

1 Demolition Plan  
3/16" = 1'-0"

**GENERAL NOTES**

1. SEE PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR INFORMATION REGARDING ALTERATIONS TO THE EXISTING SYSTEMS.
2. ALL PLANS WILL BE DEVELOPED USING IBC 2012 AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA (VUSBC)

**LEGEND**

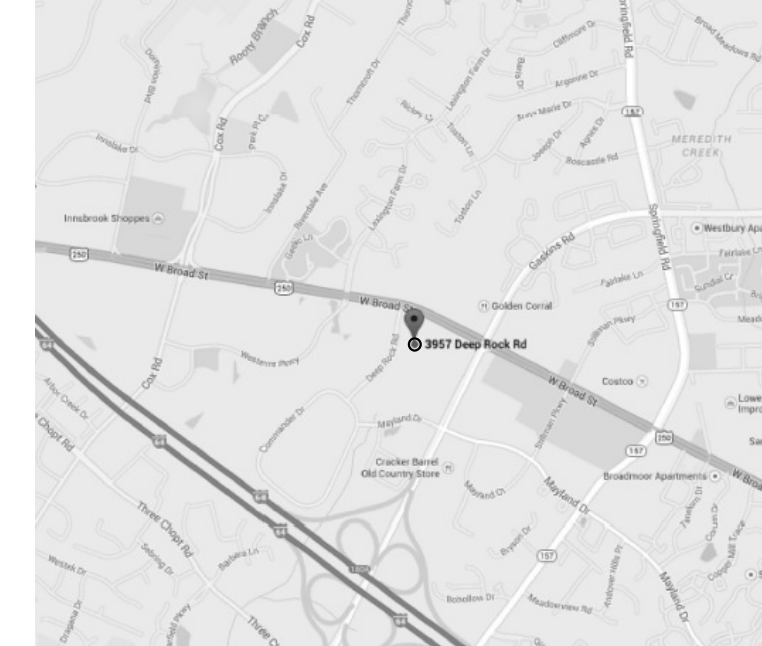
- EXISTING CONSTRUCTION TO BE REMOVED, SALVAGED, OR REUSED - PROVIDE TEMPORARY SHORING AND/OR BRACING WHERE REQUIRED AND REMOVE WALLS, DOORS AND RELATED MATERIALS AS INDICATED. PATCH ADJACENT SURFACES TO MATCH EXISTING TO REMAIN AND AS SCHEDULED BY NEW CONSTRUCTION.
- EXISTING CONSTRUCTION TO REMAIN - SEE SCHEDULES FOR FINISH INFORMATION

**GENERAL CONSTRUCTION / DEMOLITION NOTES**

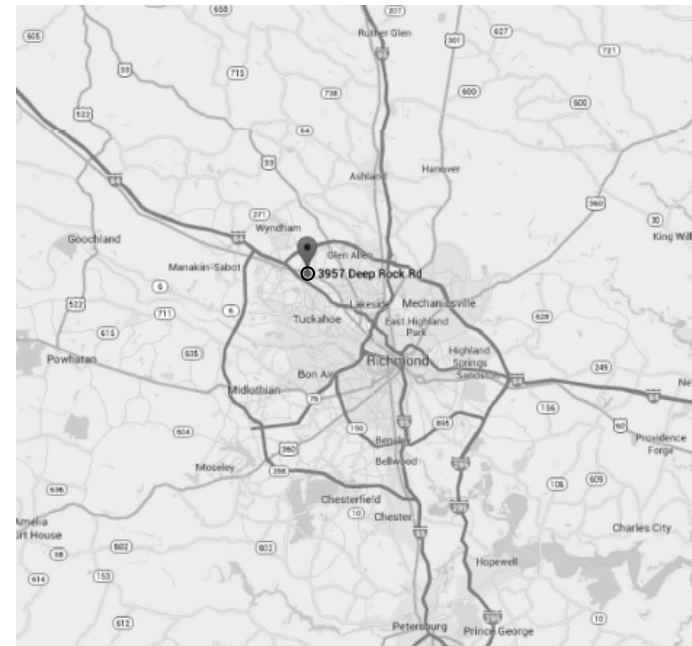
1. CONTRACTOR SHALL COORDINATE ALL DEMOLITION AND CONSTRUCTION WITH OWNER'S SCHEDULE. TENANT IS RESPONSIBLE FOR DEMOLITION.
2. SEE MEP ENGINEERING DRAWINGS FOR SCOPE OF DEMOLITION RELATED TO MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING.
3. COORDINATE ROOF DEMO WORK WITH THE SIZE AND PLACEMENT OF NEW ROOFTOP HVAC UNITS AND RELATED CURBS AS SHOWN IN MECHANICAL DRAWINGS.
4. SALVAGE AND STOCKPILE FOR RE-USE ALL DOORS, FRAMES HARDWARE, WINDOWS, ELECTRIC WATER COOLERS, EMERGENCY LIGHTING, WATER CLOSETS, SINKS, MOP SINK, GRAB BARS, FIRE EXTINGUISHERS, EXIT SIGNS AND FIRE ANNUNCIATION DEVICES SCHEDULED FOR REMOVAL. ALL OTHER REMOVED ITEMS SHALL BECOME THE PROPERTY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE NOTED, AND SHALL BE REMOVED FROM THE PREMISES DAILY.
5. CONTRACTORS SHALL CLEAN UP AND REMOVE CONSTRUCTION AND DEMOLITION DEBRIS CREATED BY THEIR RESPECTIVE TRADES ON A DAILY BASIS.
6. ALL CONSTRUCTION AND DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES.
7. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS PRIOR TO START OF WORK.
8. CONTRACTORS SHALL PROVIDE PROTECTION FOR ALL EXISTING ITEMS AND FINISHES SCHEDULED TO REMAIN
9. THE DEMOLITION PLANS CALL FOR THE REMOVAL OF VARIOUS NON-STRUCTURAL WALLS. THE BUILDER SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION SCOPE, OPERATIONS, AND METHODS. TEMPORARY SHORING AND LATERAL/ POINT LOAD CONSIDERATIONS SHALL BE CAREFULLY COORDINATED.
10. STUDIO Z ARCHITECTURE IS NOT RESPONSIBLE FOR THE IDENTIFICATION, REMOVAL, DISPOSAL OR ANY OTHER ASPECT OF DESIGN, DEMOLITION, DISPOSAL OR CONSTRUCTION INVOLVING ANY TYPE OF HAZARDOUS WASTE MATERIALS.
11. GC IS RESPONSIBLE FOR THE CONTROL OF DUST AND EXCESSIVE NOISE. ALSO, DRIVEWAYS, ROADWAYS AND PARKING AREAS SHALL NOT BE TRACKED WITH MUD OR DAMAGED BY CONSTRUCTION DEMOLITION OPERATIONS.
12. INSTALL CONSTRUCTION BARRIERS, PROTECTION AND PROPER WARNING SIGNS FOR PEDESTRIANS.

13. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND MAINTAIN IN A SECURE AND SAFE MANNER, ALL STAGING AREAS AND MATERIAL/EQUIPMENT STORAGE AREAS. CONTRACTOR SHALL PROVIDE FLAG MEN OR OTHER TRAFFIC SAFETY ACCOMMODATIONS TO PROTECT THE SAFETY OF WORKERS, SHOPPERS, AND OTHER VEHICULAR AND PEDESTRIAN TRAFFIC.

14. PROVIDE PROTECTIVE HEADGEAR, PROPER WARNING SIGNS AND ALL OTHER WORKER PROTECTION MEASURES.



MAP VIEW



**REVISIONS:**

#	DATE	DESCRIPTION

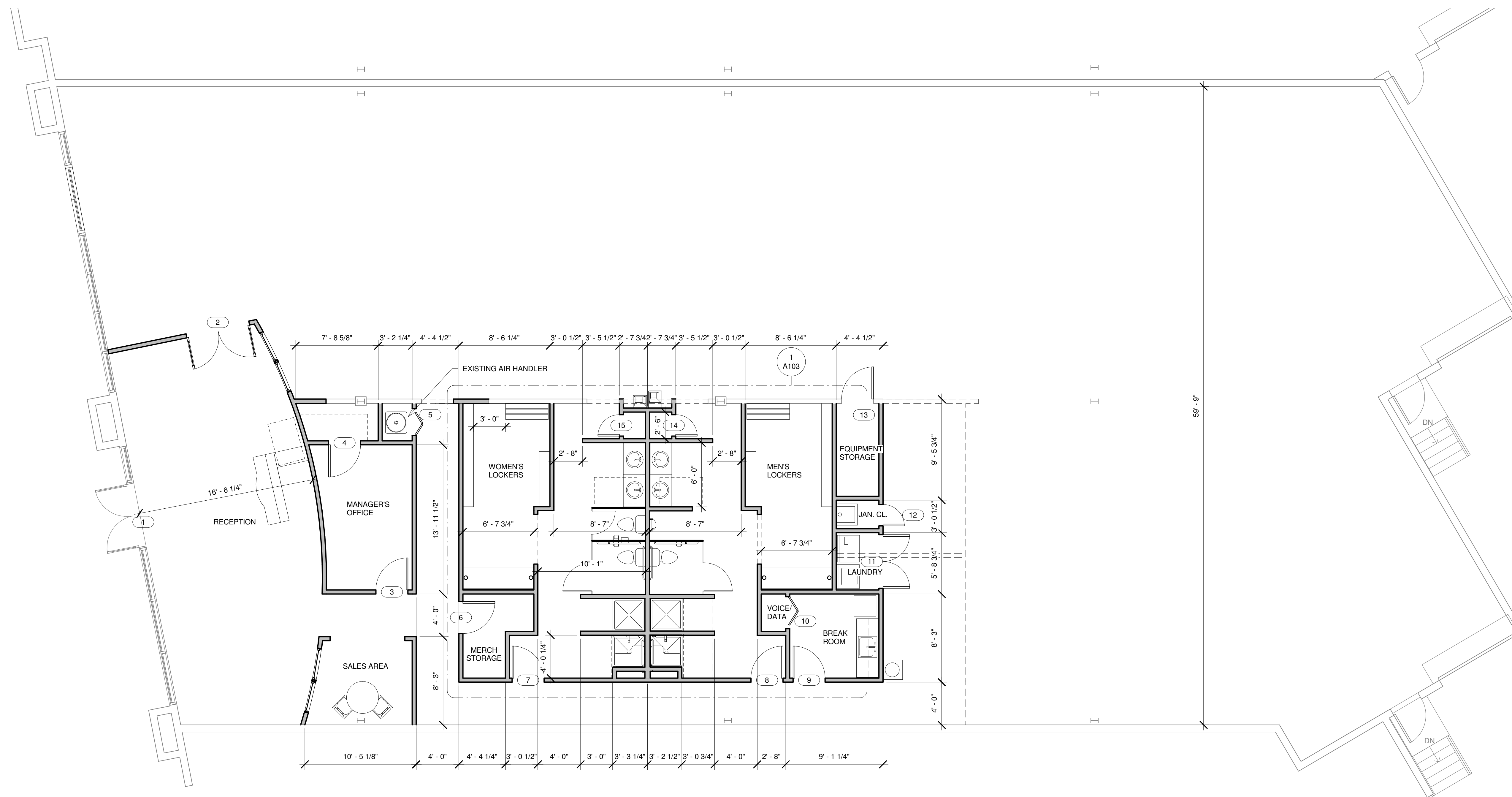
**PROJECT NAME:**  
Phoenix Fitness & Martial Arts

**OWNER:**  
Renee and Ethan Chandler  
3957 Deep Rock Rd  
Henrico, VA 23233

**DRAWING NAME:**  
Demolition Plan

DESIGNED BY: PMZ  
DRAWN BY: DB  
CHECKED BY: PMZ  
PROJECT NUM: ---

Date: DEC. 17, 2014



① Level 1  
3/16" = 1'-0"

**REVISIONS:**

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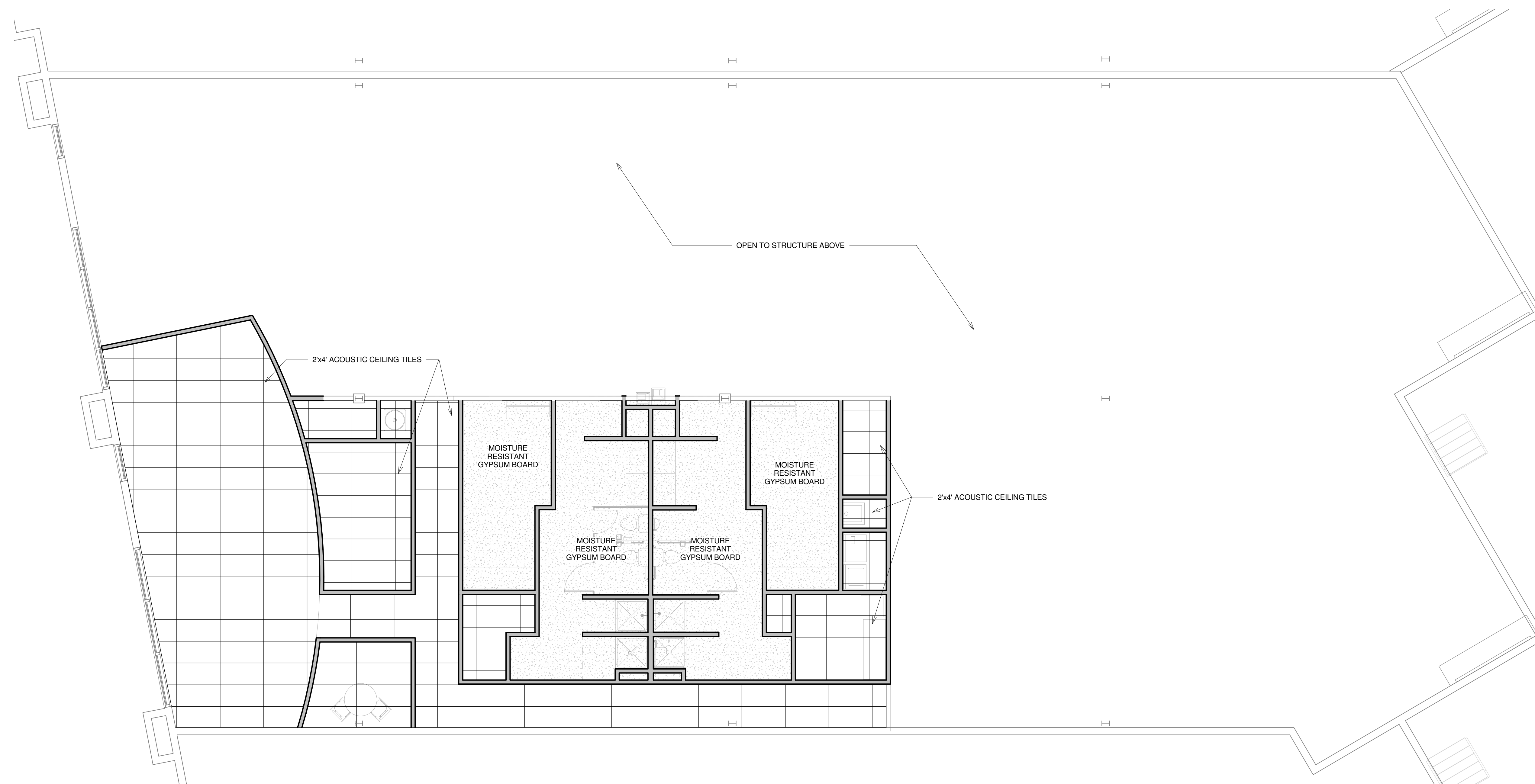
**PROJECT NAME:**  
Phoenix Fitness & Martial Arts

**OWNER:**  
Renee and Ethan Chandler  
3957 Deep Rock Rd  
Henrico, VA 23233

**DRAWING NAME:**  
Floor Plan

DESIGNED BY: PMZ  
DRAWN BY: DLB / PMZ  
CHECKED BY: -  
PROJECT NUM: ---

Date: DEC. 17, 2014



**REVISIONS:**

#	DATE	DESCRIPTION
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**PROJECT NAME:**  
Phoenix Fitness & Martial Arts

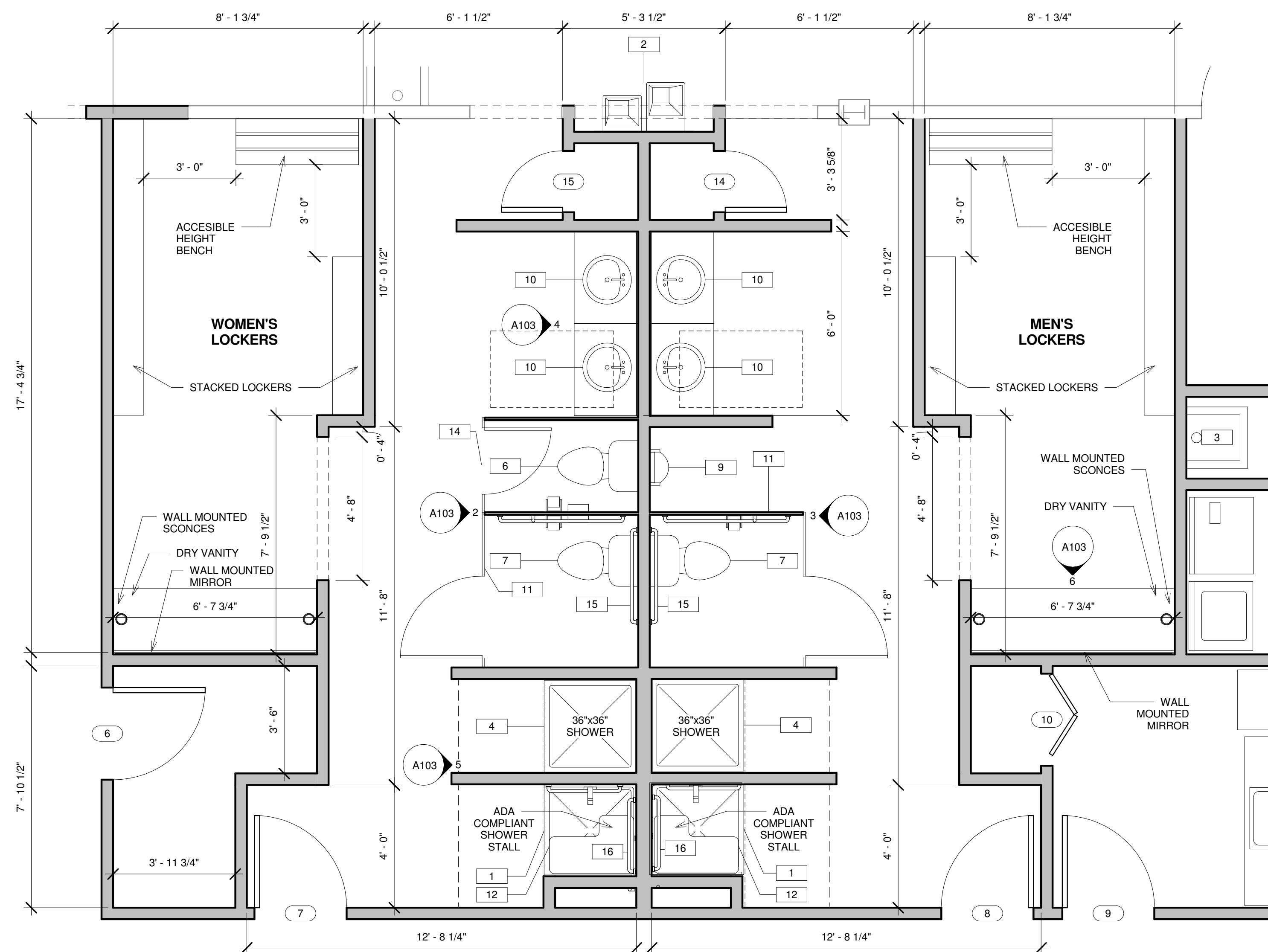
**OWNER:**  
Renee and Ethan Chandler  
3957 Deep Rock Rd  
Henrico, VA 23233

**DRAWING NAME:**  
Reflected Ceiling Plan

DESIGNED BY: Designer  
DRAWN BY: Author  
CHECKED BY: Checker  
PROJECT NUM: ---

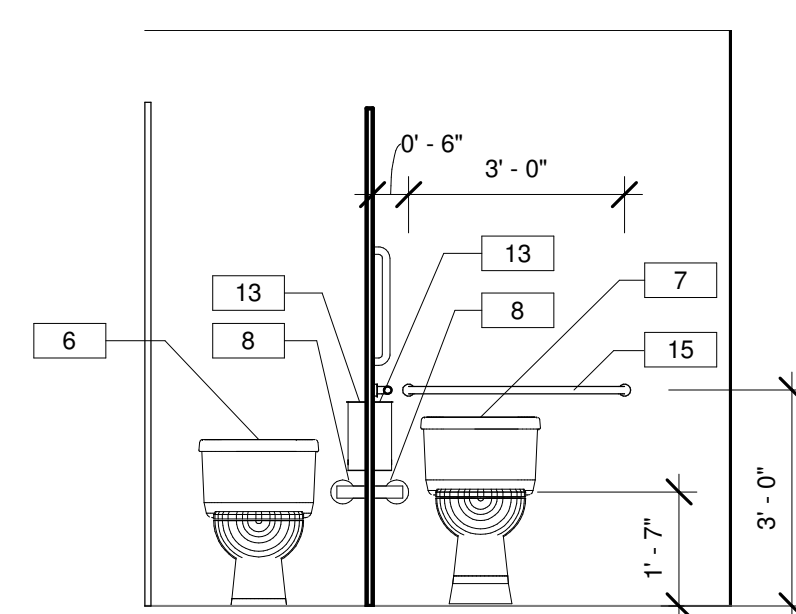
Date: DEC. 17, 2014

① Level 1  
3/16" = 1'-0"

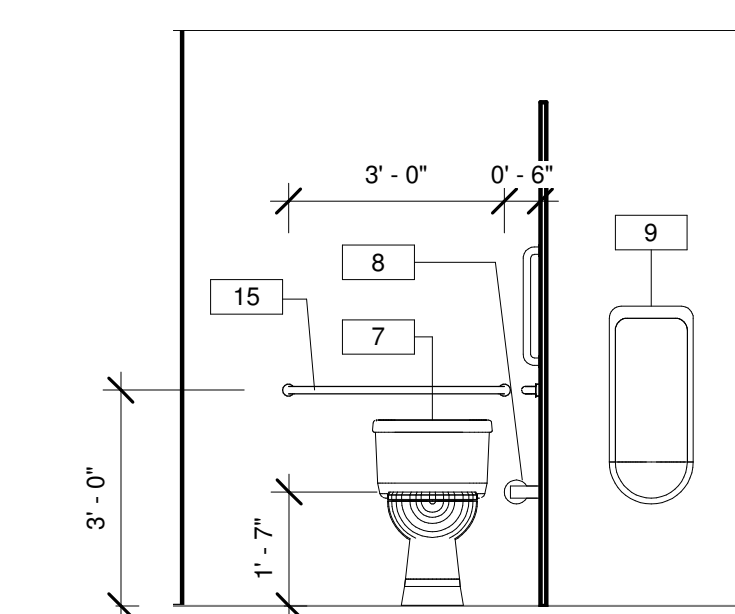


Fixture Schedule			
Mark	Type	Count	Comments
1	ADA Compliant 36" x 36" Shower Stall	2	
2	Drinking Fountain	1	
3	Mop Sink	1	
2	Sink-Mop-2D	1	
4	Standard 36" x 36" Shower Stall	2	
5	Standard Shower Fixture	2	
6	Toilet - 15" Seat Height	1	
7	Toilet - 19" Seat Height	2	
8	Toilet Paper Dispenser	3	
9	Urinal	1	
10	Vanity Sink	4	
11	Accessible Toilet Partition	2	
12	Folding Shower Seat	2	
13	Sanitary Napkin Disposal	2	
14	Standard Toilet Partition	1	
15	Grab Bars	2	
16	Shower Grab Bars	2	

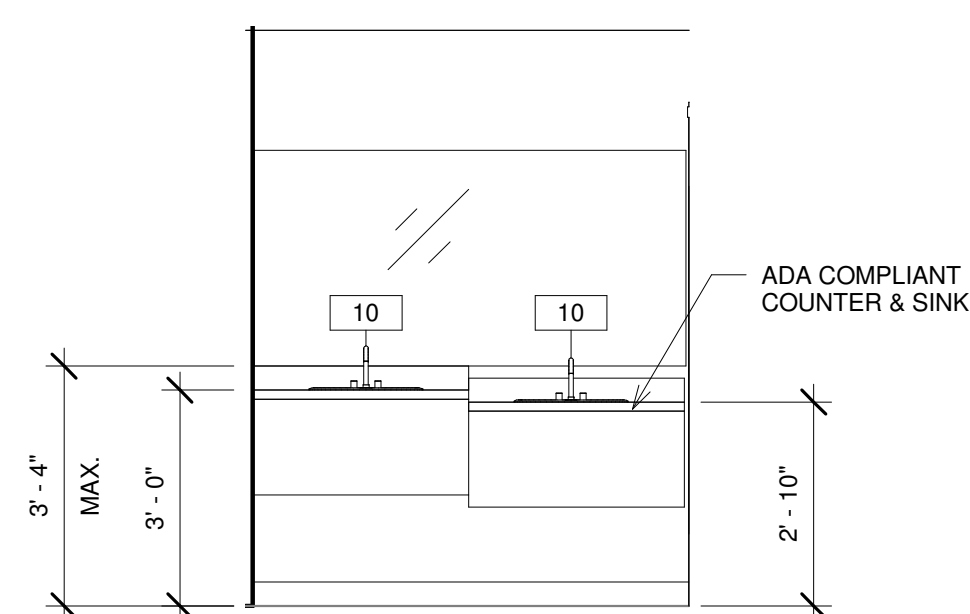
1 Locker Rooms Enlarged Plans  
 3/8" = 1'-0"



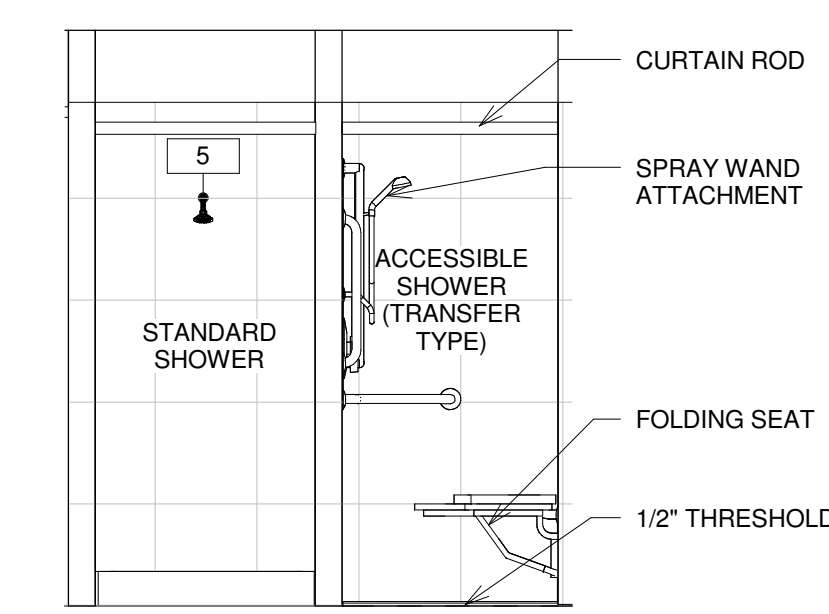
2 Women's Restroom Toilet Elevation  
 3/8" = 1'-0"



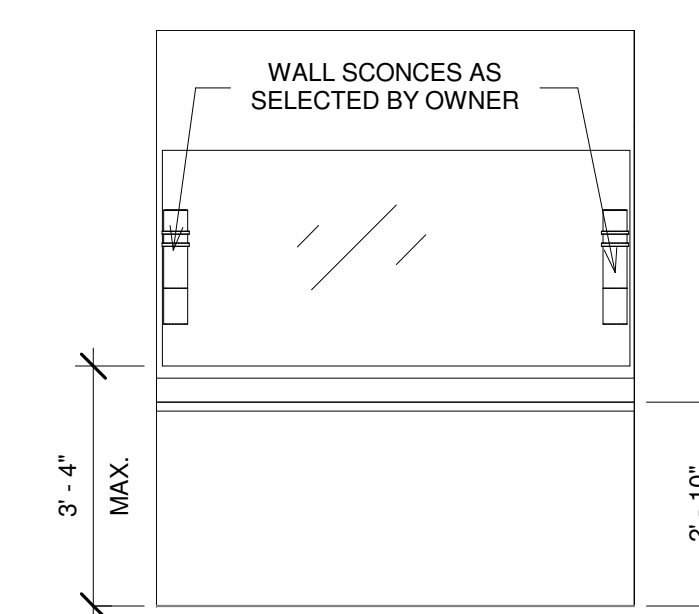
3 Men's Restroom Toilet Elevation  
 3/8" = 1'-0"



4 Lavatory Elevation  
 3/8" = 1'-0"



5 Shower Room Elevation  
 3/8" = 1'-0"



6 Dry Vanity Elevation  
 3/8" = 1'-0"

## REVISIONS:

#	DATE	DESCRIPTION

**PROJECT NAME:**  
 Phoenix Fitness & Martial Arts

**OWNER:**  
 Renee and Ethan Chandler  
 3957 Deep Rock Rd  
 Henrico, VA 23233

**DRAWING NAME:**  
 Enlarged Locker Room Plan  
 & Details

DESIGNED BY: Designer  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 PROJECT NUM: ---

Date: DEC. 17, 2014

Room Schedule						
Name	Base Finish	Wall Finish	Floor Finish	Ceiling Finish	Area	Comments
BREAK ROOM	VINYL	PAINTED GYP. BRD.	NEBULUS STONE, LAMINATE	ACOUSTIC CEILING TILE	66 SF	
EQUIPMENT STORAGE	VINYL	PAINTED GYP. BRD.	OPUS STONE, LAMINATE	ACOUSTIC CEILING TILE	35 SF	
HALLWAY	VINYL	PAINTED GYP. BRD.	NEBULUS STONE, LAMINATE	ACOUSTIC CEILING TILE	315 SF	
JANITOR'S CLOSET	VINYL	PAINTED GYP. BRD.	OPUS STONE, LAMINATE	ACOUSTIC CEILING TILE	11 SF	
LAUNDRY	VINYL	PAINTED GYP. BRD.	OPUS STONE, LAMINATE	ACOUSTIC CEILING TILE	21 SF	
MANAGER'S OFFICE	VINYL	PAINTED GYP. BRD.	NEBULUS STONE, LAMINATE	ACOUSTIC CEILING TILE	116 SF	
MEN'S LOCKER	PORCELAIN TILE	MOISTURE RESISTANT GYP. BRD., PAINTED	MIX ARAN STONE, PORCELAIN (ANTI-SLIP)	MOISTURE RESISTANT GYP. BRD.	131 SF	
MEN'S RESTROOM/SHOWER	PORCELAIN TILE	MOISTURE RESISTANT GYP. BRD., PAINTED	MIX ARAN STONE, PORCELAIN (ANTI-SLIP)	MOISTURE RESISTANT GYP. BRD.	235 SF	TILE ON SHOWER WALLS, KAYAN RIVER PEBBLE STONE MOSAIC ON SHOWER FLOORS
MERCH STORAGE	VINYL	PAINTED GYP. BRD.	NEBULUS STONE, LAMINATE	ACOUSTIC CEILING TILE	41 SF	
OPEN GYM AREA	VINYL	PAINTED GYP. BRD.			5250 SF	
RECEPTION	VINYL	PAINTED GYP. BRD.	NEBULUS STONE, LAMINATE	ACOUSTIC CEILING TILE	557 SF	
SALES AREA	VINYL	PAINTED GYP. BRD.	NEBULUS STONE, LAMINATE	ACOUSTIC CEILING TILE	72 SF	
WOMEN'S LOCKER ROOM	PORCELAIN TILE	MOISTURE RESISTANT GYP. BRD., PAINTED	SIROS STONE, PORCELAIN (ANIT-SLIP)	MOISTURE RESISTANT GYP. BRD.	131 SF	
WOMEN'S RESTROOM/SHOWER	PORCELAIN TILE	MOISTURE RESISTANT GYP. BRD., PAINTED	SIROS STONE, PORCELAIN (ANIT-SLIP)	MOISTURE RESISTANT GYP. BRD.	236 SF	TILE ON SHOWER WALLS, ACAPULCO PEBBLE TRAVERTINE MOSAIC ON SHOWER FLOOR

DARKER LAMINATE - NEBULUS STONE LAMINATE

LIGHTER LAMINATE - DIVIDING WALKWAY OPUS STONE LAMINATE

MEN'S LOCKER ROOM FLOOR & SHOWER WALLS MIX ARAN STONE PORCELAIN (ANTI-SLIP)

MEN'S SHOWER FLOOR & WALL ACCENT KAYAN RIVER PEBBLE STONE MOSAIC (TRAVERTINE & PEBBLE - FLAT NOT ROUNDED)

WOMEN'S LOCKER ROOM FLOOR & SHOWER WALLS SIROS STONE PORCELAIN (ANIT-SLIP)

WOMEN'S SHOWER FLOOR & WALL ACCENT ACAPULCO PEBBLE TRAVERTINE MOSAIC (TRAVERTINE & PEBBLE - FLAT NOT ROUNDED)

Door Schedule						
Mark	Height	Width	Finish	Hardware	Fire Rating	Comments
1	7' - 0"	6' - 0"		EXISTING		EXISTING ENTRY DOOR
2	6' - 8"	6' - 0"		EXISTING		REUSE EXISTING LEVER HANDLE GLASS DOORS
3	6' - 8"	3' - 0"		EXISTING		REUSE EXISTING LEVER HANDLE 6-PANEL DOOR
4	6' - 8"	3' - 0"		EXISTING		REUSE EXISTING DUMMY LEVER HANDLE 6-PANEL DOOR
5	6' - 8"	2' - 6"				BI-FOLD
6	6' - 8"	3' - 0"		EXISTING		REUSE EXISTING LEVER HANDLE 6-PANEL DOOR
7	6' - 8"	3' - 0"		EXISTING		REUSE EXISTING LEVER HANDLE 6-PANEL DOOR
8	6' - 8"	3' - 0"		EXISTING		REUSE EXISTING LEVER HANDLE 6-PANEL DOOR
9	6' - 8"	3' - 0"		EXISTING		REUSE EXISTING LEVER HANDLE 6-PANEL DOOR
10	6' - 8"	3' - 0"				BI-FOLD
11	6' - 8"	5' - 0"		SET #1		
12	6' - 8"	2' - 0"		SET #2		
13	6' - 8"	3' - 0"		EXISTING		REUSE EXISTING LEVER HANDLE 6-PANEL DOOR
14	6' - 8"	2' - 0"		SET #2		
15	6' - 8"	2' - 0"		SET #2		

#### DOOR HARDWARE

##### SET #1 (LOCKSET)

3 HINGES TB2714 4-1/2" x 4-1/2"  
 1 PASSAGE SET SG 10U15 GL  
 1 KICKPLATE KP50 8"x34" HB4E  
 3 DOOR SILENCERS  
 1 WALL STOP OR FLOOR STOP BASED ON CONFIGURATION

##### SET #2 (CLOSET)

3 HINGES TB2714 4-1/2" x 4-1/2"  
 1 LOCKSET 63 SG 10G37 GL  
 1 KICKPLATE KP50 8"x34" HB4E  
 1 WALL STOP WSO2  
 3 DOOR SILENCERS

NOTE: HARDWARE FINISH TO BE AS SELECTED BY OWNER FROM MANUFACTURER'S STANDARD FINISHES

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#	DATE	DESCRIPTION

#### PROJECT NAME:

Phoenix Fitness & Martial Arts

#### OWNER:

Renee and Ethan Chandler  
 3957 Deep Rock Rd  
 Henrico, VA 23233

#### DRAWING NAME:

Schedules

DESIGNED BY: Designer

DRAWN BY: Author

CHECKED BY: Checker

PROJECT NUM: ---

Date: DEC. 17, 2014

**studio z**

ARCHITECTURE

3020 SANDY BLUFF PLACE - RICHMOND - VA - 23233-8703  
PHONE: 804.644.3323 • FAX: 804.644.3323  
INFO@STUDIOZONLINE.COM • WWW.STUDIOZONLINE.COM

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**REVISIONS:**

#	DATE	DESCRIPTION
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**PROJECT NAME:**

Phoenix Fitness & Martial Arts

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**OWNER:**

Renee and Ethan Chandler  
3957 Deep Rock Rd  
Henrico, VA 23233

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**DRAWING NAME:**

Interior Elevation

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DESIGNED BY: Designer

DRAWN BY: Author

CHECKED BY: Checker

PROJECT NUM: ---

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Date: DEC. 17, 2014

## DRAWING LIST

R100 - PROJECT REFERENCE  
 A100 - DEMOLITION PLAN  
 A101 - FLOOR PLAN  
 A102 - REFLECTED CEILING PLAN  
 A103 - ENLARGED LOCKER ROOM PLAN & DETAILS  
 A104 - SCHEDULES

## CODE DATA

ALL WORK IS TO CONFORM TO THE CODES LISTED BELOW. THESE CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECS.

### CODES:

2012 IBC AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA

BUILDING TYPE: 1-B  
 PROPOSED OCCUPANCY TYPE: A-3  
 PROJECT TYPE: TENANT FIT-UP, EXISTING RETAIL SPACE IN A MIXED-USED STRUCTURE

## OCCUPANT LOAD CALCULATIONS

BUSINESS AREAS: 1272 SF, 100 SF/OCCUPANT= 13 OCCUPANTS  
 FITNESS AREA: 5406 SF, 50 SF/OCCUPANT = 109 OCCUPANTS  
 STORAGE AREAS: 124 SF, 300 SF/OCCUPANT = 1 OCCUPANT  
 LOCKER ROOMS/SHOWERS: 820 SF 50 SF/ OCCUPANT = 17 OCCUPANTS  
 TOTAL PROPOSED SF: 7,622 SF, 140 OCCUPANTS  
 REQUIRED EXIT WIDTH (.20 x TOTAL OCCUPANT LOAD): 28" OF EGRESS WIDTH  
 PROVIDED EXIT WIDTH: --" OF EGRESS WIDTH  
 REQUIRED NUMBER OF EXITS: - EXITS REQUIRED  
 PROVIDED NUMBER OF EXITS: - EXITS PROVIDED

## THE STATE OF VIRGINIA PLUMBING CODE, TABLE 403.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES.

(URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 67 PERCENT OF THE REQUIRED WATER CLOSETS IN ASSEMBLY OCCUPANCIES PER SECTION 419.2 OF THE STATE OF VIRGINIA PLUMBING CODE.)

WOMEN'S WATER CLOSETS: 70 OCCUPANTS @ 1 PER 65 OCCUPANTS = 2 WATER CLOSETS REQUIRED, 2 PROVIDED.

MEN'S WATER CLOSETS/ URINALS: 70 OCCUPANTS @ 1 PER 125 OCCUPANTS = 1 WATER CLOSET, 1 URINAL REQUIRED, 1 WATER CLOSETS, 1 URINALS PROVIDED.

LAVATORIES: 1 PER 200 OCCUPANTS  
 WOMEN'S LAVATORIES: 1 REQUIRED, 2 PROVIDED.  
 MEN'S LAVATORIES: 1 REQUIRED, 2 PROVIDED.

DRINKING FOUNTAIN: 1 PER 500, 2 PROVIDED

## GENERAL NOTES

1. BY EXECUTING THE BID AND CONTRACT, THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, CODES AND REQUIREMENTS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATED TO HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THIS SHALL BE DONE PRIOR TO BID. PROVIDE SEALED BID.

2. THE INTENT OF THE BID CONTRACT IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ANY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. WORK NOT COVERED IN THE CONTRACT DOCUMENTS WILL NOT BE REQUIRED UNLESS IT IS CONSISTENT THEREWITH AND IS REASONABLY INFERABLE THEREFROM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULT. WORDS AND ABBREVIATIONS WHICH HAVE WELL KNOWN TECHNICAL OR TRADE MEANING ARE USED IN CONTRACT DOCUMENTS IN ACCORDANCE WITH SUCH RECOGNIZED MEANINGS.

3. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE. ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE ENGINEER'S DRAWINGS.

4. SHOULD EITHER THE DRAWINGS AND SPECIFICATION, OR ANY PARTICULAR SPECIFICATION, AND GENERAL CONDITIONS CONTRADICT EACH OTHER IN ANY POINT, OR REQUIRE CLARIFICATION, THE CONTRACTOR MUST CALL THE SAME TO THE ATTENTION OF THE ARCHITECT, AND HIS DECISION SHOULD NE OBTAINED PRIOR TO THE SUBMISSION OF BIDS. OTHERWISE THE ARCHITECT'S INTERPRETATION WILL GOVERN THE PERFORMANCE OF THE WORK AND NO ALLOWANCE SHALL BE MADE ON THE BEHALF OF THE CONTRACTOR FOR ERROR OR NEGLIGENCE ON HIS PART IN THIS CONNECTION. THE CONTRACTOR SHALL BEAR ALL COSTS DUE TO HIS ERROR AND/OR OMISSION PRIOR TO BIDDING.

5. PROSPECTIVE CONTRACTORS AND SUBCONTRACTORS SHALL SECURE ALL DATA AT THE SITE OF THE PROPOSED CONSTRUCTION, SUCH AS EXISTING CONDITIONS, CONVENIENCE OF RECEIVING AND SORTING MATERIALS, LOCATION AND ADEQUACY OF UTILITIES AND OTHER INFORMATION WHICH WILL HAVE A BEARING ON MAKING THEIR PROPOSAL OR ON THE EXECUTION OF THE WORK IF AWARDED THE CONTRACT, AND NO ALLOWANCE WILL BE MADE FOR FAILURE OF THE CONTRACTOR TO OBTAIN SUCH ON-SITE INFORMATION PRIOR TO BIDDING.

6. SHOULD ANY ERROR OR INCONSISTENCY APPEAR IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR, BEFORE PROCEEDING WITH WORK, MUST CLEARLY BRING THE SAME TO THE ATTENTION OF THE ARCHITECT FOR PROPER ADJUSTMENT, AND IN NOT CASE PROCEED WITH WORK UNCERTAINLY NOR WITH INSUFFICIENT DRAWINGS.

7. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE MEASUREMENTS OF THE PROPOSED CONSTRUCTION BUILDING SITE. NO CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON DRAWINGS. ANY SUCH DISCREPANCY IN THE DIMENSIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH WORK IN THE AFFECTED AREA.

8. CONTRACTOR SHALL FOLLOW SIZES ON THE SPECIFICATION OR FIGURES ON DRAWINGS IN PREFERENCE TO SCALE MEASUREMENTS AND FOLLOW DETAIL DRAWINGS IN PREFERENCE TO GENERAL DRAWINGS AND FOLLOW ACTUAL FIELD CONDITIONS.

9. WHERE IT IS OBVIOUS THAT A DRAWING ILLUSTRATES ONLY PART OF A GIVEN WORK, WHICH IS REPEATED ON A NUMBER OF ITEMS, THE REMAINDER SHALL BE DEEMED REPETITIOUS AND SO CONSTRUCTED.

10. CONTRACTOR SHALL NOT PROCEED WITH DETAILING, FABRICATION OR CONSTRUCTION OF ANY WORK CONNECTED WITH OR DEPENDENT ON EQUIPMENT FURNISHED BY "OWNER" OR "OTHER CONTRACTORS" UNTIL HE/SHE HAS OBTAINED APPROVED EQUIPMENT SPECIFICATION FROM OWNER OR ARCHITECT. CONTACT OWNER OR ARCHITECT FOR CURRENT INFORMATION.

11. ALL WORK COMPLETED BY ANY CONTRACTOR ON THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH STATE BUILDING CODE, LOCAL BY-LAWS AND REGULATION OF THE GOVERNING AUTHORITIES AND ALL OTHER AUTHORITIES HAVING JURISDICTION OVER THE BUILDING. THE CONTRACTOR IS RESPONSIBLE FOR KNOWLEDGE AS SUCH PRIOR TO BID.

12. ALL WORK TO COMPLY WITH OWNER REQUIREMENTS. CONTRACTOR TO HAND OVER BUILDING TO OWNER IN CLEAN CONDITION AND TO SATISFACTION OF THE OWNER.

13. DESIGN BUILD CONTRACTORS ARE FULLY RESPONSIBLE FOR THEIR OWN WORK IN TERMS OF, BUT NOT LIMITED TO: ALL CODES, DIMENSIONS, COORDINATION WITH OTHER TRADES, AND ALL APPLICABLE MUNICIPAL AND OTHER GOVERNING APPROVALS. EACH TRADE IS RESPONSIBLE FOR THE DAILY REMOVAL OF DEBRIS.

14. CONTRACTORS SHALL VERIFY LOCATIONS AND ADEQUACY OF ALL UTILITY LINES, SANITARY SEWER LINES, AND WATER LINES PRIOR TO BID AND CONSTRUCTION AND CONTACT THE ARCHITECT WITH ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD VERIFICATION.

15. CONTRACTOR SHALL VERIFY EXACT DIMENSIONS OF THE ENTIRE BUILDING AND SITE PRIOR TO ANY LAYOUT, CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT. ANY DIMENSIONAL DISCREPANCIES THAT WOULD PROHIBIT ANY ITEM OR PIECE OF EQUIPMENT FROM BEING LOCATED OR INSTALLED AS INDICATED ON PLAN OR IN SPECIFICATION MUST BE MADE KNOWN TO THE ARCHITECT IMMEDIATELY.

16. CONTRACTOR TO COORDINATE AND SCHEDULE SHIPMENT OF FIXTURES AND EQUIPMENT WITH MATERIAL SUPPLIERS. EACH WEEK THE CONTRACTOR SHALL SUBMIT A WRITTEN RECEIVING REPORT. REPORT SHALL INCLUDE ALL EQUIPMENT THAT IS DAMAGED OMITTED OR NOT IN ACCORDANCE WITH PLANS AND/OR SPECIFICATIONS.

17. CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, AND STORAGE OF OWNER-FURNISHED ITEMS. CONTRACTOR IS TO VERIFY THAT ALL EQUIPMENT (FIXTURES, BOXES, ETC.) IS IN ACCORDANCE WITH PACKING LIST, EQUIPMENT SCHEDULE AND/OR SPECIFICATIONS AND BEING LOCATED OR INSTALLED AS INDICATED ON PLANS OR IN SPECIFICATIONS. CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY MISSING OR DAMAGED OWNER-SUPPLIED FIXTURES/EQUIPMENT AND RE-DELIVERY OF THE SAME.

18. PROVIDE SOLID BLOCKING BEHIND ALL WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO: SHELVING, SINKS, COUNTERS, MIRRORS, GRAB BARS, DISPENSERS, STRETCHING BARS, TELEVISION MOUNTS, ETC.

19. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF A JOB SITE PHONE AS SOON AS PRACTICALLY POSSIBLE AND IMMEDIATELY NOTIFY ARCHITECT OR OWNER OF THE JOB SITE PHONE NUMBER.

20. ALL WOOD AND WOOD PRODUCTS USED THROUGHOUT THE CONSTRUCTION OF THIS BUILDING AREA TO HAVE MOISTURE CONTENT OF NO MORE THAN 19% AND SHALL MEET CERTIFIED FORESTRY STEWARD CRITERIA.

21. CONTRACTOR SHALL PROVIDE INSURANCE PER LANDLORD'S REQUIREMENTS. CONTRACTOR TO BEAR PROOF UPON REQUEST WITHOUT DELAY.

22. PUNCH LIST TO BE COMPLETED AT OWNER'S CONVENIENCE, TYPICALLY WITHIN 3 DAYS UPON RECEIPT OF PUNCH LIST. APPLY FOR FINAL PAYMENT WITHIN 30 DAYS USING STANDARD CERTIFICATE OF SUBSTANTIAL COMPLETION. FINAL WAIVERS OF LIEN FROM THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS MUST BE SUBMITTED WITH FINAL APPLICATION FOR PAYMENT.

23. CONTRACTOR SHALL BE RESPONSIBLE FOR INDEPENDENT AIR BALANCE REPORT TO BE SUBMITTED WITH FINAL APPLICATION FOR PAYMENT.

24. CONTRACTOR SHALL CONFORM TO ALL CURRENT FEDERAL GLAZING SPECIFICATIONS, C.P.S.C. GLAZING REQUIREMENTS, AND ALL STATE AND LOCAL CODES HAVING JURISDICTION.

25. PROVIDE ALL ACCESS PANELS AS REQUIRED BY MAINTENANCE, INSPECTION AND SERVICING AL ALL EQUIPMENT AND SYSTEMS.

26. CONTRACTOR SHALL TAKE EXTREME CAUTION NOT TO PLACE ELECTRICAL OUTLETS BEHIND OR UNDER DRAWER BASES, DRAINS OR ANY OTHER OBSTACLES/OBJECTS WHICH MAY RESTRICT THE USE OF ELECTRICAL OUTLETS. (SEE ELECTRICAL PLAN)

27. FIRE EXTINGUISHERS TO BE PROVIDED WITHIN THE SPACE AS REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION. CONTACT ARCHITECT AT (804) 644-3323 TO CONFIRM LOCATION AS NOTED IN PLANS.

28. THESE DRAWINGS AS COPIES THEREOF ARE LEGAL INSTRUMENTS OF SERVICE FOR USE OF THE OWNER ONLY. EACH TRADE SHALL BE HELD RESPONSIBLE FOR KNOWLEDGE OF THE GENERAL NOTES INCLUDED THROUGHOUT THE CONTRACT DOCUMENTS AND THE APPLICABLE BUILDING CODES.

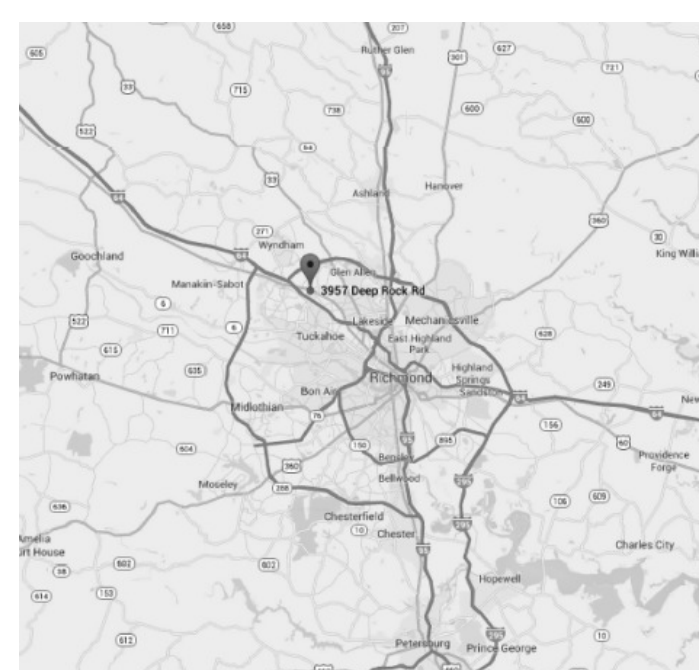
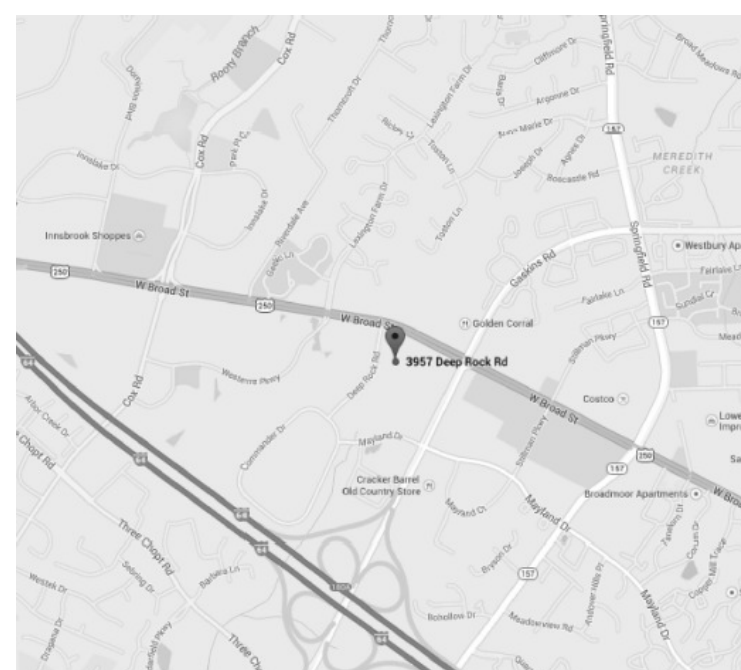
29. GENERAL CONTRACTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH TENANT CONTACT AND SUBMIT ALL REQUIRED CERTIFICATES OF INSURANCE AND BONDS, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK (DEMOLITION INCLUDED).

30. ALL PERMITS AND INSPECTION FEES TO BE OBTAINED AND PAID FOR BY G.C. SIGNAGE PERMITS TO BE OBTAINED BY G.C.

31. BUILDING DEPARTMENT APPROVED DRAWINGS AND ALL JOB COPIES OF THE BUILDING PROJECT AND FIRE SYSTEM PLANS AND PERMITS MUST BE ON SITE AT ALL TIMES.

32. ABSOLUTELY NO ASBESTOS CONTAINING FLOOR TILE, FLOOR MASTIC, ROOFING MASTIC, OR OTHER BUILDING MATERIALS MAY BE INSTALLED IN OR ON THE PREMISES.

33. DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TOGETHER.



MAP VIEW

## REVISIONS:

#	DATE	DESCRIPTION
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## PROJECT NAME:

Phoenix Fitness & Martial Arts

## OWNER:

Renee and Ethan Chandler  
 3957 Deep Rock Rd  
 Henrico, VA 23233

## DRAWING NAME:

Project Reference Sheet

DESIGNED BY: Designer

DRAWN BY: Author

CHECKED BY: Checker

PROJECT NUM: ---

Date: DEC. 17, 2014