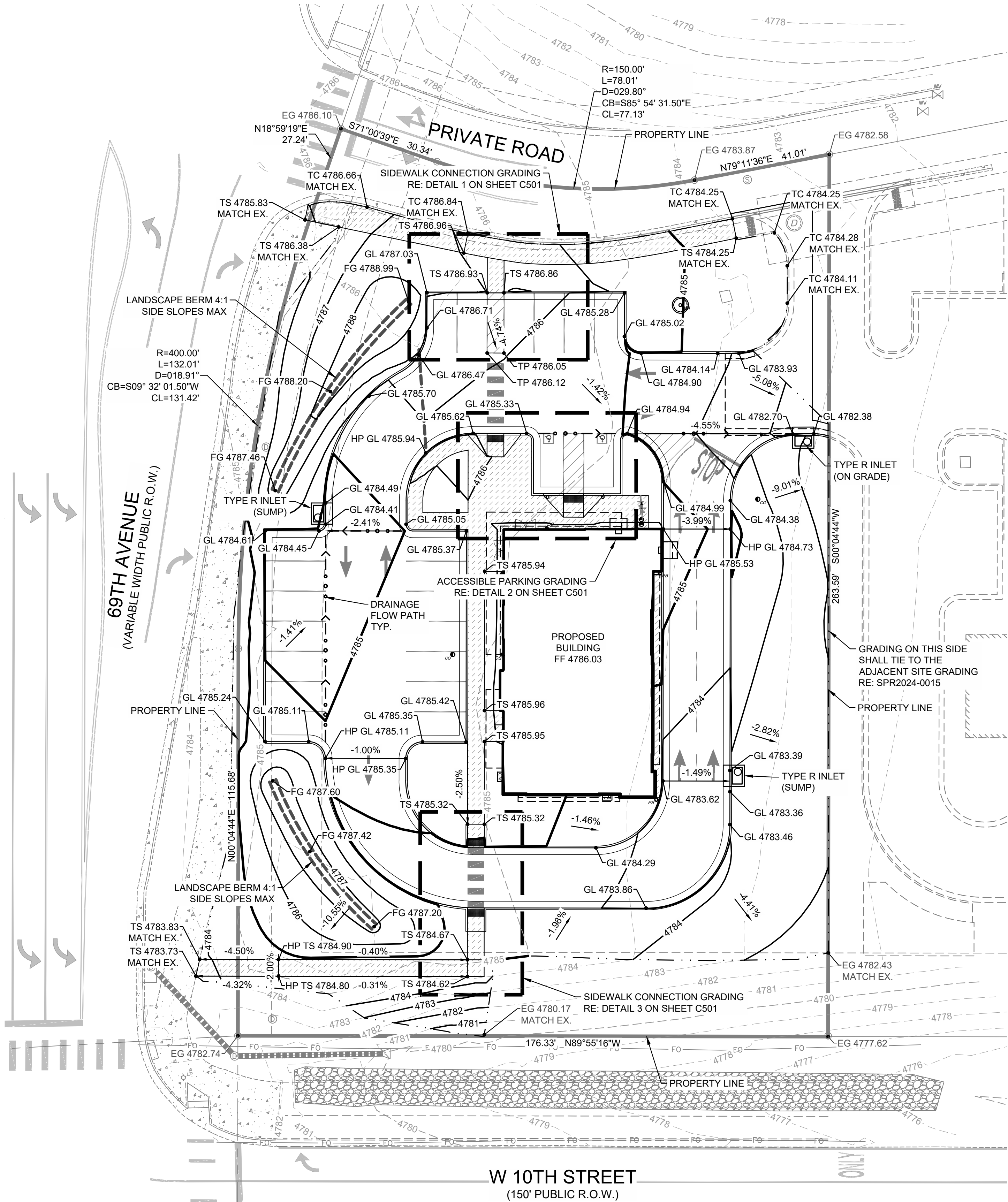
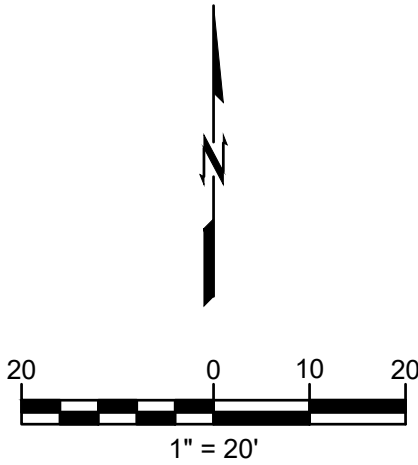
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED, AND APPROVED BY LOCAL AUTHORITIES.
- ALL BENCHMARKS, CONTROL POINTS, PROPERTY MARKERS, AND RIGHT-OF-WAY MONUMENTS DISTURBED OR DESTROYED SHALL BE RESET UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF COLORADO. ALL SURVEYING COSTS SHALL BE THE CONTRACTOR'S.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- TOPSOIL SHALL BE STRIPPED TO A DEPTH WHERE SOIL IS FREE OF ROOTS AND VEGETATION.
- REFERENCE GEOTECHNICAL ENGINEERING REPORT BY TERRACON DATED FEB. 6, 2025 FOR COMPLETE PAVING AND SUBGRADE RECOMMENDATIONS. CIVIL ENGINEER WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
- UNDERCUTTING OF SOFT SPOTS AND PLACEMENT OF EARTHWORK IS GOVERNED FIRST BY THE GEOTECHNICAL REPORT. OBSERVATION AND TESTING SHALL BE PERFORMED BY A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THAT THE SOFT SPOTS ARE PROPERLY OVEREXCAVATED AND REPLACED OR STABILIZED.
- IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL FURNISH SUITABLE BORROW.
- STRIPPING, PROOFROLLING, SUBGRADE SCARIFICATION, COMPACTION, AND FILL CONSTRUCTION IN THE BUILDING AND PAVING AREAS SHALL BE PERFORMED ACCORDING TO THE GEOTECHNICAL REPORT. EMBANKMENT BENEATH BUILDING PADS OR FOR PAVING SUBGRADE SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 98% AND 95% STANDARD PROCTOR DENSITY, RESPECTIVELY, AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SPECIFIED THEREIN. CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN SPECIFIED COMPACTION.
- EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
- PAVING CONTRACTOR IS RESPONSIBLE TO REVIEW ALL FIELD ESTABLISHED GRADES PRIOR TO PLACEMENT OF MATERIALS SO AS TO PROVIDE POSITIVE DRAINAGE IN ALL CASES.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL STAKING NECESSARY TO INSTALL CONDUITS SUFFICIENT FOR UTILITY AND IRRIGATION SERVICES WHETHER OR NOT SHOWN ON THE CIVIL ENGINEER'S PLANS.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
- CONTRACTOR IS RESPONSIBLE TO MEET AND MATCH NEW PAVEMENT WITH EXISTING ADJACENT PAVEMENT AREAS. THE TRANSITION BETWEEN THIS SITE AND ADJACENT SITES MUST BE SMOOTH AND MONOLITHIC. ALL GRADING MUST MEET AND MATCH GRADES ON ALL SIDES.
- ACCESSIBLE ROUTES AND SIDEWALKS ARE NOT TO EXCEED 5% RUNNING SLOPE (EXCEPT AT RAMPS) AND 2% CROSS. ACCESSIBLE PARKING AND ACCESS AISLES NOT TO EXCEED 2% SLOPE IN ANY DIRECTION. ALL RAMPS SHALL COMPLY WITH THE APPLICABLE ACCESSIBLE DESIGN GUIDELINES.
- ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.
- LANDSCAPE ISLANDS TO BE FILLED WITH SOIL SUITABLE FOR VEGETATION. THE CONTRACTOR WILL ENSURE THAT NO PONDING WILL OCCUR AT LANDSCAPE ISLANDS. ALL SURFACE WATER MUST DRAIN AROUND THE ISLAND WITH POSITIVE SLOPE. NO WATER SHALL BE TRAPPED.
- CONTRACTOR SHALL MEET AND MATCH TOP OF JUNCTION BOXES/MANHOLES OR CLEANOUTS WITH FINISHED PAVING GRADES. FINAL GRADES OF ABOVE SURFACE UTILITIES NOT IN PAVED AREAS, INCLUDING BUT NOT LIMITED TO JUNCTION BOX/MANHOLE LIDS, WATER METER LIDS, AND SEWER CLEANOUTS, ARE TO BE ADJUSTED BY THE UTILITY CONTRACTOR TO CONFORM TO LANDSCAPING SOD INSTALLATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS FOR THE EXACT LOCATIONS AND DIMENSIONS OF ENTRY, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND DOWNSPOUTS.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS AT THE COMPLETION OF THE PROJECT.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- ALL STORM PIPE ENTERING CONCRETE STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL AND SHALL BE PERMANENTLY STABILIZED WITH SEED OR SOD.
- REMOVE ALL TREES (INCLUDING ROOTBALLS), GRASS, WEEDS, ROOTS, AND OTHER DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.
- EXISTING TREES WHERE INDICATED SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES.



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CAUTION
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UNANTICIPATED SOIL CONDITIONS

- IF UNSUITABLE BEARING MATERIALS ARE ENCOUNTERED AT THE SPECIFIED SUBGRADE DEPTHS, THE CONTRACTOR SHALL NOTIFY THE OWNER. SOIL SUBGRADES WHICH ARE UNSTABLE DUE TO INADEQUATE CONSTRUCTION DEWATERING OR EXCESSIVE SUBGRADE DISTURBANCE ARE NOT DEEMED UNSUITABLE SOILS.
- FILL SOIL THAT IS NOT WITHIN +/- 2% OPTIMUM MOISTURE FOR COMPACTION OF THE PARTICULAR MATERIAL IN PLACE AS DETERMINED BY THE OWNER'S REPRESENTATIVE AND IS DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION OPERATIONS SO THAT PROPER COMPACTION CANNOT BE REACHED SHALL NOT BE CONSTRUED AS UNSUITABLE BEARING MATERIAL.
- THE CONTRACTOR SHALL FOLLOW A CONSTRUCTION PROCEDURE WHICH PERMITS VISUAL IDENTIFICATION OF FIRM NATURAL GROUND.
- SURFACE RUNOFF: SURFACE WATER ON AND AROUND THE SITE SHALL BE COLLECTED INTO LOCAL SUMPS BY MEANS OF TRENCHES, PIPES, ETC., AND PUMPED INTO THE STORM WATER SYSTEM. USE APPROPRIATE FILTRATION OR SEDIMENTATION TO PREVENT PUMPING OF SUSPENDED SOLIDS INTO THE STORM SEWER. A PERMIT MUST BE OBTAINED FOR SUCH PUMPING.
- DEWATERING OF TRENCHES AND EXCAVATIONS: TRENCHES AND EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER AT ALL TIMES. PUMPING IS TO BEGIN AS SOON AS WATER BEGINS TO ACCUMULATE AND IS TO CONTINUE UNTIL WATER IS REMOVED.

LEGEND

- GRADING LIMITS
- GRADING BREAK LINE

TOTAL DISTURBED AREA:

0.88 ACRES

ABBREVIATIONS

- BC BACK OF CURB
- EG EXISTING GRADE
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOWLINE
- GL GUTTER LINE
- HP HIGH POINT
- LP LOW POINT
- TBK TOP OF BANK
- TC TOP OF CURB
- TG TOP OF GRATE
- TOE TOP OF BANK
- TP TOP OF PAVEMENT
- TR TOP OF RIM
- TS TOP OF SIDEWALK
- TW TOP OF WALL



wallace design collective, pc
structural-civil-landscape-survey
9800 pyramid court, suite 350
englewood, co 80112
303.350.1690-800.364.5858



WELLS FARGO - GREELEY

6835 10TH STREET, GREELEY, CO 80634

REV	DATE	DESCRIPTION

DATE 04/18/2025
PROJECT NO. 2475038
SHEET NAME

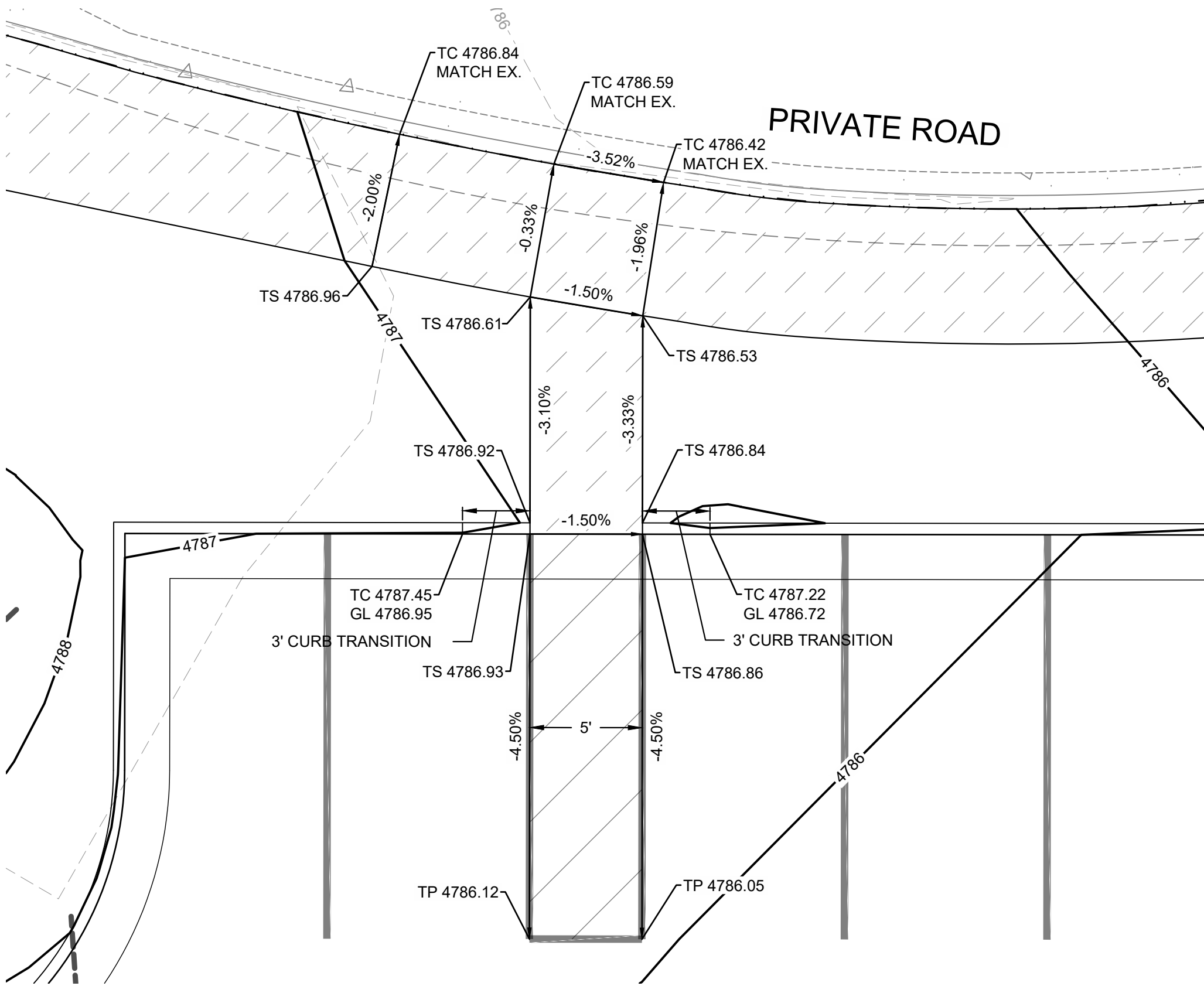
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SHEET NO.

C500

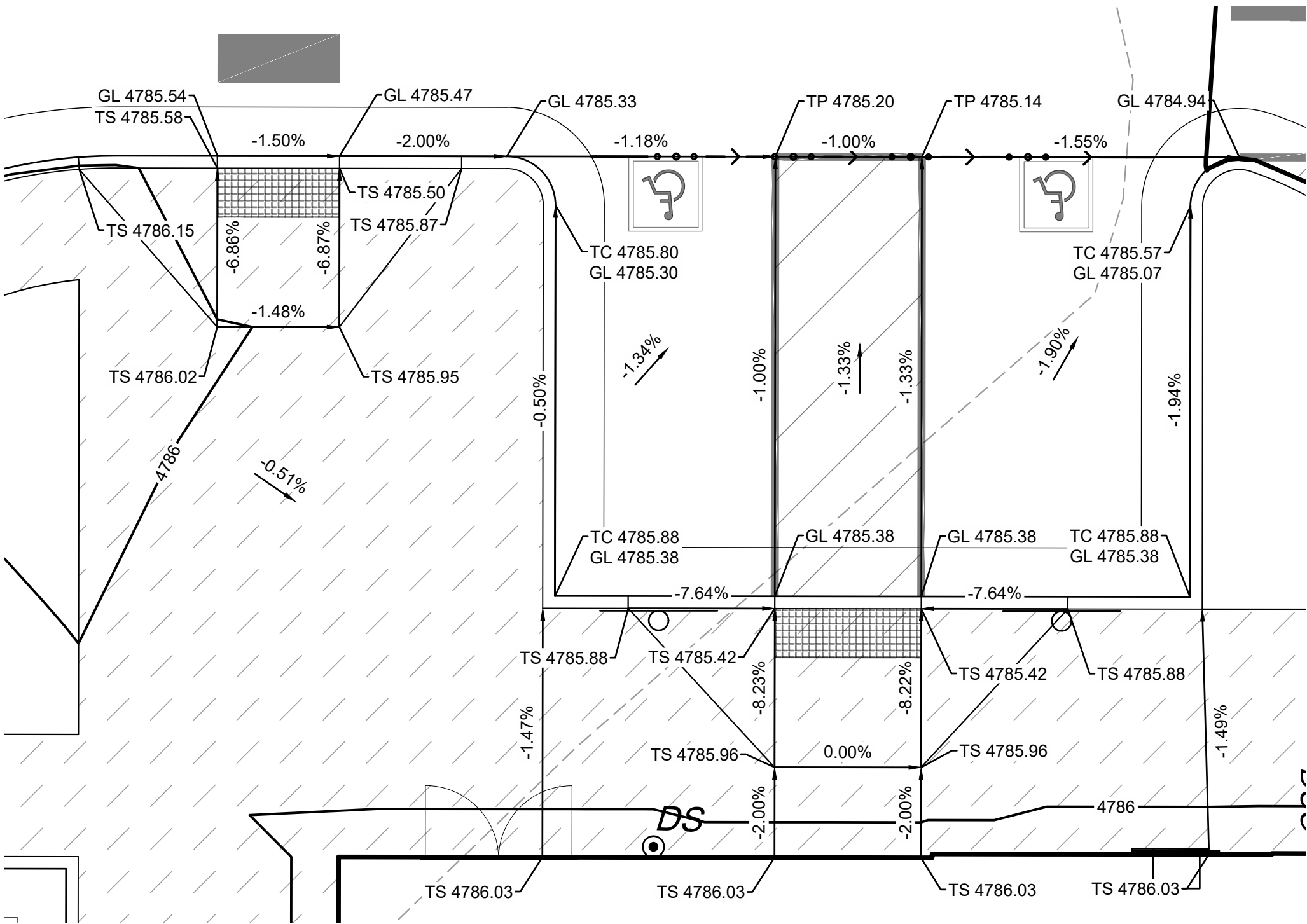
WELLS FARGO - GREELEY CIVIL CONSTRUCTION DOCUMENTS

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

PROJECT NUMBER: SPR2025-00009



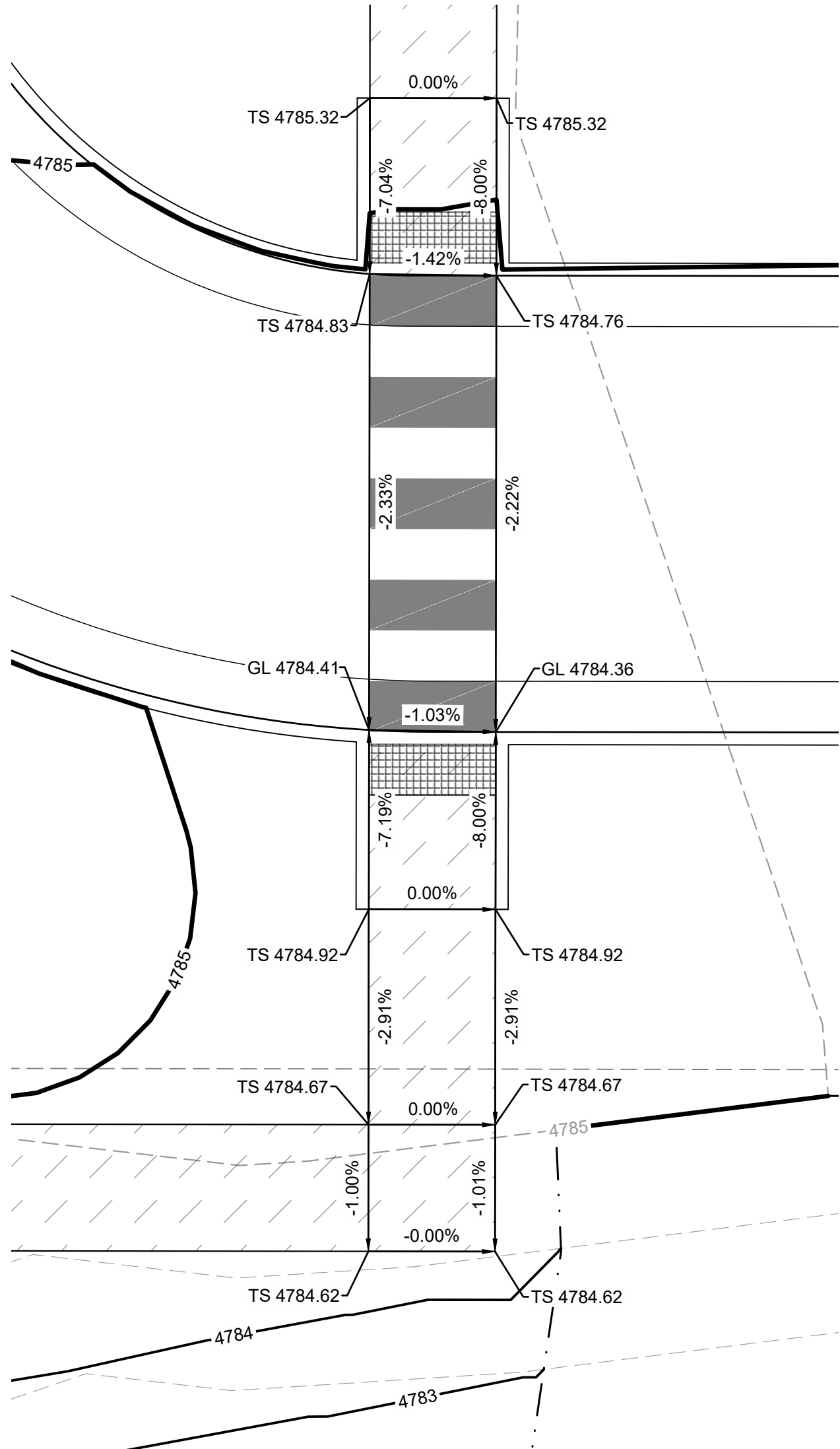
1 - SIDEWALK CONNECTION DETAIL
SCALE: 1"=5'



2 - ACCESSIBLE PARKING GRADING DETAIL
SCALE: 1"=5'

ABBREVIATIONS	
BC	BACK OF CURB
EG	EXISTING GRADE
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOWLINE
GL	GUTTER LINE
HP	HIGH POINT
LP	LOW POINT
TBK	TOP OF BANK
TC	TOP OF CURB
TG	TOP OF GRATE
TOE	TOE OF BANK
TP	TOP OF PAVEMENT
TR	TOP OF RIM
TS	TOP OF SIDEWALK
TW	TOP OF WALL

LEGEND	
--- --	GRADING LIMITS
-----	GRADING BREAK LINE



3 - SIDEWALK CONNECTION DETAIL
SCALE: 1"=5'



WELLS FARGO - GREELEY

6835 10TH STREET, GREELEY, CO 80634

REV	DESCRIPTION	DATE

DATE 04/18/2025
PROJECT NO. 2475038
SHEET NAME

GRADING
DETAILS

SHEET NO.
C501



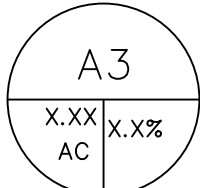








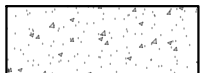




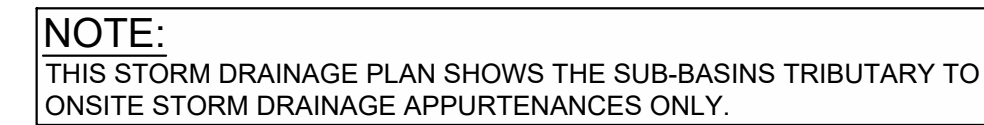
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LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

		DRAINAGE BASIN BOUNDARY
	CATCHMENT AREA, ACREAGE AND PERCENT IMPERVIOUSNESS	
	DESIGN POINT	
	TOP OF BERM	
	PROPOSED STORM DRAIN	
	EXISTING STORM DRAIN	
	PROPOSED CONTOUR	
	EXISTING CONTOUR	
	OVERFLOW PATH	
	STANDARD DUTY ASPHALT PAVEMENT RE: X/XX	
	HEAVY DUTY ASPHALT PAVEMENT RE: X/XX	
	CONCRETE SIDEWALK RE: X/XX	
	EXISTING CONCRETE	



1. ALL PIPING SHALL BE INSTALLED WITH A MINIMUM OF 30" OF COVER, UNLESS NOTED OTHERWISE. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. UTILITY TRENCH DETAIL RE: C800.
2. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
3. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED WITH NON SHRINK GROUT TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
4. ALL STORM SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT GREELEY STANDARD CONSTRUCTION SPECIFICATIONS.
5. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
6. THE CONTRACTOR SHALL NOTIFY THE GREELEY PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
7. MANHOLES AND APPURTENANCE DETAILS SHALL BE APPROVED BY THE CITY ENGINEER BEFORE CONSTRUCTION IS STARTED.
8. ALL STORM SEWER MAIN PIPE SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE), ADS N-12, OR EQUIVALENT, CORRUGATED, SMOOTH INTERIOR PLASTIC PIPE.
10. ALL STORM SEWER PIPE AND FITTINGS TO INTERIOR AREA INLETS SHALL BE POLYVINYL CHLORIDE (PVC), SDR 35, SOLID WALL PLASTIC PIPE.
10. IF REINFORCED CONCRETE PIPE (RCP) IS USED, IT SHALL CONFORM TO ASTM C-76 CLASS III, WALL "B", UNLESS OTHERWISE NOTED. OMNI-FLEX JOINTS SHALL BE REQUIRED ON ALL REINFORCED CONCRETE PIPE.
11. STORM SEWER BEDDING, BACKFILL, AND COMPACTION SHALL BE IN ACCORDANCE WITH GREELEY STANDARD DRAWINGS.
12. ALL STORM SEWER LINES NOT UNDER PAVING SHALL BE LAID IN TYPE A AGGREGATE BEDDING TO A MINIMUM DEPTH OF 12 INCHES ABOVE THE TOP OF PIPE. THE TRENCH MAY BE BACKFILLED WITH COMPACTED SOIL UPON APPROVAL BY THE INSPECTOR.
13. STORM SEWER LINES LOCATED UNDER PAVED STREETS SHALL BE LAID IN TYPE A AGGREGATE BEDDING AND THE TRENCH COMPLETELY FILLED TO SUBGRADE WITH TYPE A AGGREGATE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
14. PIPE BACKFILL SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES, AND COMPACTED BY VIBRATORY PLATE OR OTHER METHOD APPROVED BY THE ENGINEER.
15. PAVING SUBGRADE SHALL BE RESTORED TO PROPER GRADE (+ OR - 0.1 FT) AND DENSITY AFTER PIPE IS BACKFILLED.
16. ALL PRECAST MANHOLES SHALL HAVE ADJUSTABLE TOP RIMS PROVIDING SIX (6) INCHES, PLUS OR MINUS, FOR ADJUSTMENT TO FINAL GRADES. ELEVATIONS SHOWN ON PLANS MAY BE ADJUSTED WHILE THE WORK IS IN PROGRESS TO CONFORM TO FINAL IN-PLACE PAVING AND LANDSCAPE GRADES.
17. THE UTILITY CONTRACTOR ASSUMES THE RISK OF ORDERING PRECAST CONCRETE COMPONENTS PRIOR TO FIELD STAKING AND REVIEW OF FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
18. VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS THE WORK IS COMPLETED.



6835 10TH STREET, GREELEY, CO 80634

DATE	04/18/2025
PROJECT NO.	2475038
SHEET NAME	

STORM
RAINAGE PLAN
SHEET NO.
C502

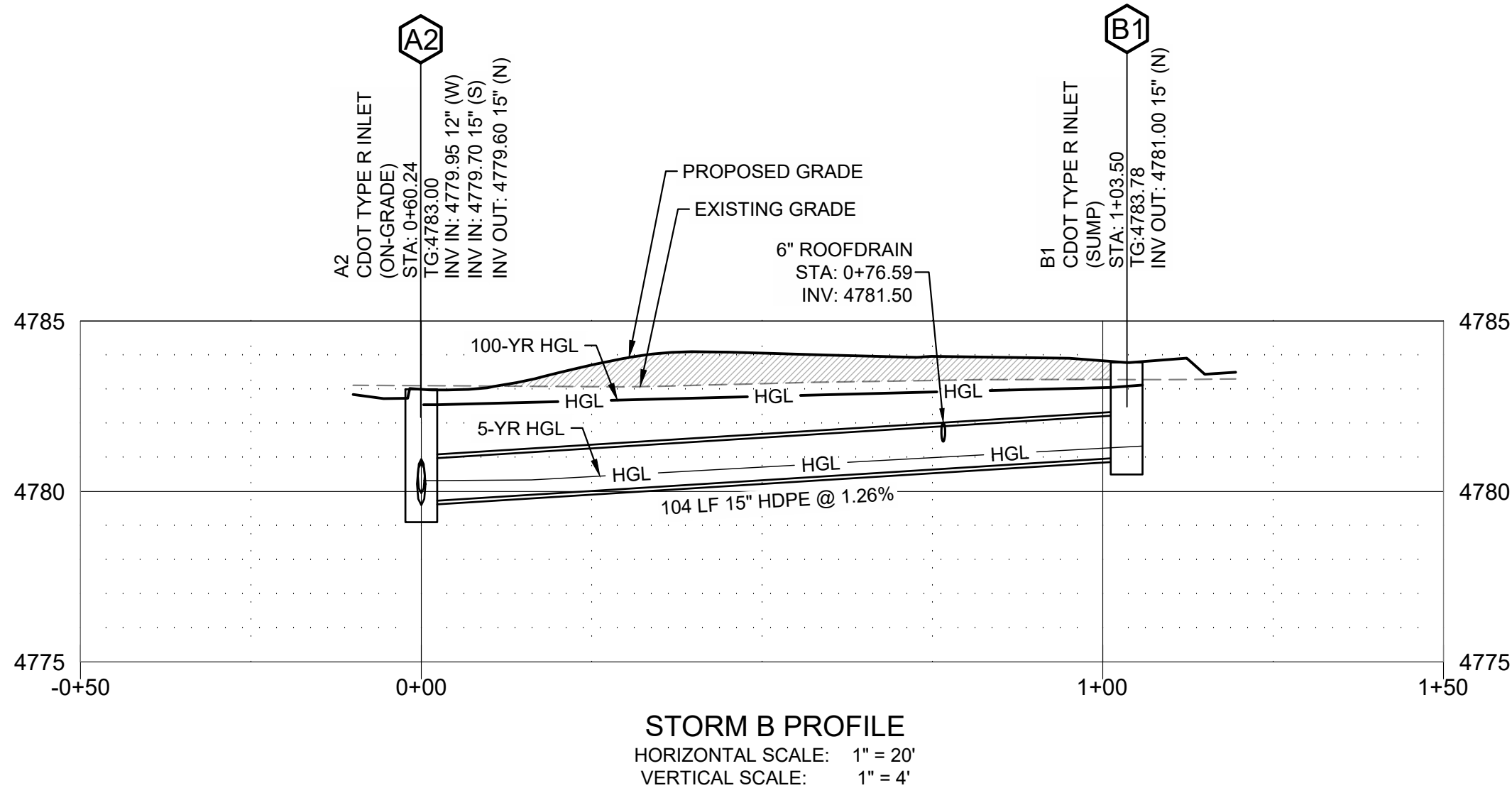
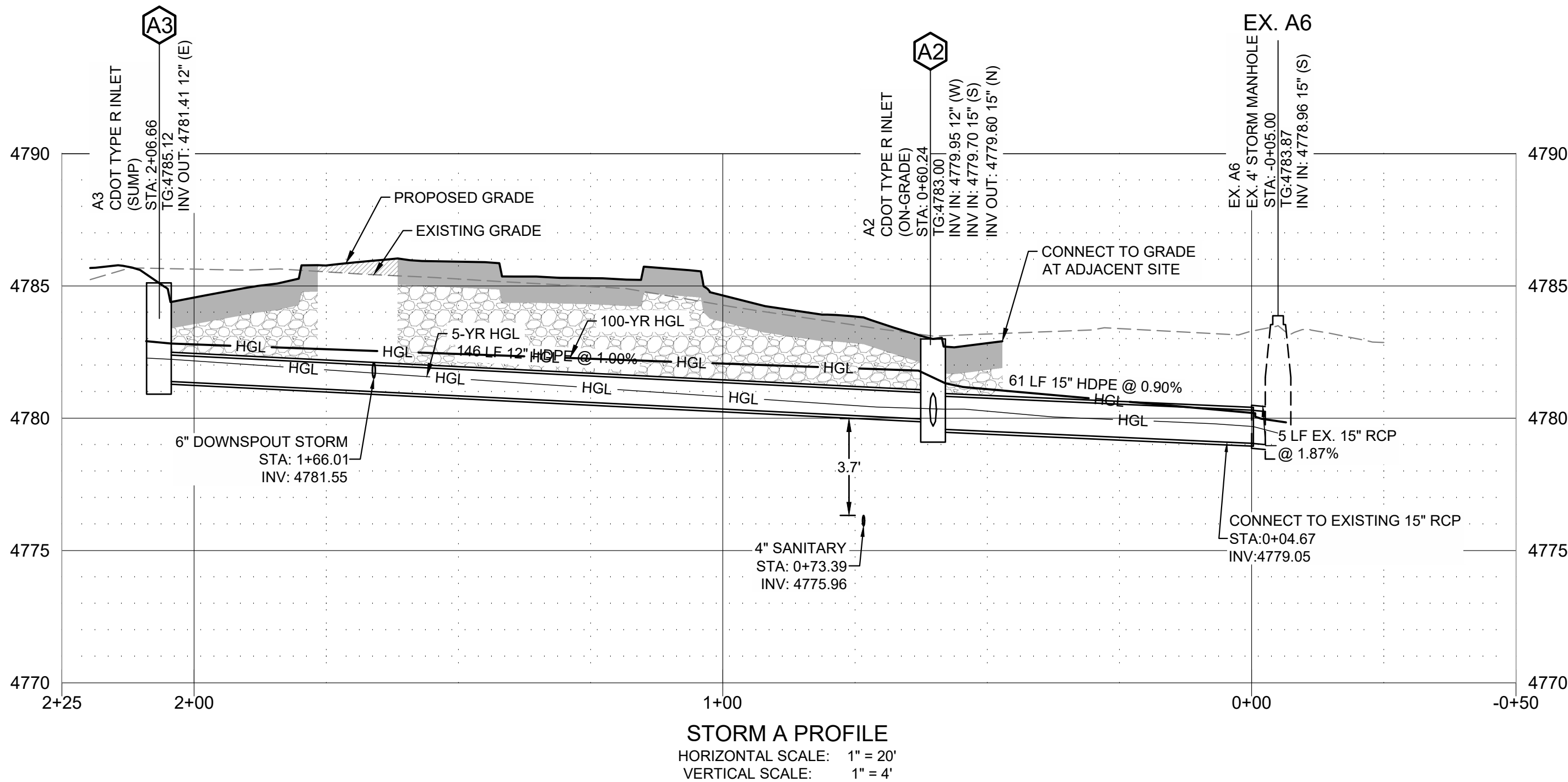


THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

WELLS FARGO - GREELEY CIVIL CONSTRUCTION DOCUMENTS

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

PROJECT NUMBER: SPR2025-00009



Know what's below.
Call before you dig.

CAUTION
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



WELLS FARGO - GREELEY

6835 10TH STREET, GREELEY, CO 80634

REV	DESCRIPTION	DATE

DATE 04/18/2025
PROJECT NO. 2475038
SHEET NAME

STORM
PROFILES
SHEET NO.
C503

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES



1. PRIOR TO CONSTRUCTION, LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY CONTRACTOR WITH THE PROPER UTILITY COMPANY PROVIDING SERVICE. SERVICE LINES SHOWN FOR COORDINATION AND REFERENCE ONLY. CONTRACTOR SHALL COORDINATE WITH ALL SERVICE PROVIDERS (TELECOMMUNICATIONS, ELECTRIC, GAS, ETC.) PRIOR TO INSTALLING SERVICE LINES OR APPURTENANCES. CONTRACTOR IS TO COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
2. THIS PLAN DEPICTS THE INTENT OF PRIVATE AND FRANCHISE UTILITY ROUTINGS AS UNDERSTOOD DURING DESIGN PHASES OF THE PROJECT. IT IS THE OWNER/DEVELOPER'S RESPONSIBILITY TO NEGOTIATE ALL CONTRACTS FOR SERVICE WITH EACH INDIVIDUAL UTILITY COMPANY AND TO PROVIDE THE ENGINEER WITH ANY DOCUMENTS THAT MAY AFFECT THE LAYOUT.
3. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS BEFORE CONNECTING TO ANY EXISTING LINE IN ACCORDANCE WITH LOCAL REQUIREMENTS.
4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
5. NOT ALL EXISTING UNDERGROUND UTILITIES MAY BE SHOWN ON THIS PLAN. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY ARE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO CONSTRUCTION.
6. RESTRAINED JOINTS SHALL BE PROVIDED ON 4" AND LARGER WATER LINES AT ALL BENDS TEES AND FIRE HYDRANTS FOR A MINIMUM 2 JOINTS BOTH SIDES OF FITTING PER AWWA MINIMUM STANDARDS.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. TERMINATE SERVICE PIPING 5' FROM BUILDING WALL UNTIL BUILDING PIPING SYSTEMS ARE INSTALLED. TERMINATE PIPING WITH VALVE AND CAP PLUG OR FLANGE AS REQUIRED FOR PIPING MATERIAL. MAKE CONNECTIONS TO BUILDING PIPING SYSTEMS WHEN THOSE SYSTEMS ARE INSTALLED.
8. REFER TO PLUMBING AND/OR FIRE PROTECTION SHEETS FOR FIRE LINE LEAD-IN LOCATION AND DETAIL. CONTRACTOR SHALL UTILIZE AWWA AND FACTORY MUTUAL TEST AND CERTIFICATIONS FOR ALL UNDERGROUND FIRE PROTECTION LINES AS A MINIMUM. LOCAL OR STATE AUTHORITIES MAY REQUIRE MORE STRINGENT TESTING WHICH SHALL BE PROVIDED BY THE GC IF REQUIRED.
9. FIRE LINE BACKFLOW PREVENTER (DOUBLE CHECK ASSEMBLY) SHALL BE LOCATED INSIDE THE BUILDING.
10. ALL PIPING SHALL BE INSTALLED WITH A MINIMUM OF 30" OF COVER, UNLESS NOTED OTHERWISE. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. UTILITY TRENCH DETAIL RE: CB80.
11. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR CONTINUATION OF UTILITIES AT BUILDING.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL CONDUITS (INCLUDING IRRIGATION SLEEVES) PRIOR TO PAVING WHETHER OR NOT SHOWN ON CIVIL PLANS. THE CONTRACTOR SHALL INSTALL ALL CONDUITS WITH A PULL STRING. ALL CONDUIT SHALL BE SCH. 40 PVC, UNLESS NOTED OTHERWISE.
13. CONSTRUCT CLAY TRENCH PLUG THAT EXTENDS AT LEAST 5 FEET OUT FROM THE FACE OF THE BUILDING EXTERIOR. THE PLUG MATERIAL SHALL CONSIST OF CLAY COMPACTED AT A WATER CONTENT AT OR ABOVE THE SOIL'S OPTIMUM WATER CONTENT. THE CLAY FILL SHALL BE PLACED TO COMPLETELY SURROUND THE UTILITY LINE AND BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR DENSITY.
14. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
15. ALL STORM PIPE ENTERING CONCRETE STRUCTURES SHALL BE GROUTED WITH NON SHRINK GROUT TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
16. PROVIDE SLEEVE WITH LINK-SEAL (OR APPROVED EQUAL) AT GRADE BEAM PENETRATION LOCATIONS (RE: STRUCTURAL FOR DETAIL).
17. CONTRACTOR SHALL REFER TO ELECTRICAL SITE PLAN OR PHOTOMETRIC PLAN (BY OTHERS) FOR ALL SITE LIGHTING CONSTRUCTION DETAILS, REQUIREMENTS, AND FINAL POLE LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ALL NECESSARY ADJUSTMENTS TO POLE LOCATIONS AS NECESSARY TO AVOID OBSTRUCTIONS (I.E., UNDERGROUND UTILITIES, SIDEWALKS, ETC.,). CONTRACTOR SHALL PUT HOLE EACH LOCATION WHERE A NEW LIGHT POLE IS TO BE PLACED PRIOR TO CONSTRUCTION TO VERIFY THERE ARE NO CONFLICTS WITH EXISTING UTILITIES. IF DAMAGES OCCUR TO EXISTING UTILITIES THEY WILL REPLACE OR REPAIR AT THEIR OWN EXPENSE. POLE LOCATIONS MAY NOT BE ADJUSTED WITHOUT PRIOR APPROVAL FROM THE ENGINEERS SINCE A CHANGE IN LOCATION CAN IMPACT THE INTENDED PHOTOMETRIC DESIGN.
18. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF ANY PROPOSED SIGN(S) AND INSTALLATION OF ANY SECURITY CAMERAS WITH OWNER'S CONSTRUCTION MANAGER. COORDINATE WITH ELECTRICAL SITE PLAN TO PROVIDE ALL CONDUIT NEEDED FOR DATA AND/OR POWER TO SITE SIGN(S), SECURITY CAMERAS, AND LIGHT POLES.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



WELLS FARGO - GREELEY

6835 10TH STREET, GREELEY, CO 80634

[illegible]

MASTER UTILITY PLAN

SHEET NO.

C600

WELLS FARGO - GREELEY CIVIL CONSTRUCTION DOCUMENTS

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES

PROJECT NUMBER: SPR2025-00009

PRELIMINARY
FOR REVIEW ONLY

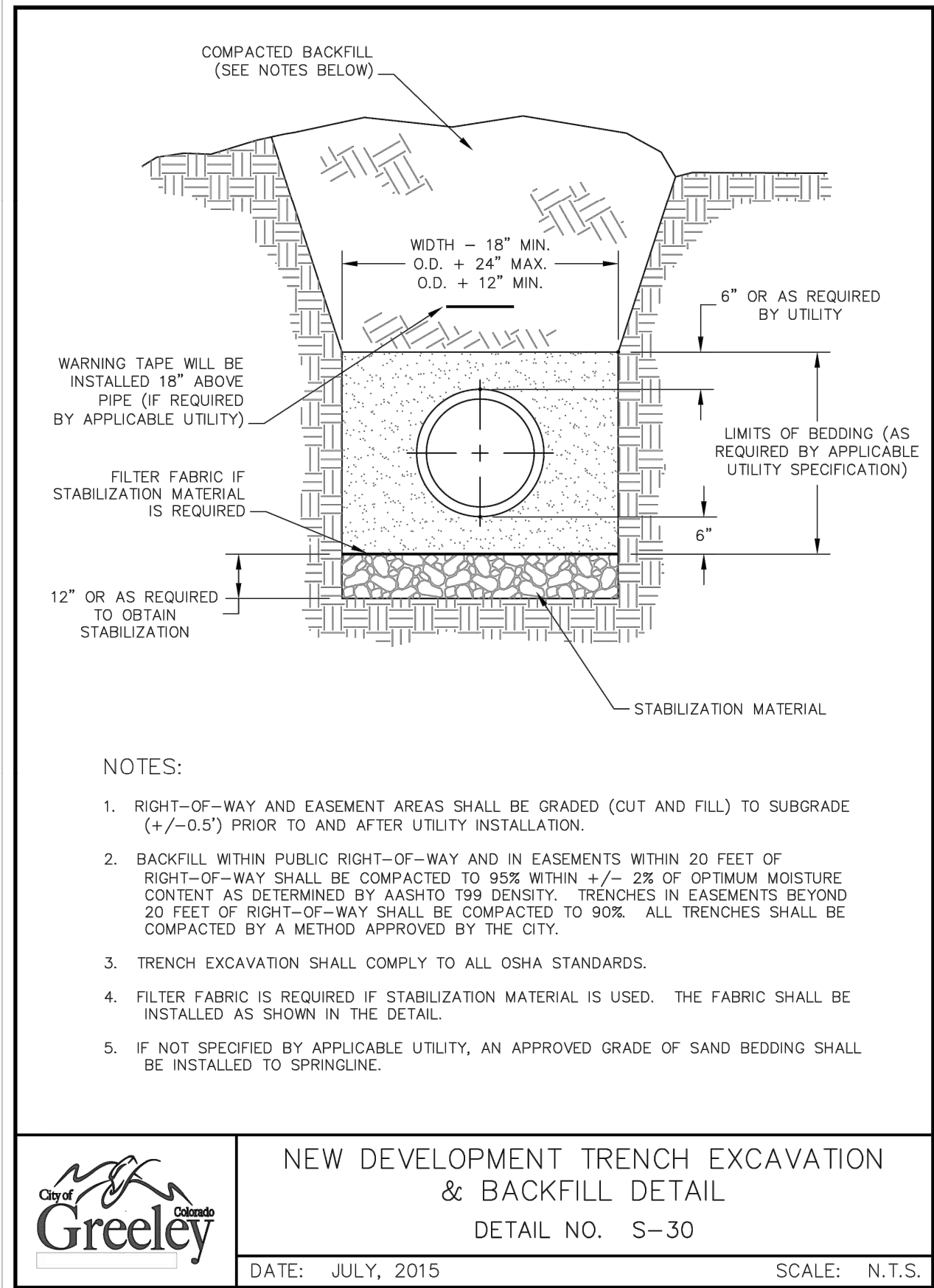
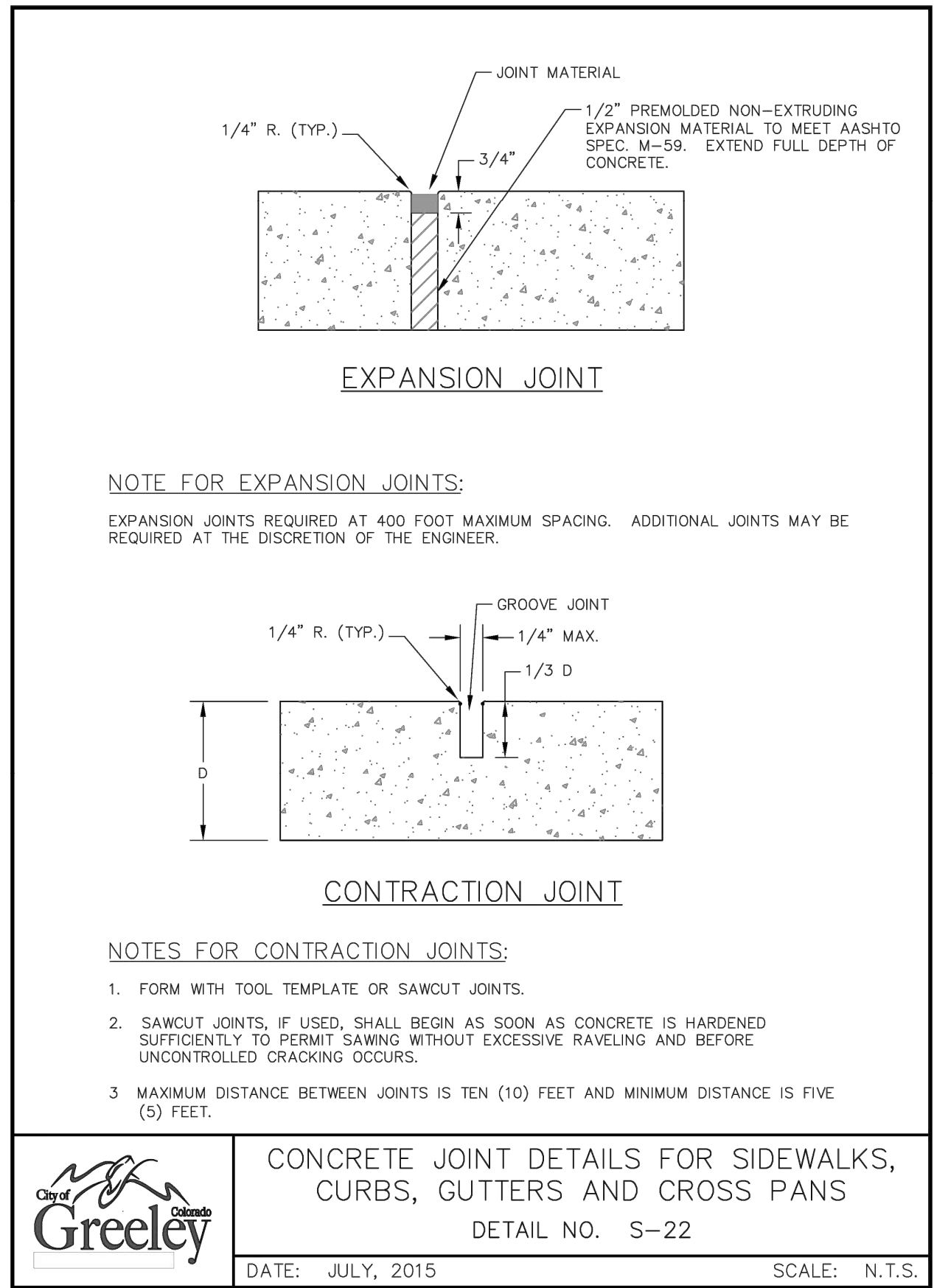
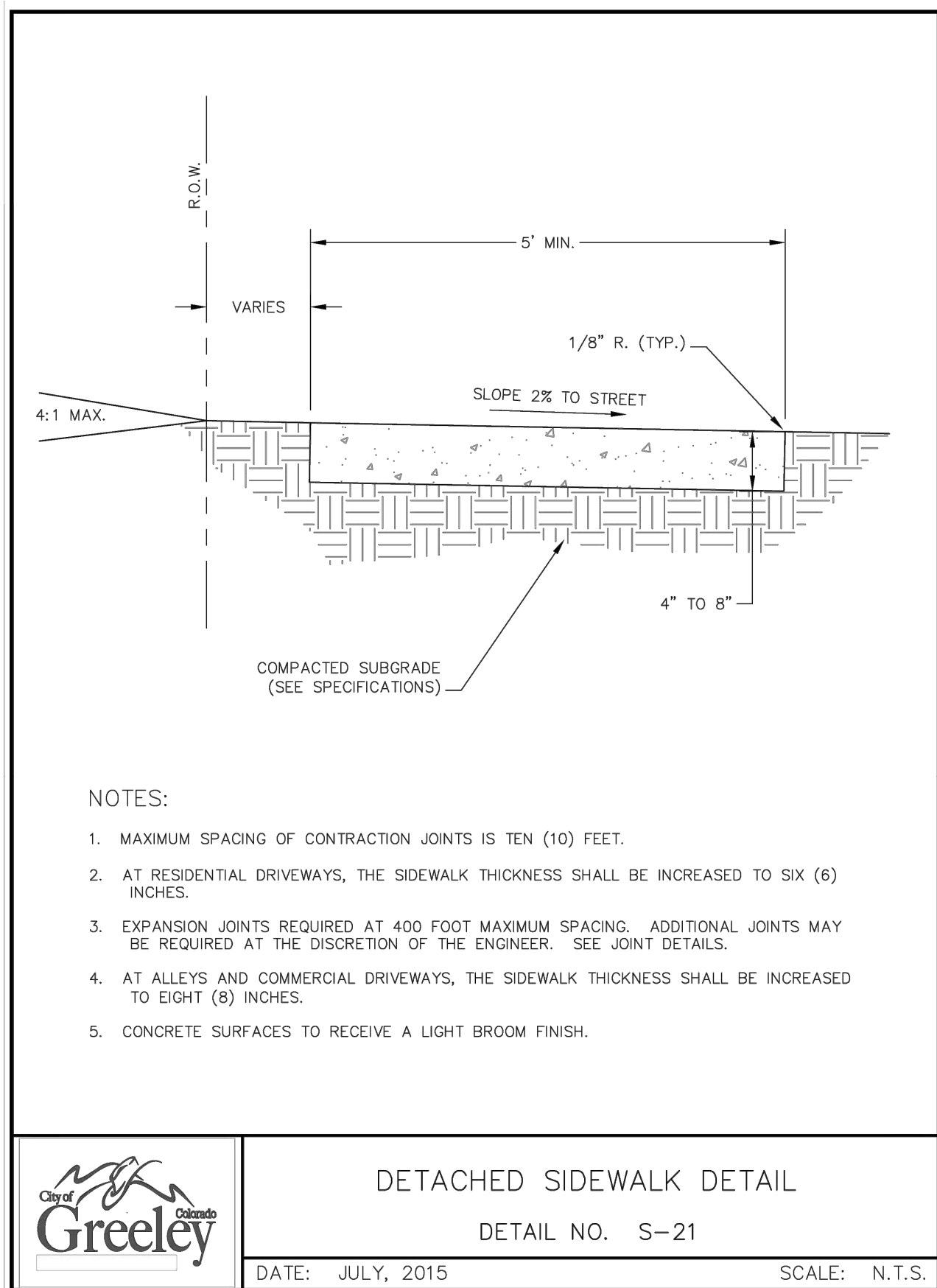
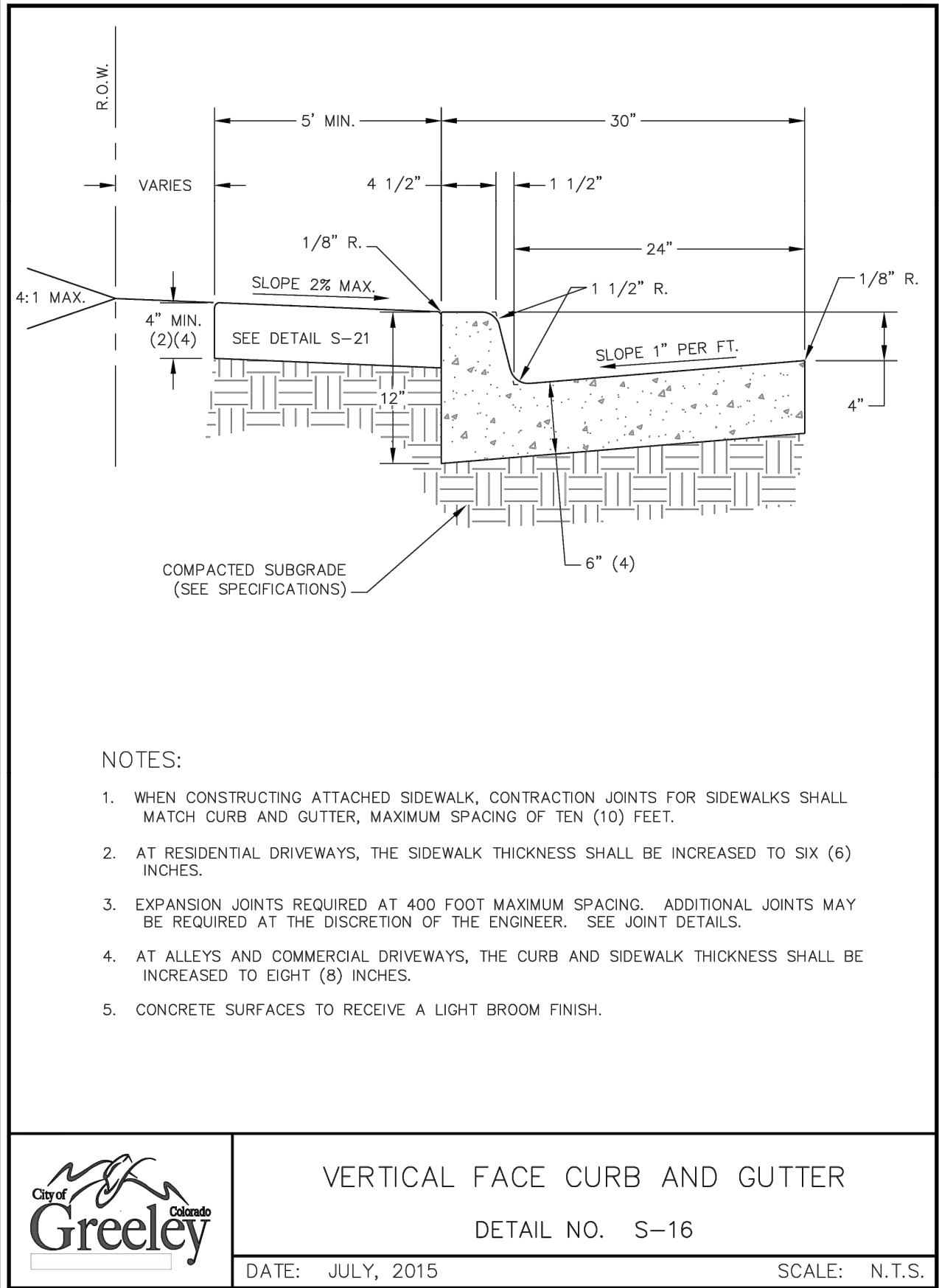
NOT FOR
CONSTRUCTION

WELLS FARGO - GREELEY

6835 10TH STREET, GREELEY, CO 80634

DATE	
DESCRIPTION	
REV	
DATE	04/18/2025
PROJECT NO.	2475038
SHEET NAME	

DETAILS 1
SHEET NO.
C800



MARK	BAR #	D.C. SPACING	TYPE	ALL INLETS		INLETS: H ≤ 5 FT.				INLETS: H > 5 FT.			
				L = 5 FT.		L = 10 FT.		L = 15 FT.		L = 10 FT.		L = 15 FT.	
				NO. REQ'D.	LENGTH	NO. REQ'D.	LENGTH	NO. REQ'D.	LENGTH	NO. REQ'D.	LENGTH	NO. REQ'D.	LENGTH
401	4	11"	II	15	21	26	31	11	11	11	11		
402	4	11"	II	7	13	18	23	7	7	7	7		
403	4	9"	II	8	4'-0"	8	4'-0"	8	4'-0"	8	4'-0"		
405	4	6"	VI	11	6'-10"	21	6'-10"	31	6'-10"	11	6'-10"		
406	4	6"	VIII	7	6'-10"	7	13'-10"	7	10'-10"	7	6'-10"		
407	4	9"	II	8	4'-0"	8	10'-10"	8	4'-0"	8	4'-0"		
408	4	12"	II	3	6'-10"	3	15'-10"	3	10'-10"	3	16'-0"		
409	4	8"	II	6	5'-10"	6	10'-10"	6	10'-10"	6	15'-10"		
410	4	11"	VII							3	3		
411	4	11"	II						3	5'-2"	3		
412	4	11"	II						3	2'-9"	3		
413	4	9"	II						7	10'-10"	7		
501	5	5/8"	IV	11	3'-4"	22	3'-4"	33	3'-4"	22	3'-4"		
502	5	5/8"	III						11	11'-5"	17		
503	5	5/8"	IX	5	3'-6"	16	3'-6"	6	3'-6"	6	3'-6"		
504	5	5/8"	IX										
601	6	3/4"	V	2	8'-10"	2	8'-10"	2	8'-10"	2	8'-10"		
REB.5				1	5'-10"	1	10'-10"	1	15'-10"	1	10'-10"		
				2 BARS, 1 REB.	4 BARS, 2 REB.	8 BARS, 3 REB.	14 BARS, 5 REB.	8 BARS, 1 REB.					

* VARIABLE REFER TO TABLE TWO

* INCLUDE 1/4 IN. INLET (SEE CHANNEL LAYOUT).

REGULAR INLETS

DROP BOX INLETS

TABLE ONE ~ BAR LIST FOR CURB INLETS, TYPE "R"

H"	LENGTH	NO. REQ'D.		NO. REQ'D.		L = 5 FT.		L = 10 FT.		L = 15 FT.			
		REGULAR		DROP BOX		CONC. CUL. YDS.	STEEL CUL. YDS.	CONC. CUL. YDS.	STEEL CUL. YDS.	CONC. CUL. YDS.	STEEL CUL. YDS.		
		403	407	403	407								
3'-0"	2'-8"	1'-8"	10	7				3.2	285	5.3	497	7.4	706
3'-6"	3'-2"	2'-2"	10	7				3.4	305	5.7	528	7.9	747
4'-0"	3'-6"	2'-6"	12	9				3.7	326	6.0	559	8.4	786
4'-6"	4'-2"	3'-2"	12	9				3.9	354	6.4	571	8.8	803
5'-0"	4'-6"	3'-6"	14	11				4.1	354	6.7	602	9.3	844
5'-6"	5'-2"	4'-2"	3'-5 1/2	16	13	15	6	4.4	375	6.9	607	7.4	850
6'-0"	5'-6"	4'-6"	18	15	16	6	4.6	382	6.2	616	7.6	860	
6'-6"	6'-2"	5'-2"	18	15	18	8	4.8	402	6.4	637	7.8	880	
7'-0"	6'-6"	5'-6"	20	17	19	10	5.0	423	6.6	654	8.0	897	
7'-6"	7'-2"	6'-2"	20	17	20	10	5.3	430	6.9	664	8.3	907	
8'-0"	7'-6"	6'-6"	22	19	22	12	5.5	451	7.1	684	8.5	927	
8'-6"	8'-2"	7'-2"	24	21	23	14	5.7	471	7.3	702	8.7	944	
9'-0"	8'-6"	7'-6"	24	21	24	14	6.0	479	7.6	711	9.0	954	
9'-6"	9'-2"	8'-2"	26	23	26	16	6.2	489	7.8	732	9.2	974	
10'-0"	9'-6"	8'-6"	28	25	27	18	6.4	500	8.0	749	9.4	992	
10'-6"	10'-2"	9'-2"	28	25	28	18	6.7	527	8.3	759	9.7	1001	
11'-0"	10'-6"	9'-6"	30	27	30	20	6.9	547	8.5	778	9.9	1022	

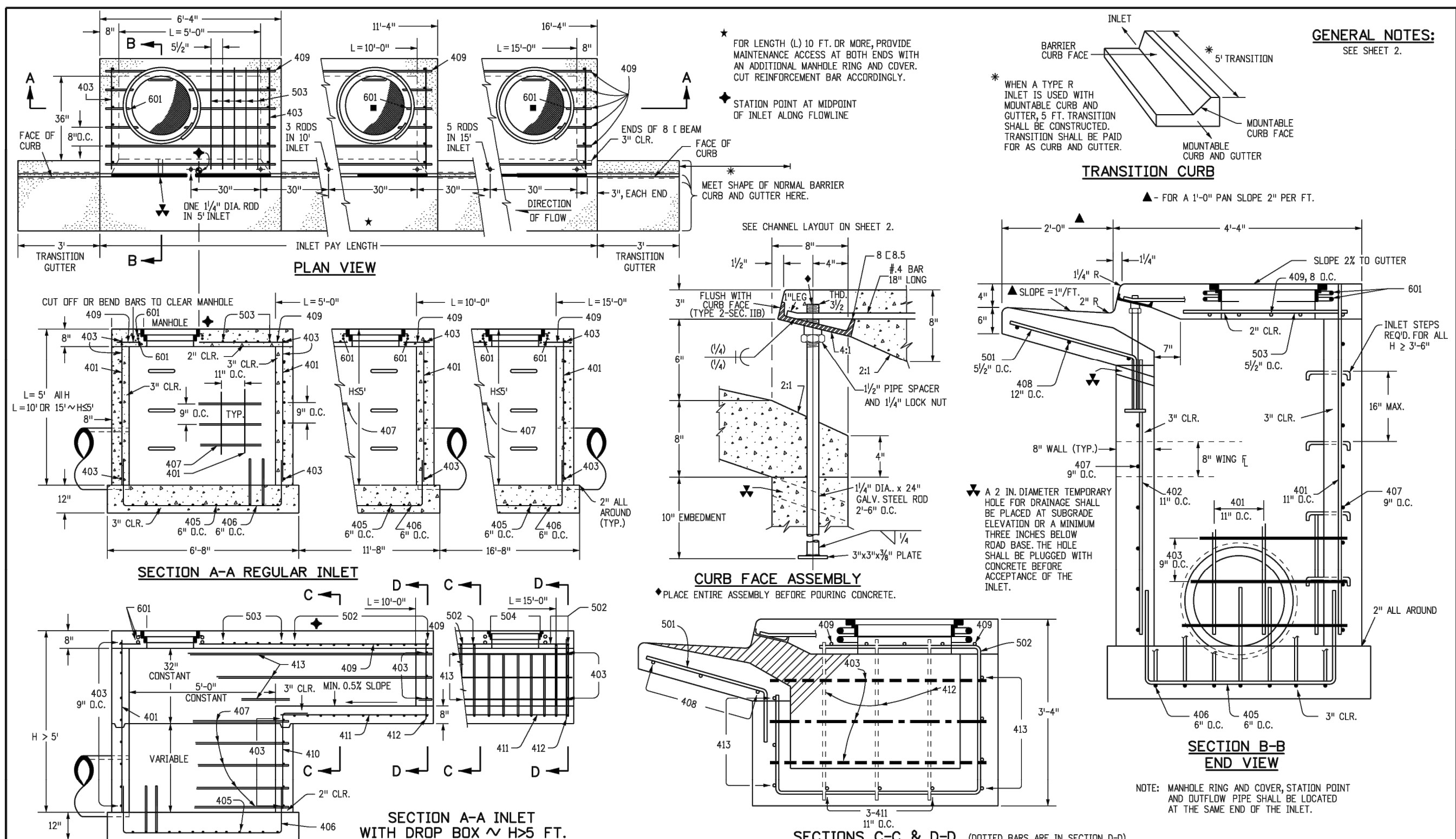
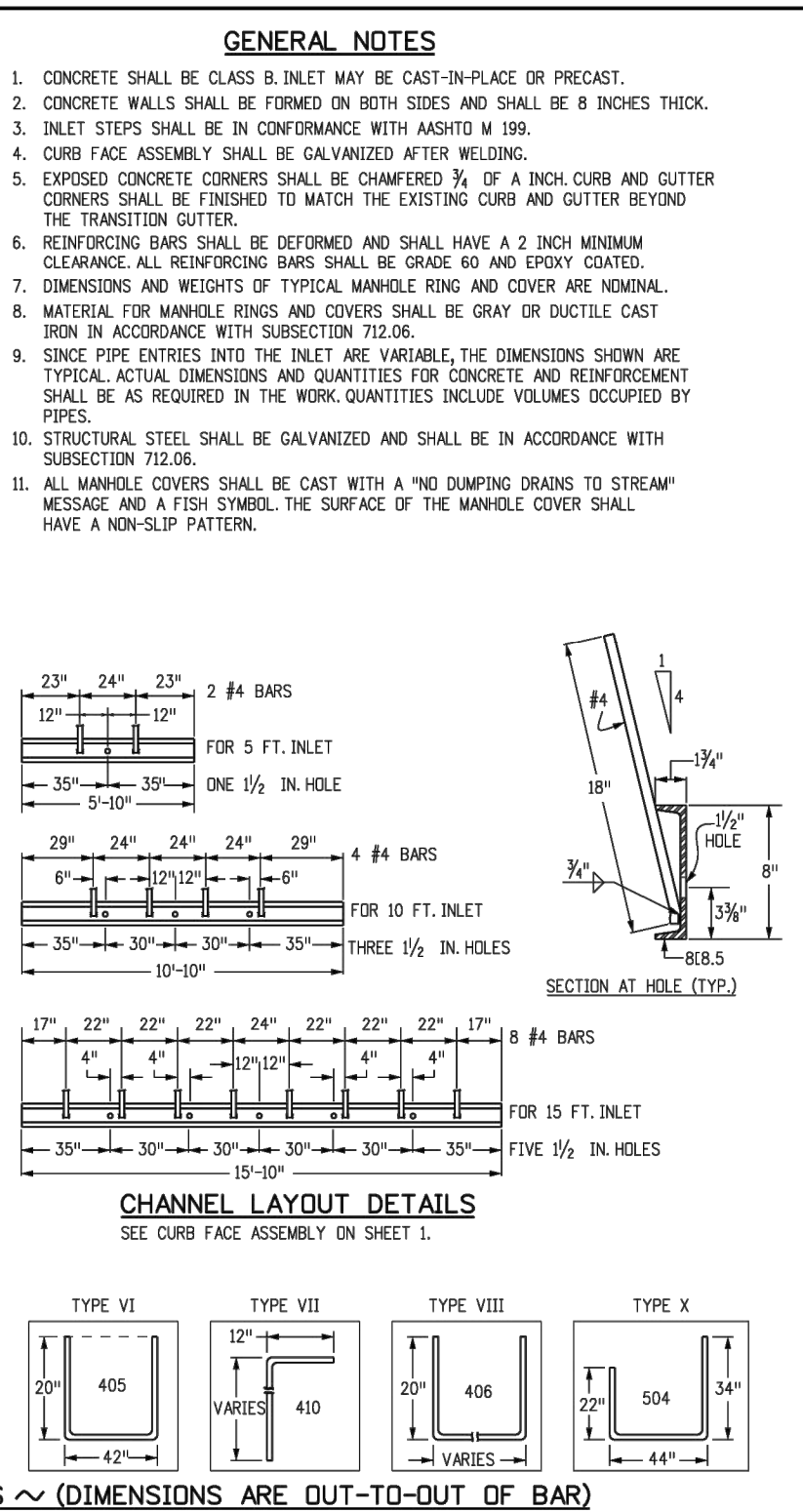
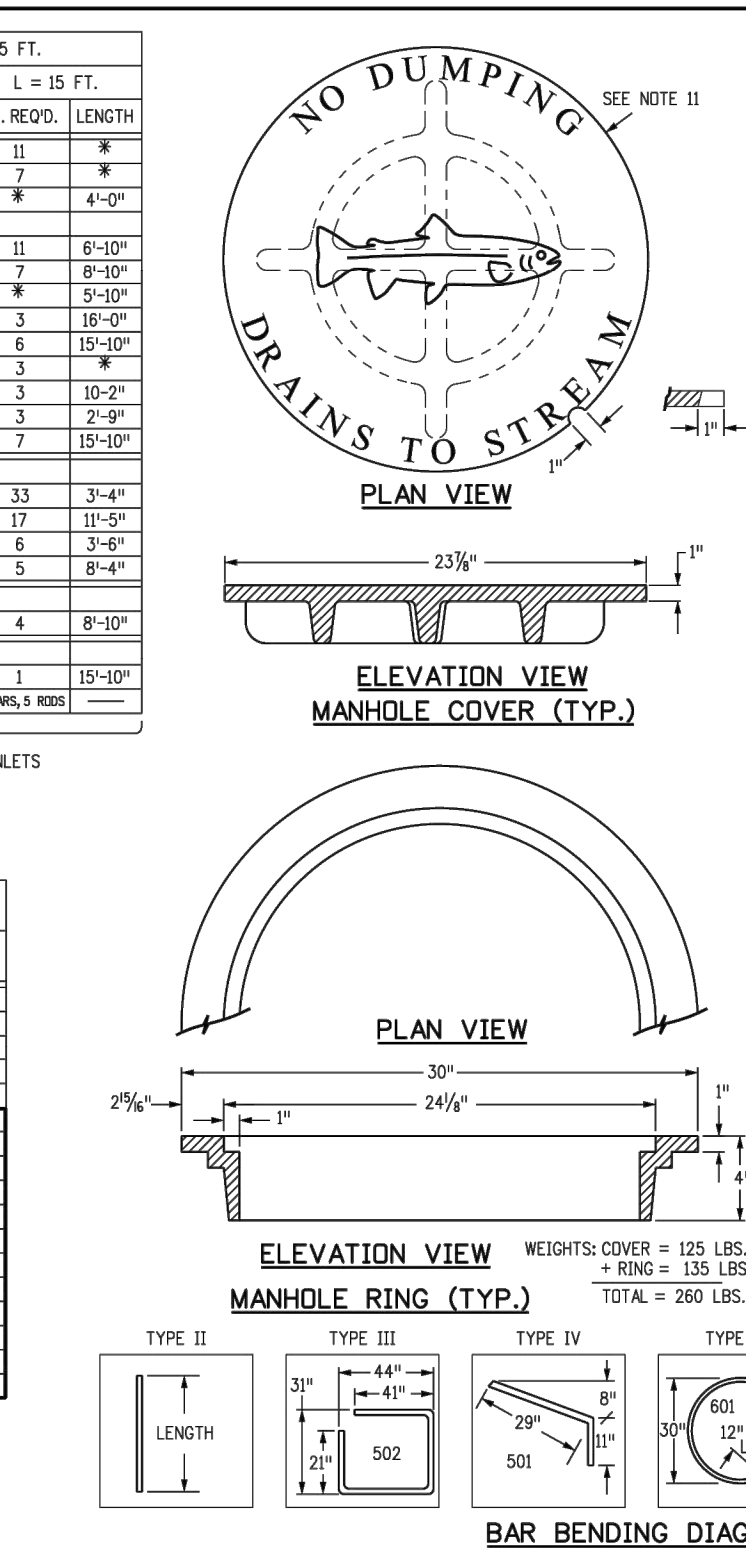
NOTES: FOR L=5 FT. L=10 FT. L=15 FT.

REGULAR INLETS: TOTAL QUANTITIES NEEDED ARE OUTSIDE THE HEAVY BLACK LINE.
DROP BOX INLETS: TOTAL QUANTITIES NEEDED ARE INSIDE THE HEAVY BLACK LINE.

STEEL, WEIGHTS DO NOT INCLUDE STRUCTURAL STEEL CHANNEL.

TABLE TWO ~ BARS AND QUANTITIES VARIABLE WITH "H"

TABLE TWO ~ BARS AND QUANTITIES VARIABLE WITH "H"											
Computer File Information				Sheet Revisions				Standard Plan No.			
Creation Dates: 07/31/19				Dates: Comments				M-604-12			
Designer Initials: JBK								Standard Sheet No. 2 of 2			
Last Modification Date: 07/31/19								Project Sheet Number:			
Detailer Initials: LTA											
CAD Ver: MicroStation VB Scale: Not to Scale Units: English											



Computer File Information				Sheet Revisions				Standard Plan No.			
Creation Dates: 07/31/19				Dates: Comments				M-604-12			
Designer Initials: JBK								Standard Sheet No. 1 of 2			
Last Modification Date: 07/31/19								Project Sheet Number:			
Detailer Initials: LTA											
CAD Ver: MicroStation VB Scale: Not to Scale Units: English											

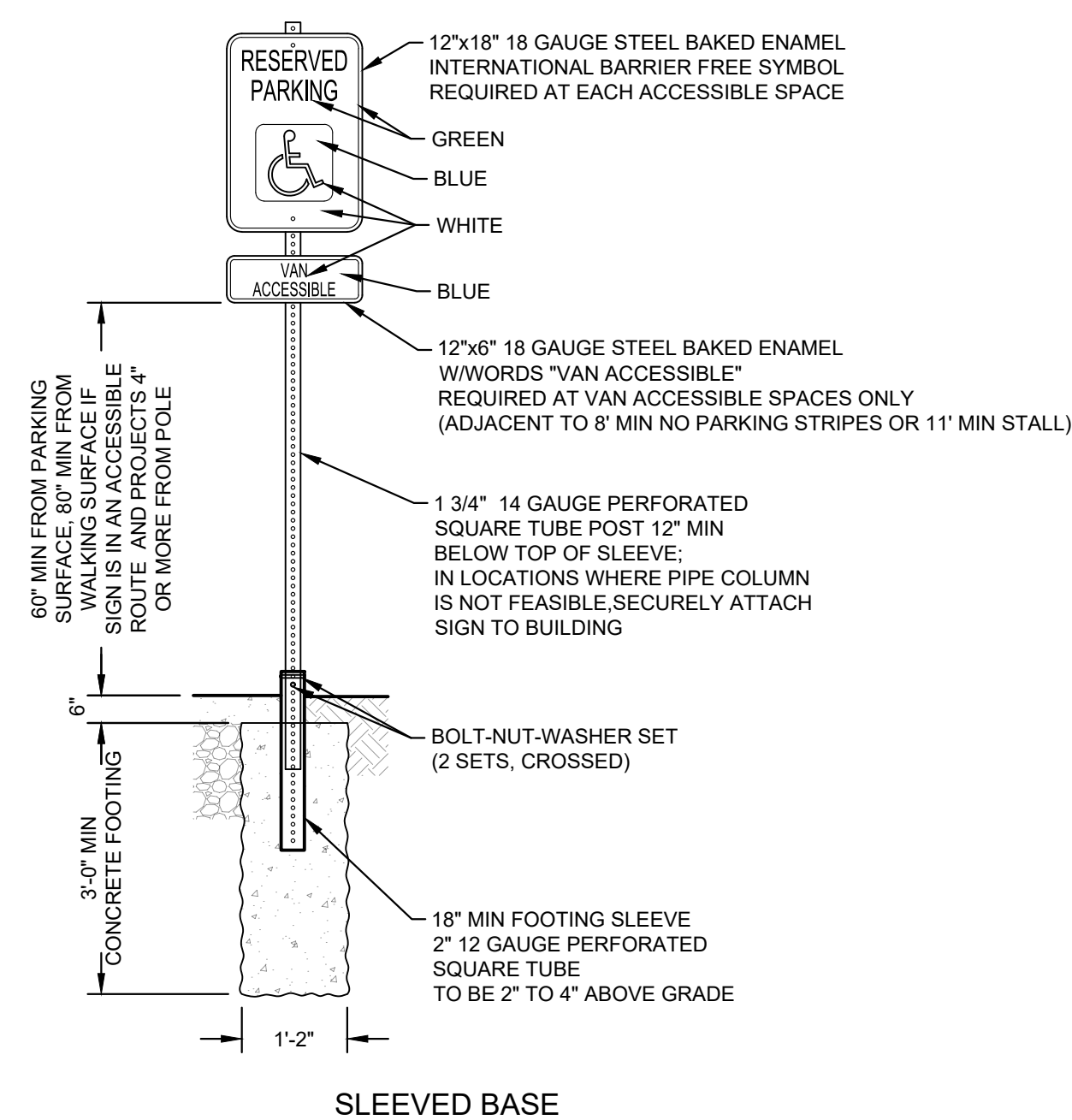
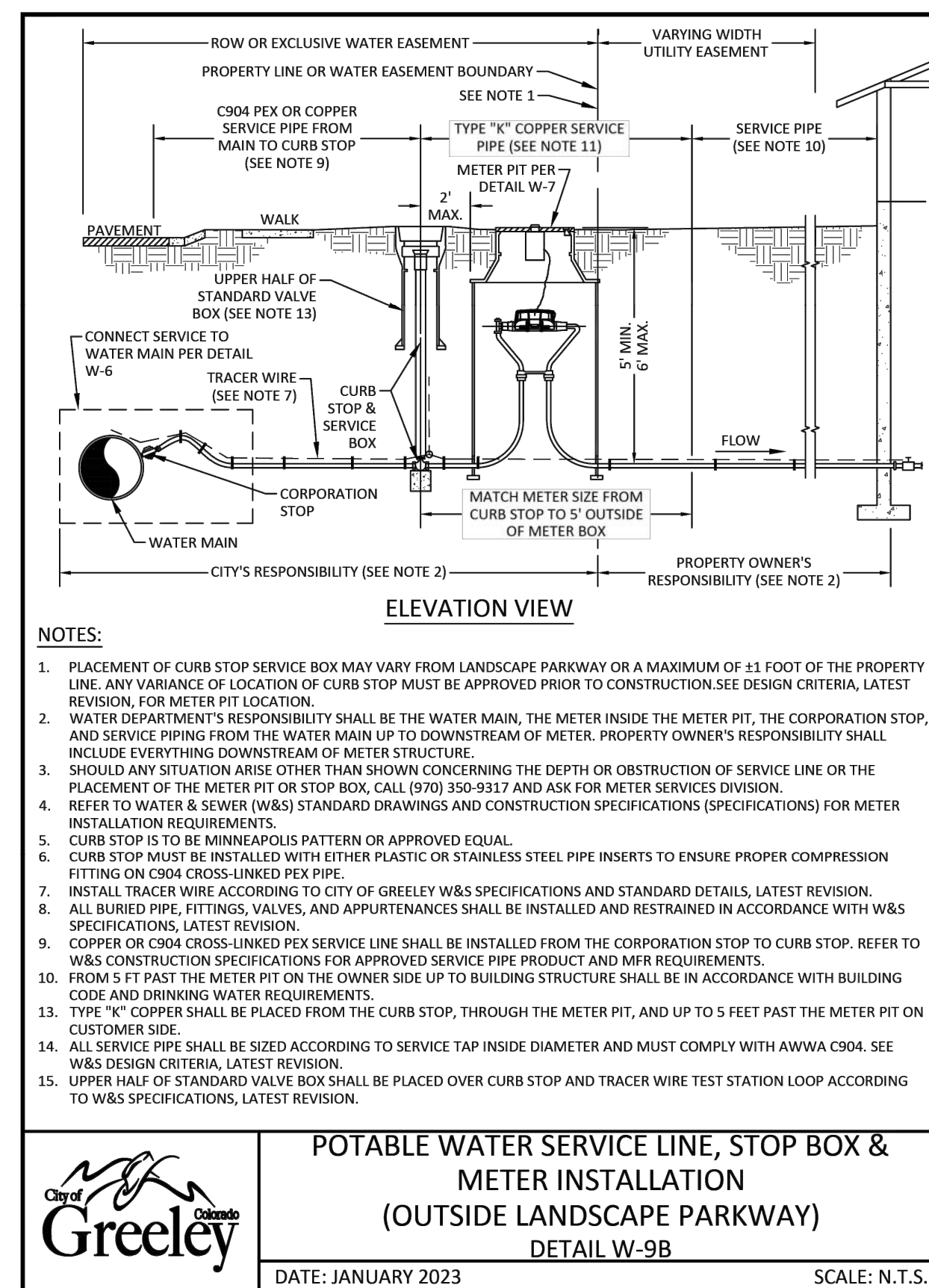
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Designer Initials: JBK								Standard Sheet No. 1 of 2			
Last Modification Date: 07/31/19								Project Sheet Number:			
Detailer Initials: LTA											
CAD Ver: MicroStation VB Scale: Not to Scale Units: English											

Computer File Information				Sheet Revisions				Standard Plan No.			
Creation Dates: 07/31/19				Dates: Comments				M-604-12			
Designer Initials: JBK								Standard Sheet No. 1 of 2			
Last Modification Date: 07/31/19								Project Sheet Number:			
Detailer Initials: LTA											
CAD Ver: MicroStation VB Scale: Not to Scale Units: English											

LOT 1, H-P GREELEY SUBDIVISION, EIGHTH REPLAT,
SITUATED IN THE SOUTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO
1.02 ACRES




wallace design collective, pc
structural - civil - landscape - survey
9800 pyramid court, suite 350
englewood, co 80112
303.350.1690 - 800.364.5858



3 ACCESSIBLE SIGNAGE

SCALE: NTS



WELLS FARGO - GREELEY

6835 10TH STREET, GREELEY, CO 80634

REV	DESCRIPTION	DATE

DATE	04/18/202
PROJECT NO.	247503
SHEET NAME	

DETAILS 2
SHEET NO. C801