



Phone 877-942-5613

W.O. # 158490
 Survey Date 09/17/2016
 Member Name Hamlin Roofing Services, Inc.
 Building Name Advance Auto Parts #103056
 (Asheville, NC)
 Building Address 400 Merrimon Avenue
 City, State & Zip Asheville, NC 28801
 Building Phone No. _____

Site Construction Information

Perimeter Dimensions 70' x 154' Square Feet 10,780
 Number of Roof Levels 1 Building Height 15
 Perimeter Detail Parapet Wall Raised Curb Edge Metal
 Wall Flashing Type modified Linear Feet 169
 Curb Flashing Type modified Linear Feet 54
 Edge Metal Type painted Linear Feet 154
 Expansion Joint Type Linear Feet
 Drainage (Drains, Scuppers, Etc) _____ Gutters/conductor head
 Drain Overflow _____
 Ponding Water Yes No

Roof Assembly Information

Core Cut Taken: (See work order instructions) <input type="checkbox"/>		Moisture Present: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Yes			

Mechanical Equipment

Penetrations

	Size	QTY
A/C Units	36" x 36"	1
	30" x 26"	1
Refrigeration Units	_____	_____
Skylights	_____	_____
Other	_____	_____
	_____	_____
	_____	_____

	Size	QTY
Vent Pipe	2"	2
Soil Stack	_____	_____
Sign Supports	_____	_____
Satellite Dish	_____	_____
Electrical Conduit	_____	_____
Equipment Rails	_____	_____
Drains	_____	_____
Ductwork	_____	_____
Curbs	15" x 17"	4

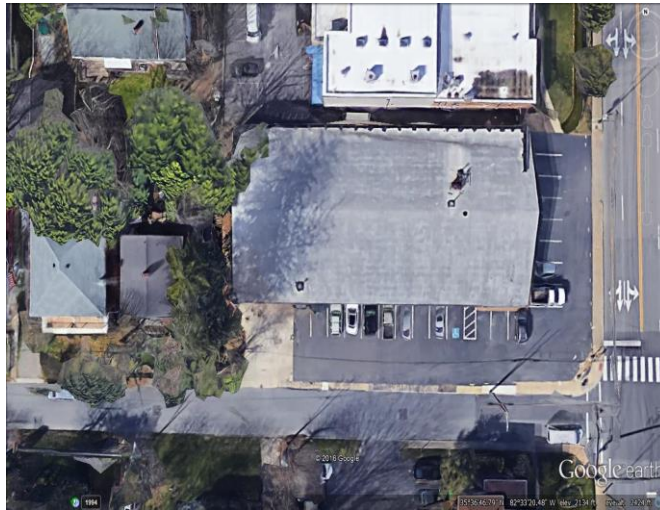
Roof Diagram

Advance Auto Parts
#103056 (Asheville, NC)

400 Merrimon Avenue,
Asheville NC

09/17/2016

Customer WO: 103056



Defect 1: 25 wall flashing joints need to be cut out and re-worked.

Defect 2: remove debris from roof

Defect 3: re-broadcast ballast

Defect 4: Since we do not know the leak history – it is difficult to determine if this building should be considered for immediate re-roofing. If they are experiencing leaks other than those that may be associated with the open wall flashings – they should consider re-roofing – as it may be near the end of its service life.

Defect 5:

Defect 6:

Notes:



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Number of Roofs: 2 roof levels one is a small canopy

**Directions: Select one of the options for each section by marking space with an "X" for Roof 1 and 2 (if applicable)*

	<u>Roof 1</u> <u>Existing Roof</u>	<u>Roof 2</u> <u>Original Roof</u>
TYPE		
BUR	x	
MB		
Single Ply (specify type)		
DECK TYPE		
Wood		
Structural Concrete		
Metal		
Lightweight Concrete		
Other (specify)		
UNDERLAYMENT		
None		
Base Sheet		
Vapor Retarder		
Other (specify)		
INSULATION		
None		
Fiberglass		
Wood Fiber		
Polyiso		
EPS		
Other (specify)		
Number of Layers		
Attachment Method		
Total Thickness (inches)		
Taper (Yes or No)		

General Condition Information

Estimated Age of Roof 20+ Overall Roof Assembly Condition: Poor Fair Good Excellent

Condition Definitions:

Poor: Multiple roof assembly problems, multiple leaks, roof should be replaced within one year.

Fair: Multiple Roof assembly problems requiring extensive repairs. Corrective / Preventative work necessary.

Good: Some minor roof assembly problems – all repairable. A few minor leaks reported.

Excellent: No obvious / noticeable roof assembly problems. Some minor repairs may be needed, no leaks.

Survey Option Details

Moisture Survey Completed: YES NO (If yes, attach survey results)

Asbestos Test Completed: YES NO (If yes, attach asbestos test lab report)

Note: No structural analysis is included with this survey. Asbestos test or moisture test is not unless requested by customer – these services are available for an additional fee.



RECOMMENDED ACTIONS

Call 877-942-5613 for any questions.

Customer Name: Advance Auto Parts - Facilities
Site/Store Number: Advance Auto Parts #103056
(Asheville, NC)
Site Address: 400 Merrimon Avenue
Site City/State: Asheville, NC
RoofConnect WO#: 158490
Customer PO#: 103056

PLEASE COMPLETE THE FOLLOWING:

Survey Date: 9/17/2016
Roof Type:
Roof Size (Total sq. ft):
Building Section:
Roof Condition: Good Fair Poor

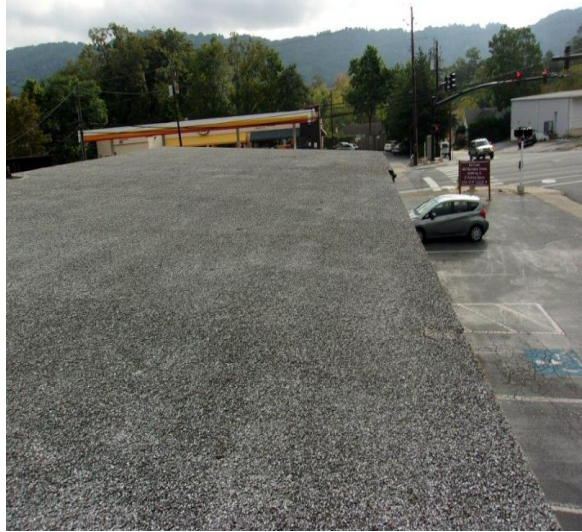
Class "C" = Corrective – inspection indicates immediate action is necessary
 Class "PM" = Preventative Maintenance – inspection indicates action is necessary to extend the useful life of the roof system.
 Class "W" = Warranty - potential warranty claim

#	Roof Defect Description <i>In detail describe the defect. If damaged explain how it appears to have happened.</i>	Recommended Action <i>How will repair be made?</i>	Units /Qty	Class C/PM/W	Cost to Complete	
					Current Year	Next Year
1	Open wall flashing joints	Cut out existing areas weld 15" modified patches	25		\$	\$
2	Debris on roof	Remove debris on roof			\$	\$
3	Ballast missing in areas	Re-broadcast ballast	50 sf		\$	\$
4					\$	\$
Total All Recommended Actions					\$	\$
LABOR	52 hours (2 techs) @ \$89.00				\$4,628.00	\$
Material	Modified membrane				\$598.00	\$
Material					\$	\$
Material					\$	\$
Material					\$	\$
Material					\$	\$
TAX	TAX AS Applicable				\$	\$
Total All Recommended Actions					\$5,226.00	\$

● Pricing may vary if all recommended actions are not approved. Pricing valid for 30 days from date of survey. ●

WO#40532_Advance_Auto_-_Asheville_002.jpg
WORKORDER:[WO #158490 (ALT#:40532) (CL#:103056)]

overview



WO#40532_Advance_Auto_-_Asheville_003.jpg
WORKORDER:[WO #158490 (ALT#:40532) (CL#:103056)]

overview



WO#40532_Advance_Auto_-_Asheville_004.jpg
WORKORDER:[WO #158490 (ALT#:40532) (CL#:103056)]

overview



WO#40532_Advance_Auto_-_Asheville_005.jpg
WORKORDER:[WO #158490 (ALT#:40532) (CL#:103056)]

typical penetration



WO#40532_Advance_Auto_-_Asheville_006.jpg
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repair area - re=broadcast ballast to this area



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typical wall flashing



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open wall flashing joints



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open wall flashing joints



WO#40532_Advance_Auto_-_Asheville_010.jpg
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open wall flashing joints



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open wall flashing joints



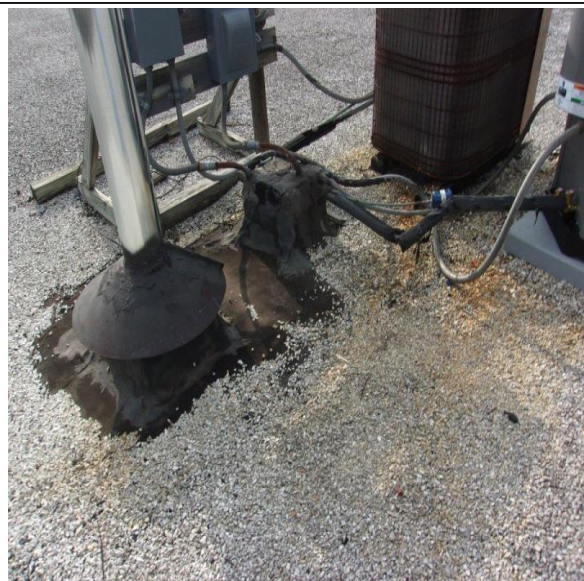
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open wall flashing joints



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typical penetrations



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debris on roof



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